

Date: January 21, 2020

From: Rick Gonzalez, Architect, City of Tucson On-Call Design Professional

To: Nickolas Ross, Planning and Development Services Department (PDSO)

Re: Design Professional review IID – 19-08

After review, based upon Unified development Code (UDC) Section 5.12.10. IID DCS (Downtown Core Sub-District); Use DCS of the required plans and documents submitted to PDSO, **I recommend further review of this project**, as noted below:

1. The UDC Building Design Standards require that all new construction shall provide scale defining architectural elements or details at the 1st two floor levels.

The applicant effectively provides a series of framed fronts along the first level, but corresponds less so along the 2nd level. (5.12.8.A.1.a)

2. Provide greater expression of the front entries with by enhanced graphic, lighting or similar features. (5.12..8.A.1.d)

3. Consider breaking the building mass on the east side to make it less imposing to the adjacent residential properties. (5.12.8.B.b)

4. Consider using additional landscape screening/buffers facing the adjacent residential properties to the east. (5.12.8.B.1.f)

5. Service areas are close to adjacent residential properties on the east. Demonstrate how views from residential properties to service areas will be blocked and how odors, noise, and vibrations can be mitigated. (5.12.8.B.3)

6. Parking drive to underground area faces residential properties to the east what added screening, light and noise midigation using landscaping, fencing, ect. can be used to not affect adjacent residential properties? (5.12.8.B.4)

7. Provide plans showing utility layouts and availability of services. (5.12..8.A)

8. Show the location of bicycle parking spaces. (5.12.9.C.2.a)

* design variations may be justified with presentation of urban design best practices and may include urban design studies approved for the City of Tucson, adopted urban design [standards](#) for a downtown area in an Arizona city of comparable size or a city in the Southwest of comparable size, books written by urban design experts or endorsed by a professional organization, such as the American Institute of Architects, addressing downtown [development](#), or any comparable report, study, or [standards](#) recommended by the [City's Design Professional](#) and approved by the PDSO Director.

With Regards,

Rick Gonzalez, COT DP

Design Review Response

D E S A
architecture

The Baffert at 5 Points



January 2020

Owner

KBL 747 LLC
Tucson, AZ

Architect

David E. Shambach, Architect, Inc.
Tucson, AZ



Southwest Perspective



1/28/2020

January 29, 2020

To: Nicholas Ross, PDSO

Re: Response to COT Design Professional Review for the Baffert at 5 Points

Dear Mr. Ross,

In response to the review comments dated January 21st, 2020 and generated by Rick Gonzalez for IID 19-08 we offer the following clarifications and documents.

1. The UDC Building Design Standards require that all new construction shall provide scale defining architectural elements or details at the 1st two floor levels. The applicant effectively provides a series of framed fronts along the first level but corresponds less so along the 2nd level. (5.12.8.A.1.a)

Response: Scale defining elements are shown throughout the building elevation both by patterns, rhythms, and textural expression. The ground floor retail spaces are treated differently than the apartment levels by utilizing storefront glazing, ground face masonry walls, awning type entries, and signage support systems. The south side of the apartments are delineated by a corrugated and perforated sun screen system that allows for a dynamic expression that changes during the day; floor levels, structural framing and shadows of occupants along the apartment hallways will become somewhat visible throughout the day and at night. Additionally, the brick bookend forms have been divided into smaller panels that are separated by metal reveals. These elements combined with signage, punched windows, divisions in storefront, structural elements, and a cornice element will show a strong differentiation between uses and create a manipulation of scale and texture in a graceful and comprehensible manner. Please review the attached elevations, color finish boards, and perspectives. We believe that overall, our project design, does provide scale elements and creates identification between uses, solar orientation and delineates between floors and building masses per 5.12.8.A.1.a.

2. Provide greater expression of the front entries with by enhanced graphic, lighting or similar features. (5.12.8.A.1.d)

Response: We believe our current design achieves clear identification of retail entrances and way finding due to organization of elements, lighting, and signage. All glass for this project will be high performance clear glass. The elevations show the main signage locations associated with the building, including a main "Baffert at 5 Points" sign along the west, as well as a main commercial entry patio that will identify the main retail/ food service tenant for the space. The 18th street storefronts will incorporate steel entry shade canopies that will also support signage and lighting. These signs will include some form of illumination. The apartment entries will have a distinct sign and entry that will be identified by lighting, signage, and separation from the retail storefront elements. Additionally, the ladder-like framing elements above the door will assist in clearly identifying the apartment entries on both the north and south side of the building. We feel our signage and lighting response is well suited to the use, location and context. We believe this project, as designed, adheres to the goals per 5.12.8.A.1.d

3. Consider breaking the building mass on the east side to make it less imposing to the adjacent residential properties. (5.12.8.B.b)

Response: The current design considers that the existing carriage house will act as a major change in mass as the Baffert relates to the neighborhood. This reduction of mass and softening of the visual impact of the building will be further enhanced by 6' tall screen walls along Arizona Avenue, as well as major shade trees within the carriage house's patio and near the parking garage entrance. Additionally, the landscape plan includes lower scaled shrubs and planting elements to enhance the street level experience. We believe the current design responds well to considerations outlined in 5.12.8.B.2. An enlarged landscaping plan is attached for your review.

4. Consider using additional landscape screening/buffers facing the adjacent residential properties to the east. (5.12.8.B.1.f)

Response: The current design has provided as much landscape materials along Arizona Avenue as possible without affecting vehicular access and pedestrian safety. Currently the properties to the east have mature trees that will assist in buffering the Baffert from the residential properties to the east. Additionally, the owner has agreed to provide a pre-determined amount of funding to assist in the construction of a masonry screen wall on the eastern properties if the neighbors determine it would be required. This funding is identified in the re-zoning ordinance associated with this property. This buffering approach will meet the goals identified in 5.12.8.B.1.f

5. Service areas are close to adjacent residential properties on the east. Demonstrate how views from residential properties to service areas will be blocked and how odors, noise, and vibrations can be mitigated. (5.12.8.B.3)

Response: Refuse containers (trash and recycling) are enclosed within a COT approved masonry enclosure that include metal gates. Refuse collection will be facilitated by using movable, lightweight, plastic dumpsters with lids. This method will allow the trash collecting to occur on site via a PAAL as opposed to the alley. The bins will be less noisy and easier to manipulate. A separate access door will allow the tenants to access the dumpsters without opening the larger gates. The plastic lids are secure and much quieter than those of a steel dumpster. Additionally, landscape elements are used along east side to buffer the project with large shade trees placed in correlation with existing trees on the adjacent properties. Understory planting are placed adjacent to the screen walls providing added depth and layered screening of site amenities. Any required grease trap will be installed and serviced within this PAAL. This will ensure that the any grease trap service is happening as far away from the alley as is practical with service vehicles and loading occurring on site. Again, please refer to the landscape site plans. We believe our current design solution is a suitable response to section 5.12.8.B.3 of the UDC.



6. Parking drive to underground area faces residential properties to the east what added screening, light and noise mitigation using landscaping, fencing, etc. can be used to not affect adjacent residential properties? (5.12.8.B.4)

Response: Landscape and screen walls will be used along the east property line to buffer the project by utilizing large shade trees capable of reaching 30 to 40 tall that will be trimmed to provide as much screening as possible. Additional screening will be achieved by using lower shrubs and ornamental type vegetation. The architect and landscape architect have observed that existing screen walls and mature vegetation along properties east of Arizona Avenue will assist in buffering activities from the Baffert development. Additionally, as stated under response no. 4., the developer is obligated to assist in financing a new masonry screen wall per the conditions of the rezoning ordinance. Any access lighting will be shielded and directed away from the residences as much as possible. To this end we believe the current design does mitigate adverse effects associated with noise, odors, and lighting per section 5.12.8.B.4.

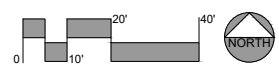
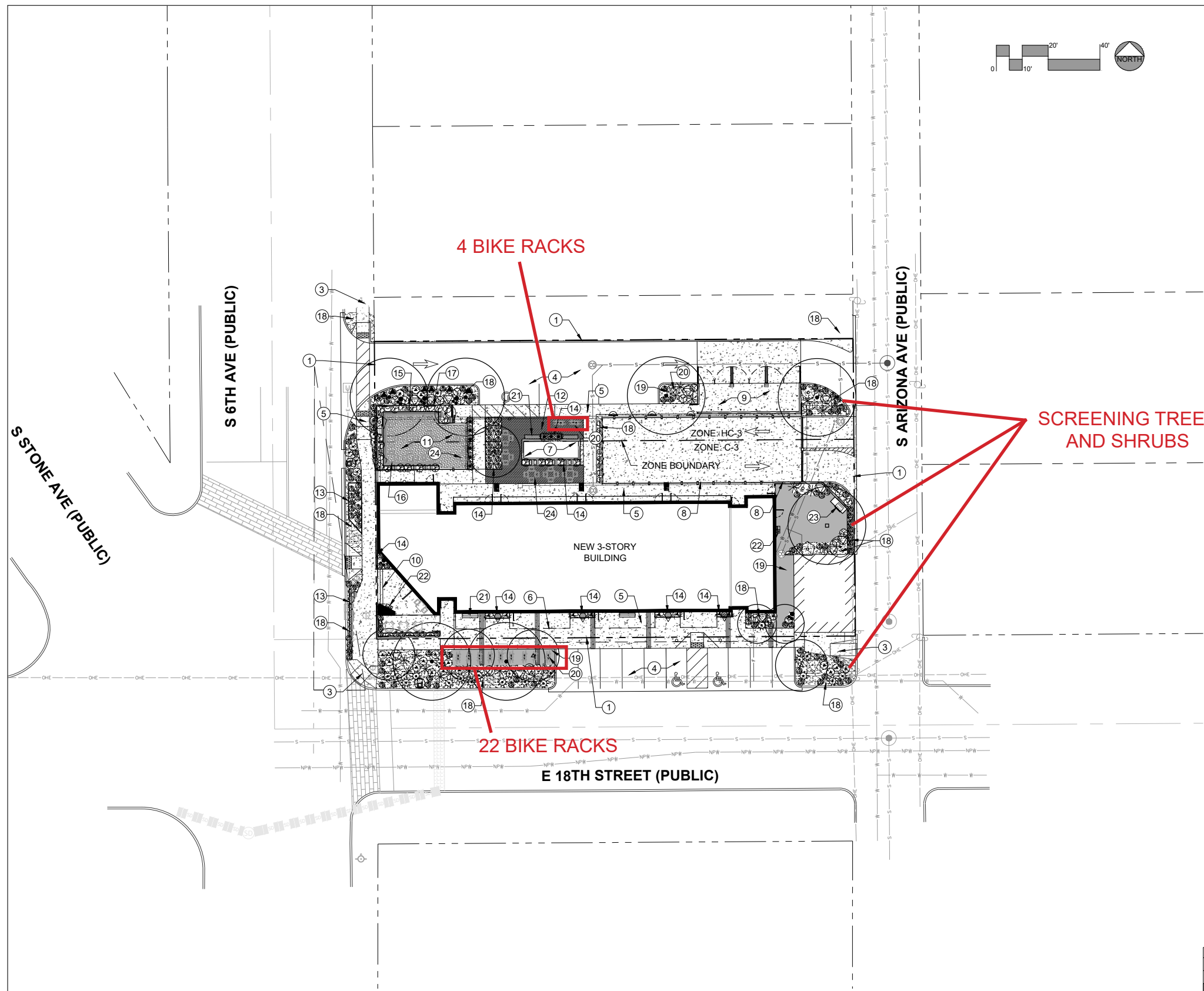
7. Provide plans showing utility layouts and availability of services. (5.12.8.A)

Response: Utilities are being developed and have been shown on the site development package. See attached utility site plan for further reference per 5.12.8.A

8. Show the location of bicycle parking spaces. (5.12.9.C.2.a)

Response: Refer to the enlarged landscape plan for proposed bicycle parking locations. In addition, long term storage shall be provided within the residential dwelling units. Bicycle parking spaces have been provided in excess code requirements and per 5.12.9.C.2.a

David E Shambach.



LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
Olneya tesota ironwood	24" box 1.5" caliper	1
Fraxinus greggii little leaf ash	24" box 1.5" caliper	4
Celtis reticulata netleaf hackberry	24" box 1.5" caliper	6
Pistacia x 'Red Push' red push pistache	24" box 1.5" caliper	1
Acacia willardiana Palo blanco	24" box 1.5" caliper	2
Shrubs / Ground Covers	Size	Qty
Bauhinia lunarioides 'White' chihuahuan orchid shrub	5 gallon	2
Calliandra eriophylla native fairy duster	5 gallon	20
Bouteloua gracilis 'Blond Ambition' blond ambition blue grama	5 gallon	7
Calliandra californica baja fairy duster	5 gallon	13
Chrysactinia mexicana damianita daisy	1 gallon	6
Tecoma stans 'glod star' gold star yellow bells	5 gallon	5
Justicia spicigera mexican honeysuckle	5 gallon	22
Setcreasea pallida purple heart	1 gallon	28
Vines	Size	Qty
Parthenocissus 'Hacienda Creeper' hacienda creeper	5 gallon	2
Trachelospermum jasminoides star jasmine	5 gallon	3
Podranea ricasoleana pink trumpet vine	5 gallon	2
Vitis californica 'Roger's Red' california grape	5 gallon	1
Antigonon leptopus 'Baja Red' red queen's wreath	5 gallon	11
Cacti / Succulents	Size	Qty
Agave geminiflora twin flower agave	5 gallon	4
Asclepias subulata desert milkweed	5 gallon	17
Pedilanthus bracteatus tall lady slipper	15 gallon	9
Euphorbia antisiphilitica candelilla	5 gallon	19
Nolina microcarpa beargrass	5 gallon	25
Yucca pallida pale leaf yucca	5 gallon	123
Pedilanthus macrocarpus slipper plant	15 gallon	8
Lophocereus schoti totem pole cactus	5 gallon	5
Cleistocactus strausii silver torch	5 gallon	4

HARDSCAPE MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.

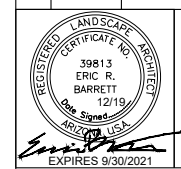
- Paver - Patio dining area
 - Acker-stone holland stone 1 - refer to details and specifications - 90° herringbone
- GROUND COVER MATERIAL LEGEND**
- Furnish and install all material per plans, details, and specs.
- Decorative rock 01 - Landscape areas
 - type: screened rock
 - size: 1/2"
 - color: coco brown - pioneer materials
 - depth: 2"
 - notes: install in all landscape planting areas as indicated on plans
 - Decorative rock 02 - Bicycle parking / patio
 - type: stabilized decomposed granite
 - size: 3/8" minus
 - color: palomino gold
 - depth: 3"
 - notes: stabilizer solutions stabilizer® w/ 15lbs of stabilizer® per ton of aggregate
 - Turf - Artificial turf
 - pioneer materials artificial grass - walden w/ triple z zeolite infill, installed per specifications and details

LANDSCAPE KEY NOTES

- Property line
- Sight visibility triangle
- Existing sidewalk
- Pavement - refer to civil
- Concrete sidewalk - refer to civil
- Building/structure overhead, typ.
- Sky light - refer to architectural plans
- Wall/fence - refer to site plan
- Trash enclosure - refer to site plan
- Concrete steps
- Paver patio - refer to legend
- Artificial turf - refer to legend
- Steel planter - 8" height
- Steel planter - 24" height
- Steel planter - 36" height
- Bench attached to steel planter
- Trellis attached to steel planter
- Decorative rock 01 - all landscape areas, typ.
- Decorative rock 02 - stabilized dg
- Bicycle rack - function first design bikerib 2.0, standard finish
- Bench - landscape forms neoromantic bench, 69" backed, surface mount tab
- Waste/recycle receptacle
- Bbq island - colored concrete countertop, smooth stucco base, 36" professional outdoor built-in grill (lynx grill L36R-3 or approved equal)
- Site furnishing by others - shown for reference only

Refer to specifications for additional information on policies, performances, and products.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				KBL 747 LLC PO BOX 64669 TUCSON, ARIZONA 85728-4669 ATTN: MR. LAWRENCE KAPPLER E: lkappler@tbrconstruction.net ph: 520-631-5907
				SITE ADDRESS 741 S 6TH AV TUCSON, ARIZONA 85701



ARC STUDIOS PROJECT NO: 01-19043

ARC STUDIOS
3117 E. Flower Street
Tucson, Arizona 85716
phone: 520.882.9655
www.arcstudiosinc.com

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environmental services . irrigation design.

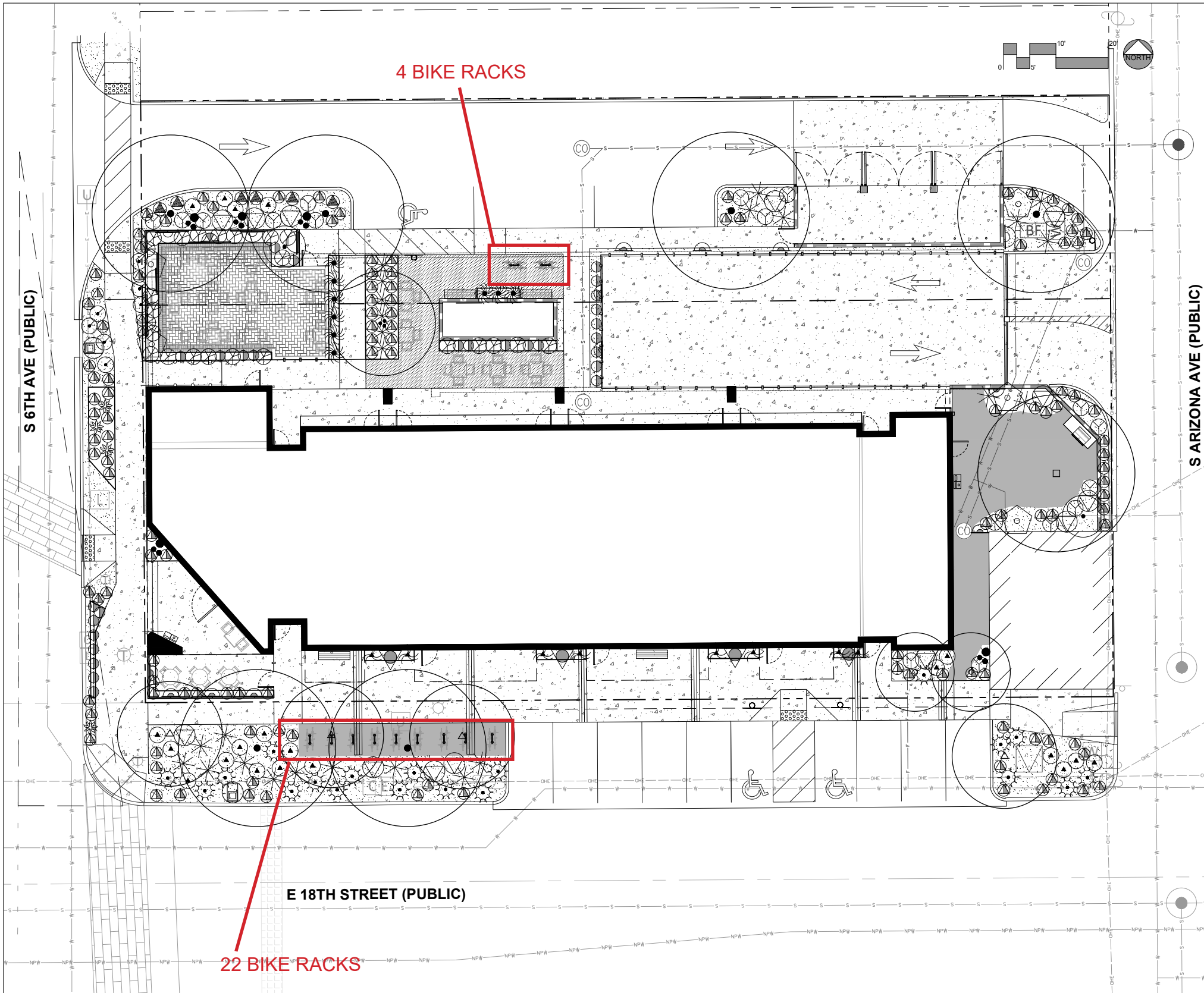
LOT 1 AND THE SOUTH 10 FEET OF LOT 2 OF CITY OF TUCSON, BOOK 2 OF MAPS AND PLATS AT PAGE 4, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS landscape plan

DP19-0220
REF: C9-18-02; C9-74-19; T195A

7 OF 10





LANDSCAPE LEGEND

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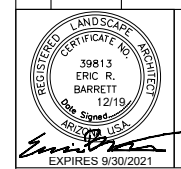
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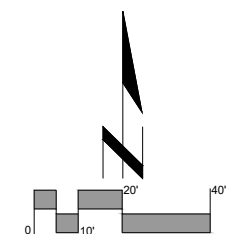
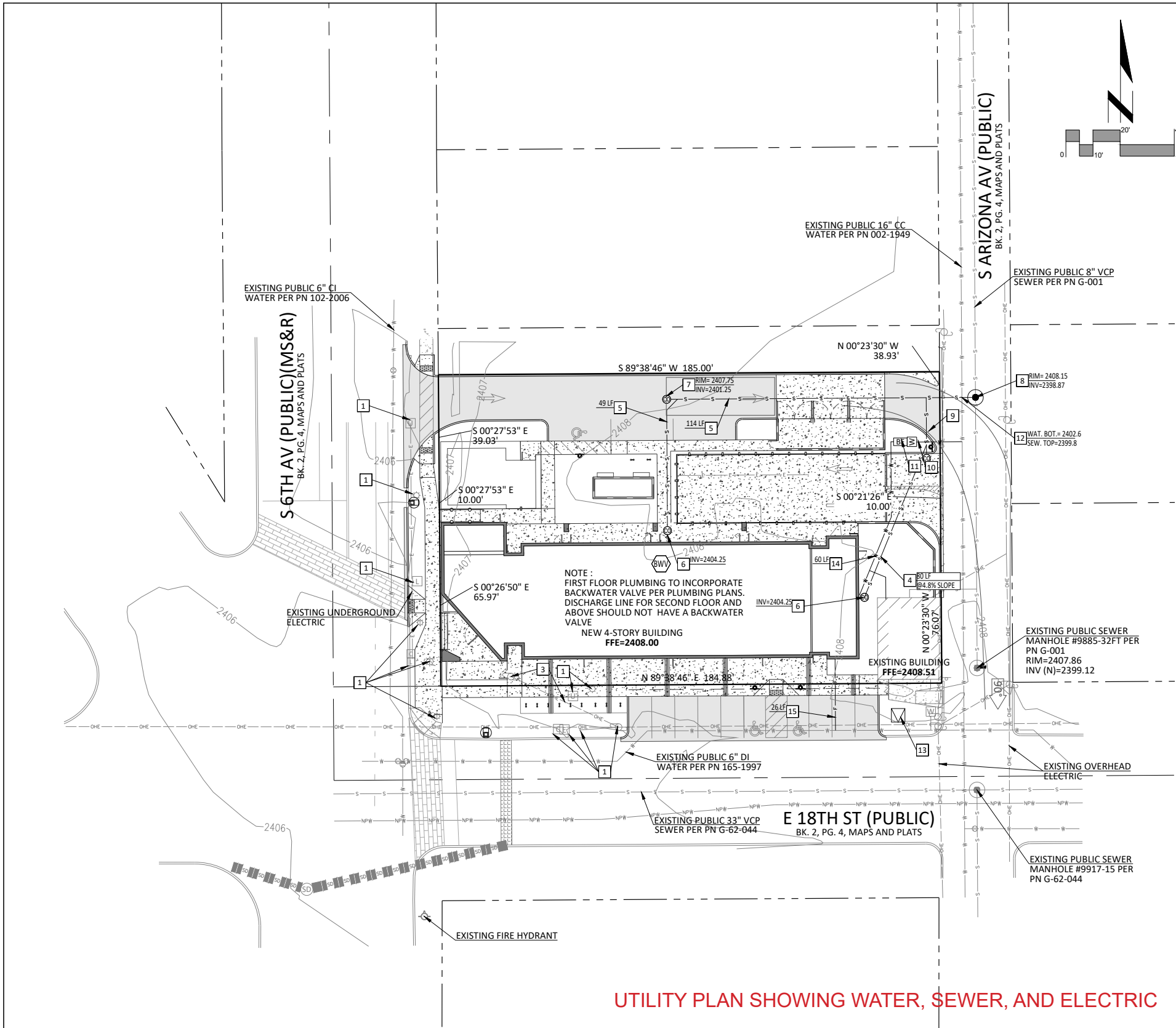
landscape architecture · urban design · environmental services · irrigation design.

LOT 1 AND THE SOUTH 10 FEET OF LOT 2 OF CITY OF TUCSON, BOOK 2 OF MAPS AND PLATS AT PAGE 4, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS landscape enlargement plan

DP19-0220
REF: C9-18-02; C9-74-19; T195A





- UTILITY KEYNOTES**
- EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
 - EXISTING UTILITY INFRASTRUCTURE TO BE REMOVED/RELOCATED. CONTRACTOR TO COORDINATE REMOVAL/RELOCATION WITH UTILITY COMPANY.
 - EXISTING POWER POLE. CONTRACTOR TO COORDINATE REMOVAL OR RELOCATION, AS REQUIRED, WITH TUCSON ELECTRIC POWER COMPANY.
 - NEW PRIVATE 4" PVC BCS SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - NEW PRIVATE 6" PVC SEWER LINE. PER SEPARATE PLAN.
 - NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
 - NEW PRIVATE SEWER MANHOLE PER SEPARATE PLAN.
 - NEW PUBLIC SEWER MANHOLE OVER EXISTING SEWER LINE PER SEPARATE PLAN.
 - NEW 1" IRRIGATION SERVICE WITH 3/8" IRRIGATION METER AND BACKFLOW PREVENTER PER LANDSCAPE PLANS.
 - NEW 2" WATER SERVICE WITH 2" METER. CONTRACTOR TO COORDINATE WITH TUCSON WATER FOR INSTALLATION.
 - NEW 2" BACKFLOW PREVENTER PER PLUMBING PLANS
 - UTILITY CROSSING. SEE KEYNOTE FOR SEPARATION.
 - NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN.
 - NEW 2" PVC PRIVATE WATER LINE.
 - NEW 6" FIRE SERVICE LINE. CONTRACTOR TO COORDINATE WITH TUCSON WATER FOR INSTALLATION.

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

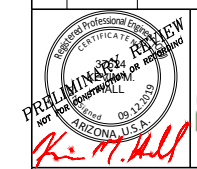
- ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

PRIVATE FIRE SUPPRESSION NOTES

- INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 24.
- MINIMUM DEPTH OF BURY TO BE 36".
- SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
- SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
- RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
- TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.

UTILITY PLAN SHOWING WATER, SEWER, AND ELECTRIC

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CYPRESS PROJECT NO: 19.080

CYPRESS CIVIL DEVELOPMENT
strength + sustainability

2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: info@cypresscivil.com

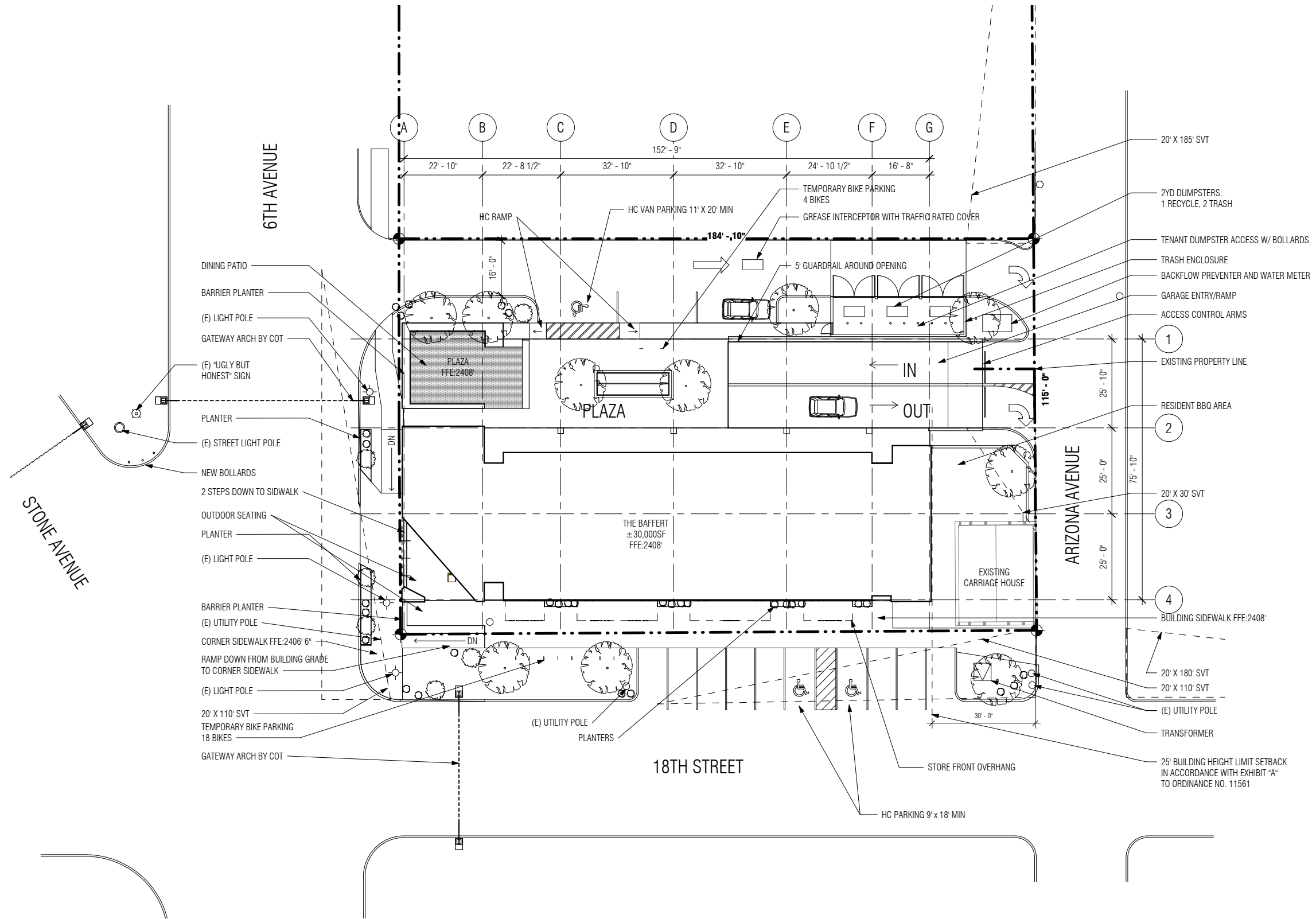
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DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS utilities + easements plan



DP19-0220
REF: C9-18-02; C9-74-19, T19SE#####

5 OF 10

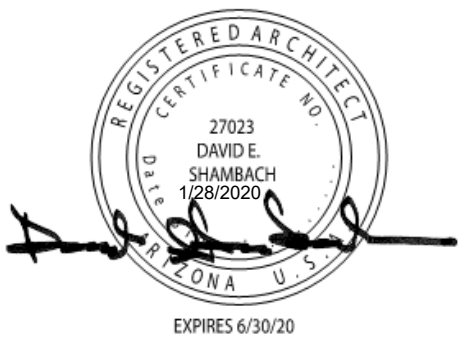
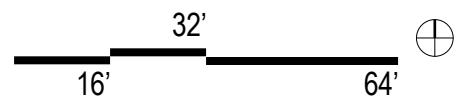


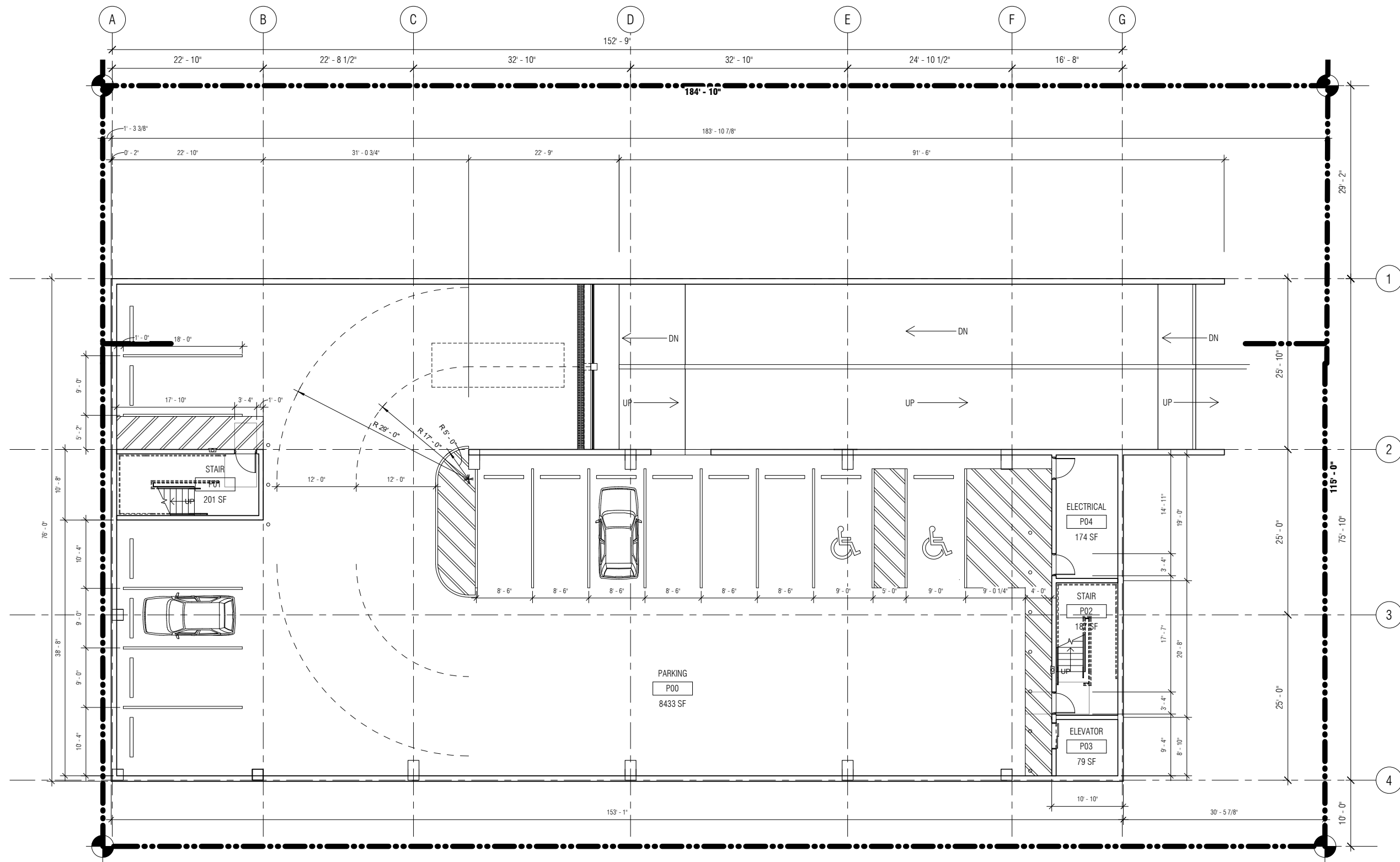
The Baffert at Five Points
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SITE PLAN

SEE LANDSCAPE PLAN FOR MORE DETAIL

Site Plan
1/32" = 1' - 0"





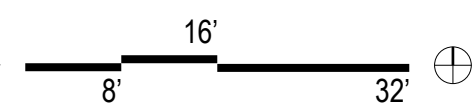
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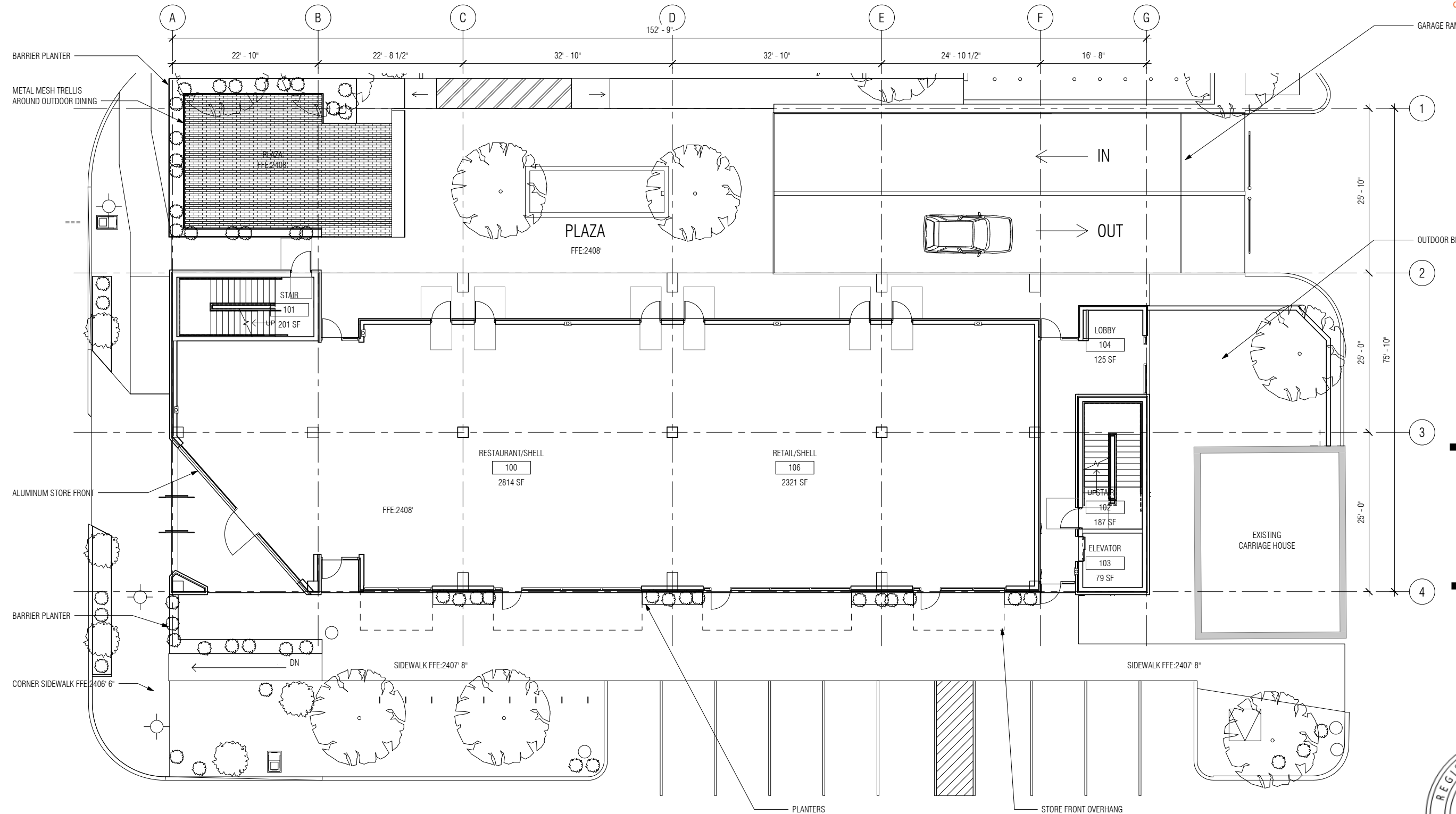
PLANS



EXPIRES 6/30/20

Parking Plan
1/16" = 1' - 0"



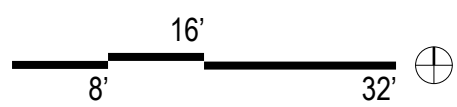


The Baffert at Five Points
741 S. 6th Avenue
Tucson, AZ 85701

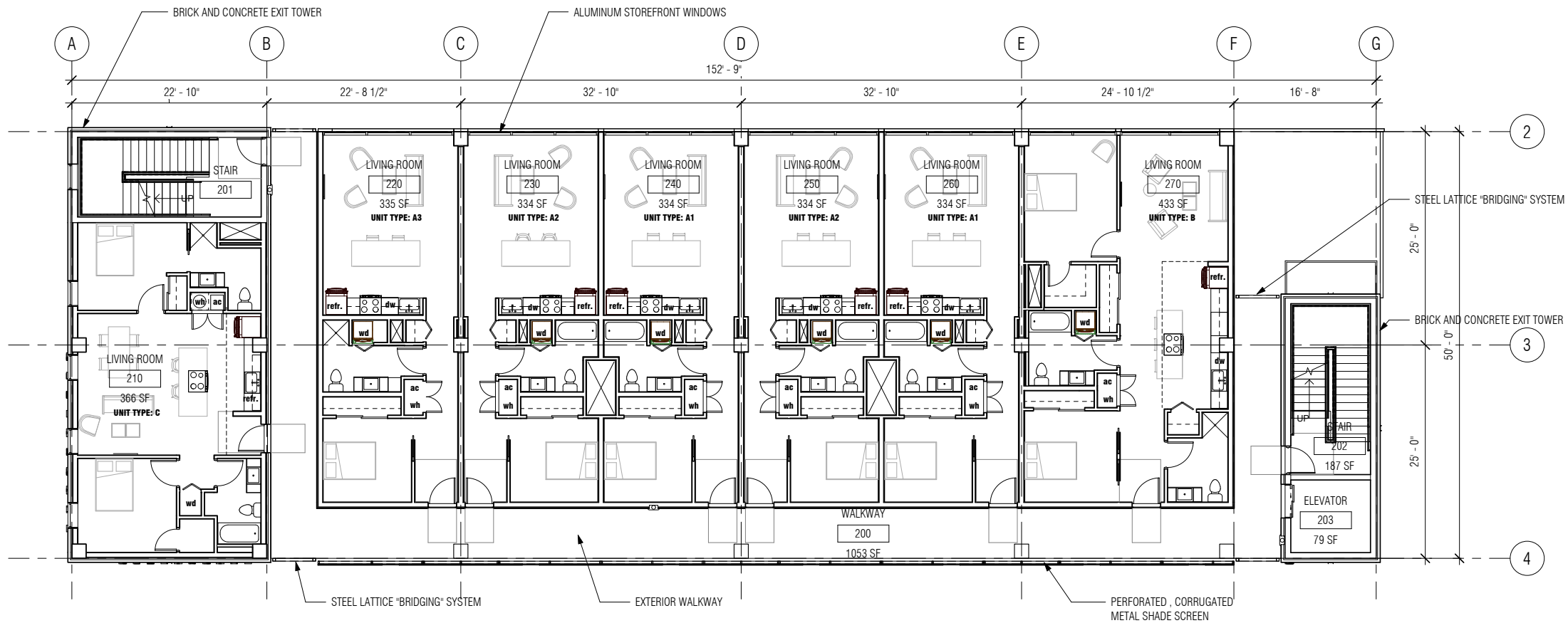
PLANS

First Floor Plan

1/16" = 1' - 0"

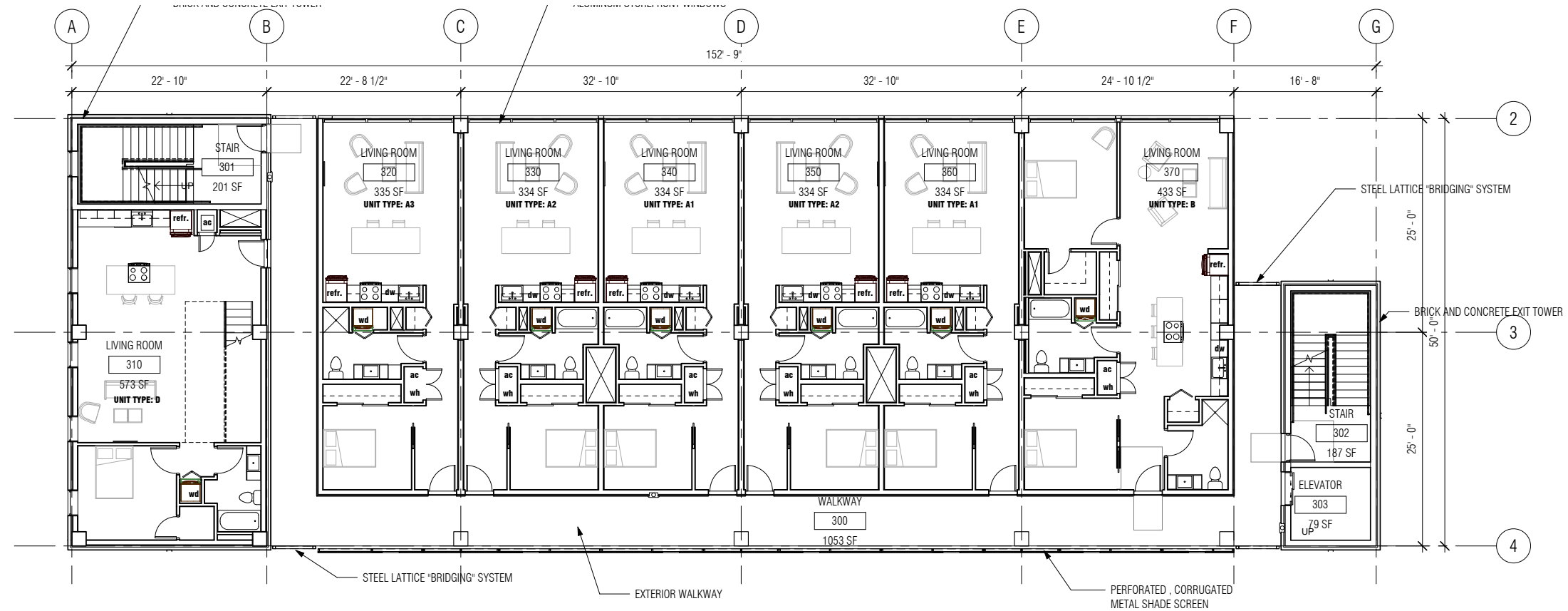


The Baffert at Five Points
741 S. 6th Avenue
Tucson, AZ 85701



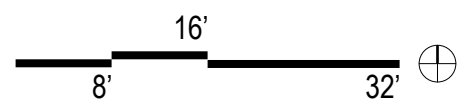
Second Floor Plan

1/16" = 1' - 0"



Third Floor Plan

1/16" = 1' - 0"



PLANS

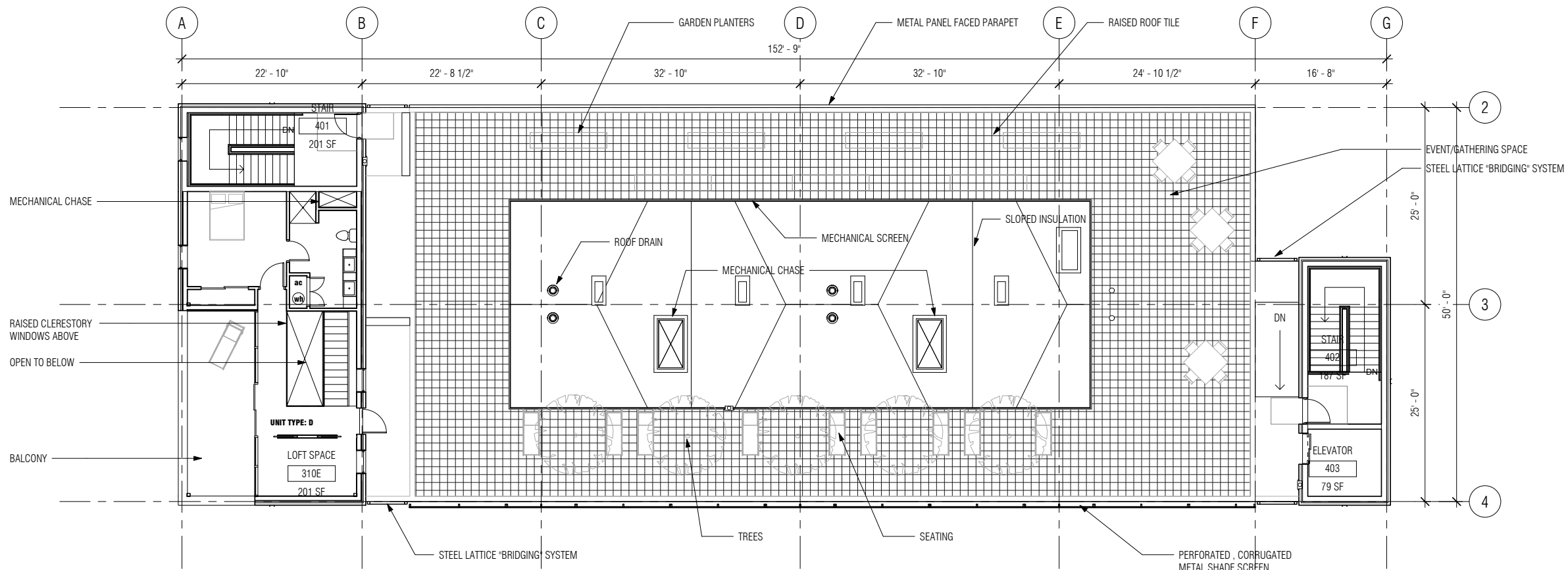


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PLANS

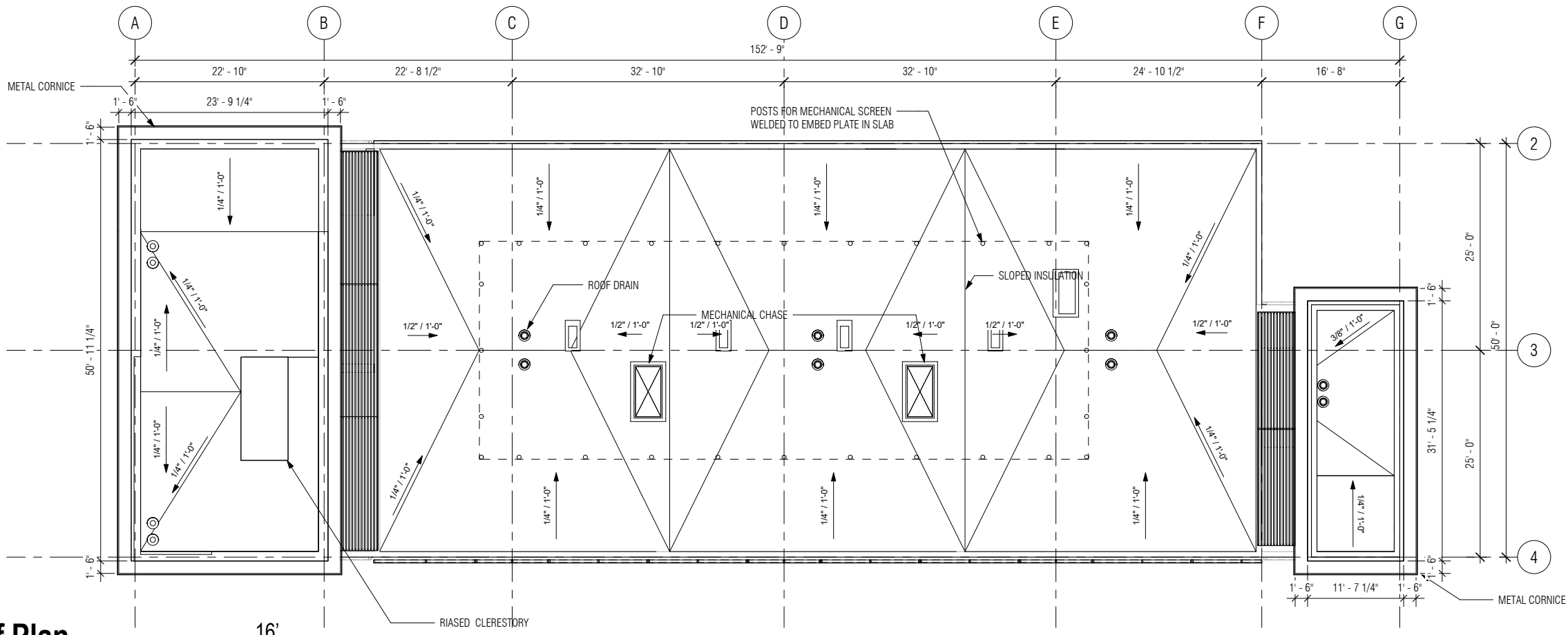


EXPIRES 6/30/20



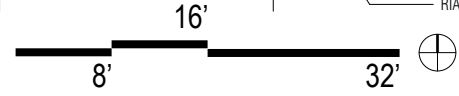
Low Roof Plan

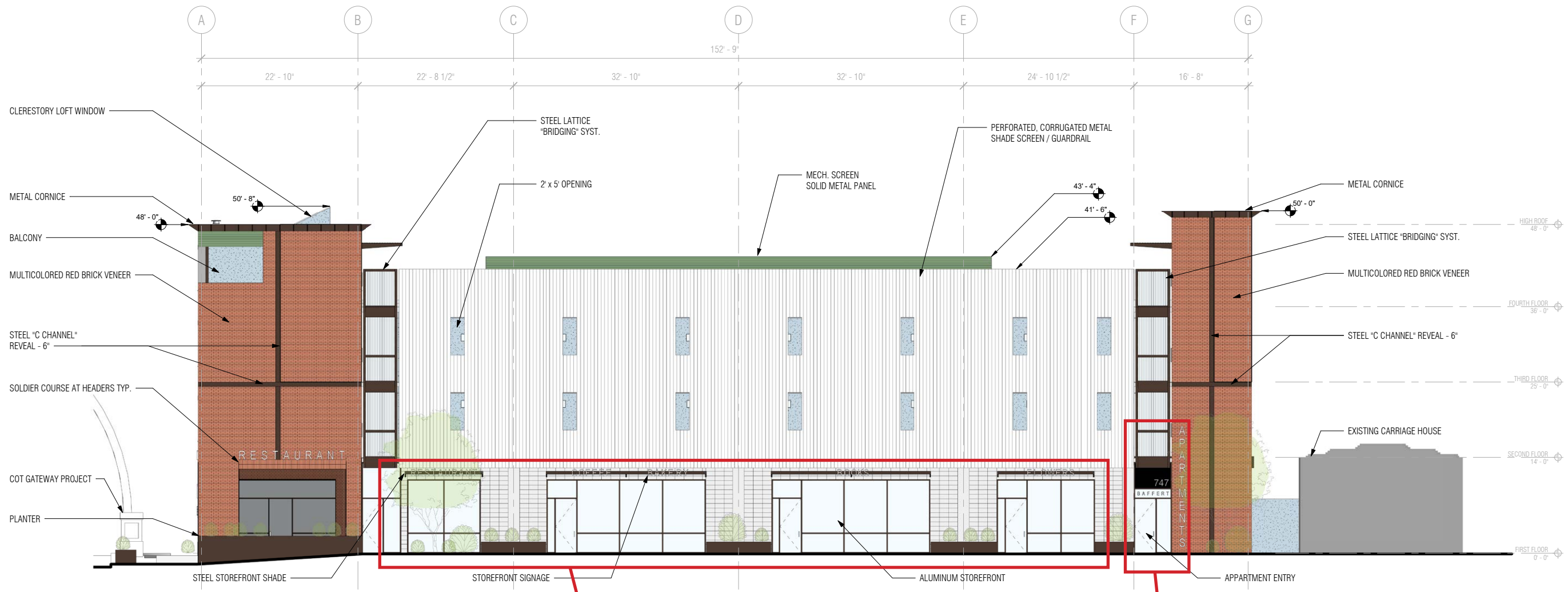
1/16" = 1' - 0"



High Roof Plan

1/16" = 1' - 0"





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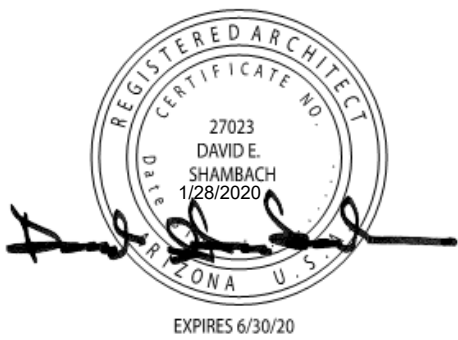
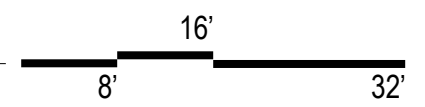
ELEVATION

FIRST FLOOR STOREFRONTS DELINEATED BY HEAVIER MATERIALS AND TEXTURES, AND HUMAN SCALE ELEMENTS LIKE SHADE AWNINGS, PLANTERS, BUSINESS SIGNAGE, AND INCORPORATED LIGHTING

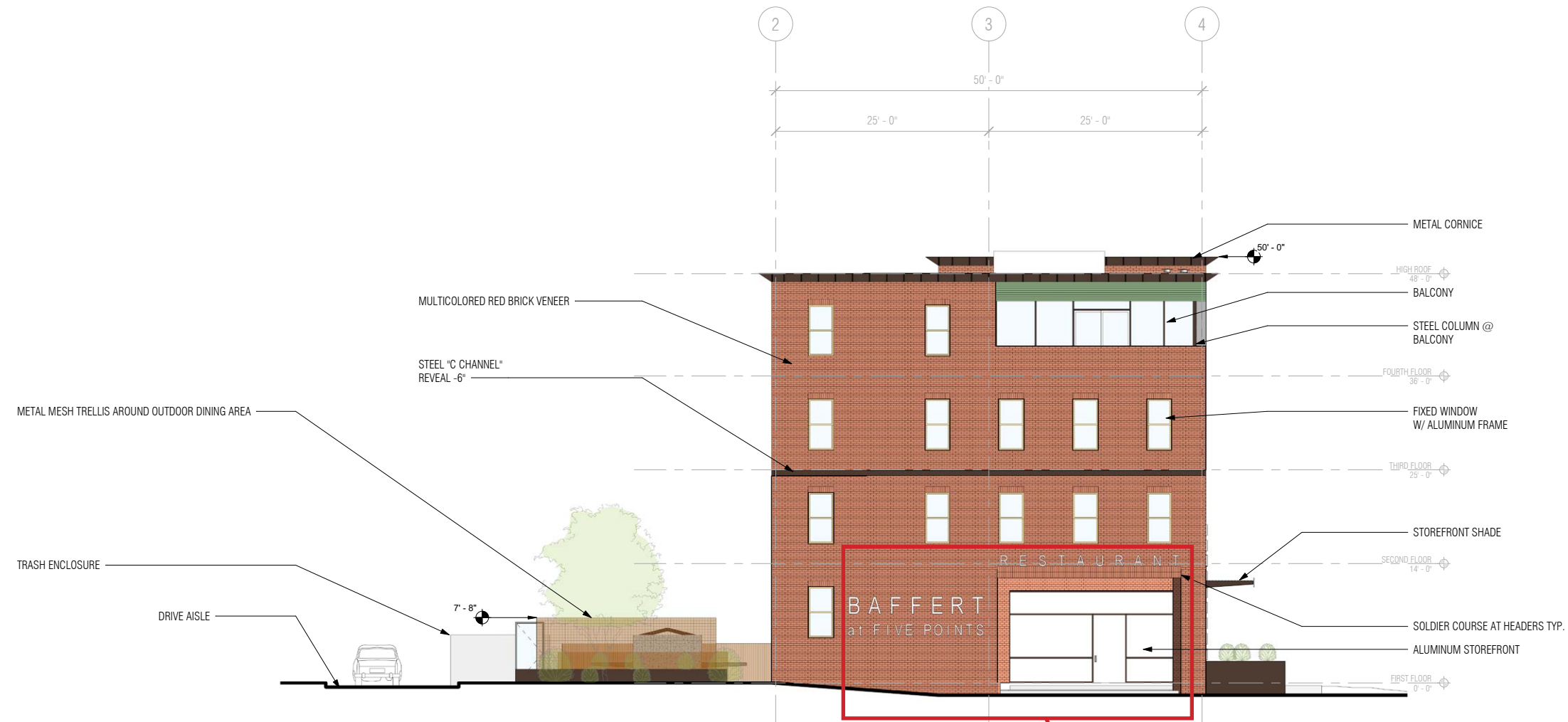
EMPHASIZED APARTMENT ENTRANCE

South Elevation

1/16" = 1' - 0"



The Baffert at Five Points
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Tucson, AZ 85701

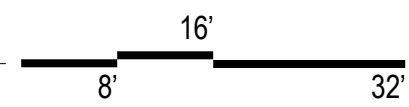


ELEVATION

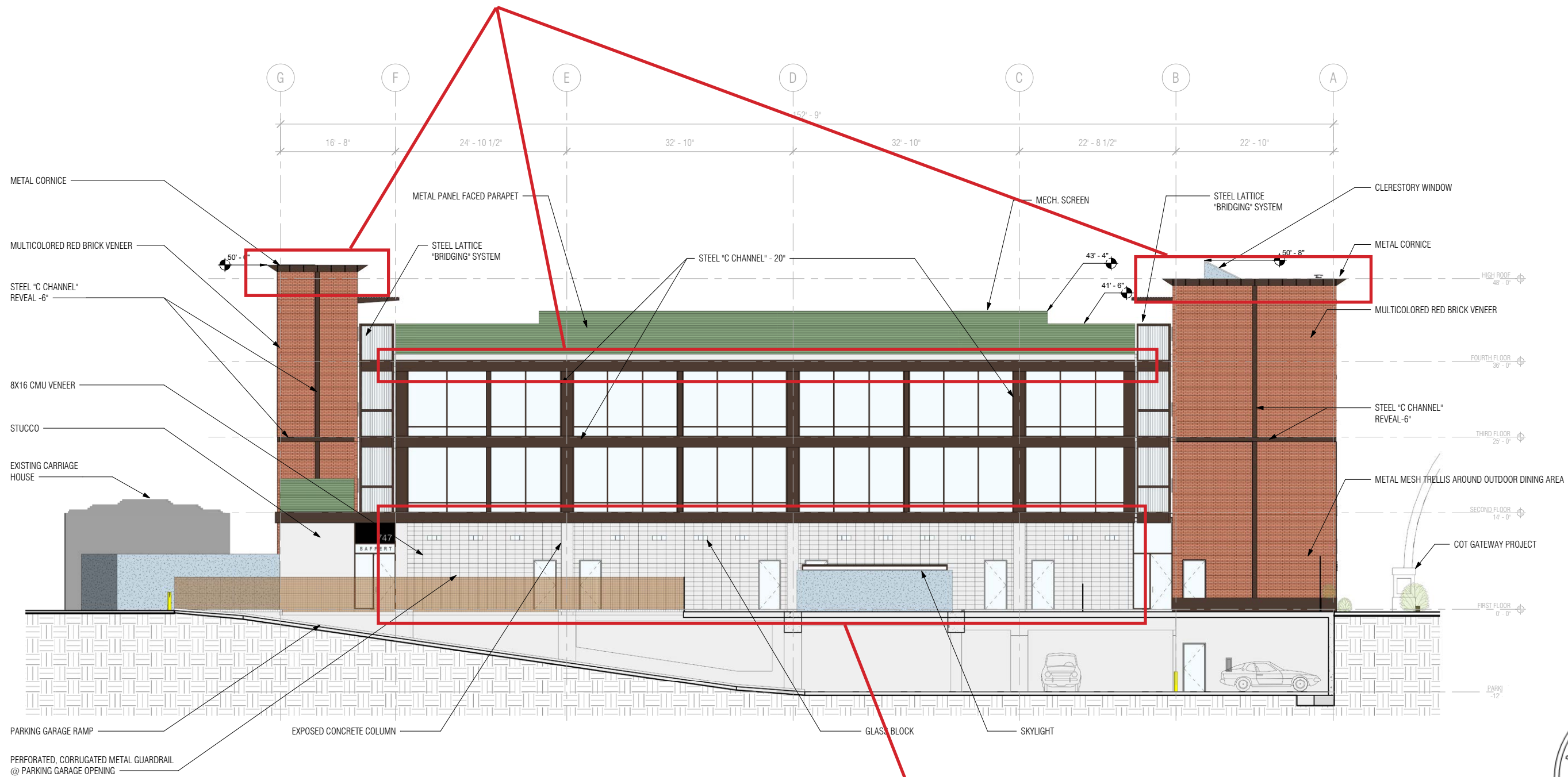
SIGNAGE AND RECESSED ENTRY

West Elevation

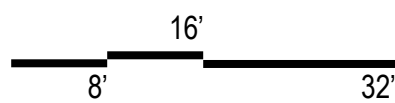
1/16" = 1' - 0"



SCALE DEFINING ELEMENTS



North Elevation
1/16" = 1' - 0"



FIRST FLOOR DELINEATED BY HEAVIER MATERIALS AND TEXTURES, OVERHANG, AND INCORPORATED LIGHTING

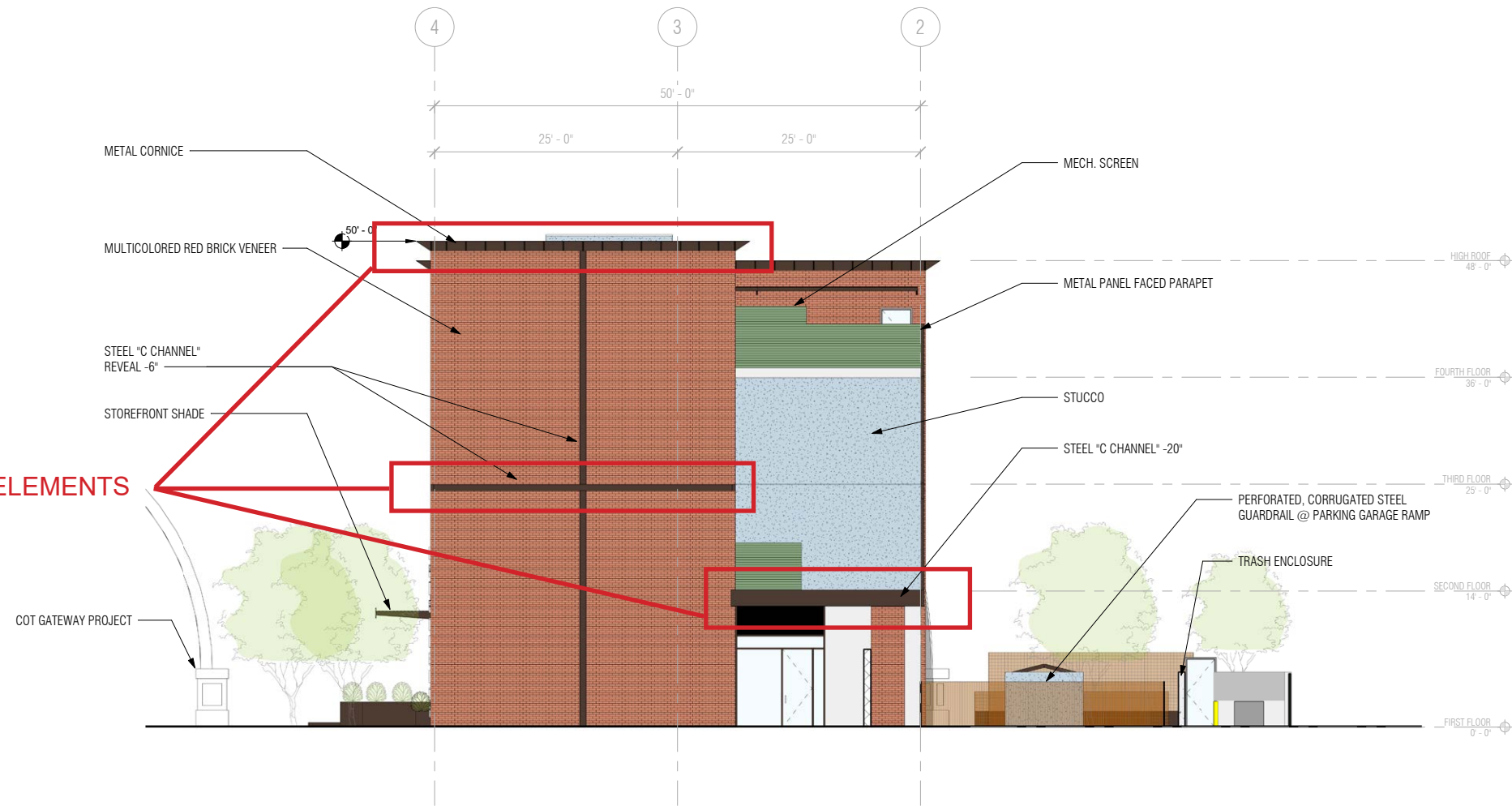
The Baffert at Five Points
741 S. 6th Avenue
Tucson, AZ 85701

ELEVATION



The Baffert at Five Points
741 S. 6th Avenue
Tucson, AZ 85701

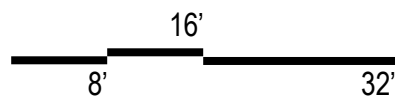
SCALE DEFINING ELEMENTS



ELEVATION

East Elevation

1/16" = 1' - 0"





Northwest



Southeast



Northeast

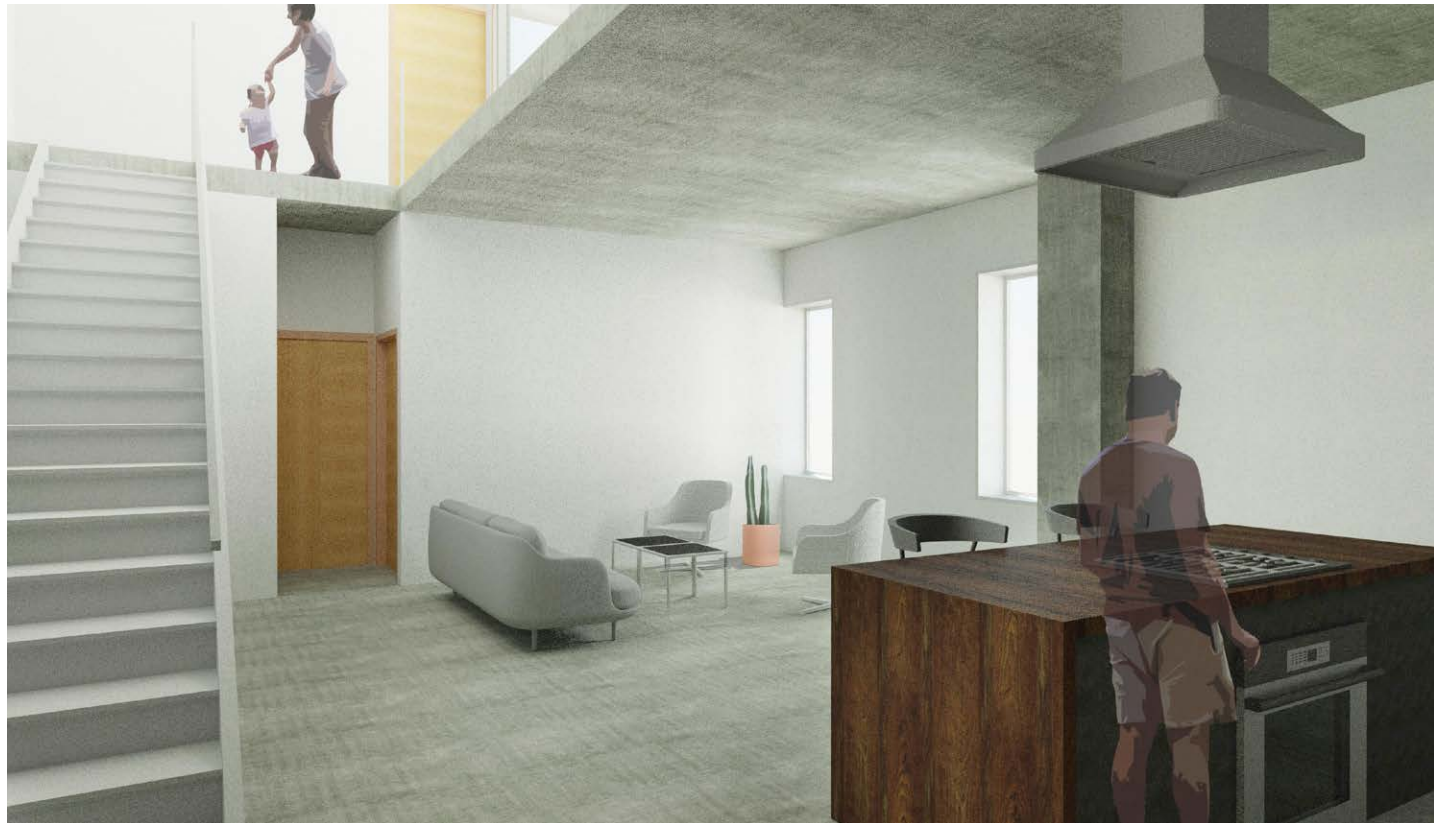


Storefront

Perspective Views



Perspective from South-west
NTS

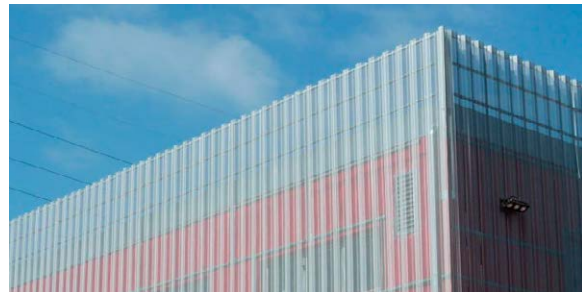


Interior Perspectives

NTS



CAST IN PLACE CONCRETE, GLASS, BRICK, AND PERFORATED SCREEN



SHADESCREEN - ATAS INTERNATIONAL, INC

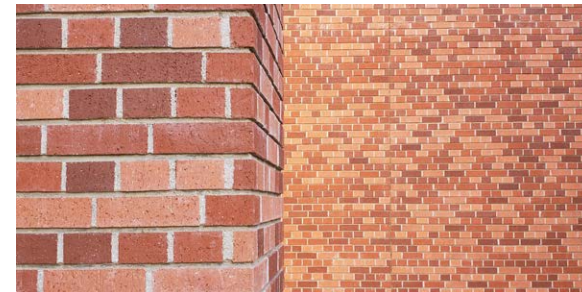
PRIMARY: CHAMPAGNE



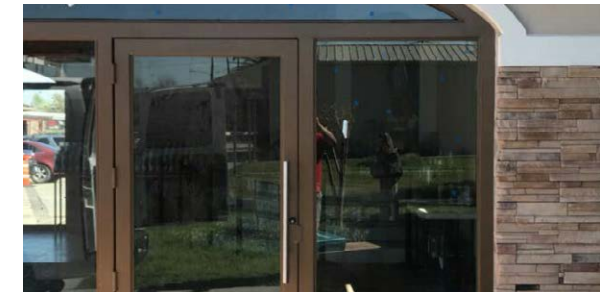
COPPERTONE



SANDSTONE



MULTI-COLORED BRICK - SUMMIT BRICK



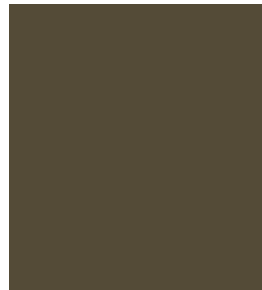
ARCADIA ALUMINUM STORFRONT



METAL PANEL PARAPET - ATAS



PRIMARY: PATINA GREEN



MEDIUM BRONZE



PATINA GREY



CMU VENEER - CABCO



PEDISTAL PAVER SYSTEM



STUCCO - DUNN-EDWARDS PAINT



PRIMARY: IROGON BLUE



MOENKOPI TAN



TICKLED CROW



MOVEABLE BOX PLANTERS

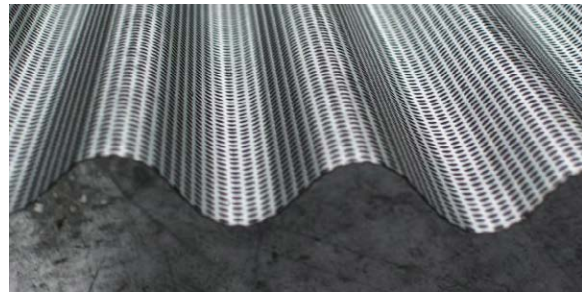
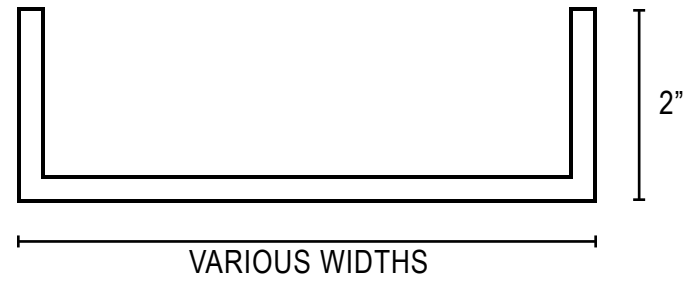


RECESSED FLOOR LEVEL PLANTERS

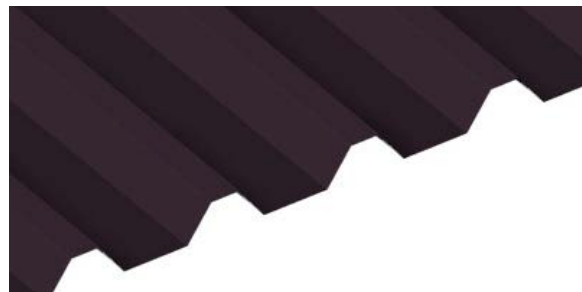
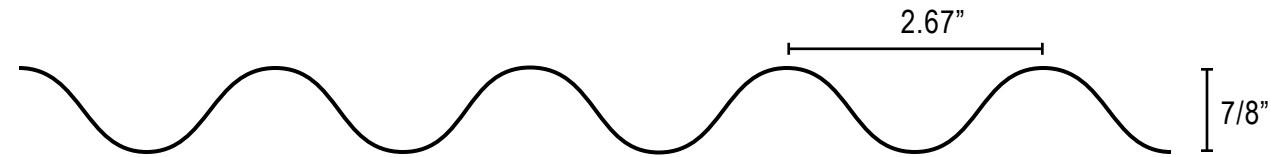
Material Samples and Colors



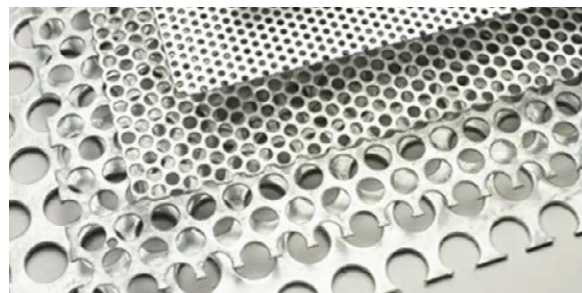
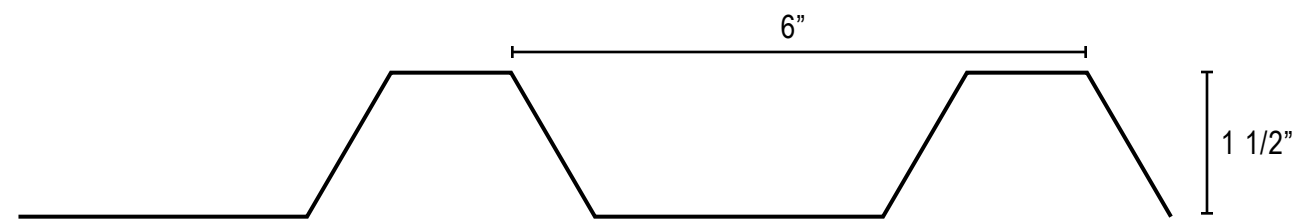
C CHANNEL FASCIA



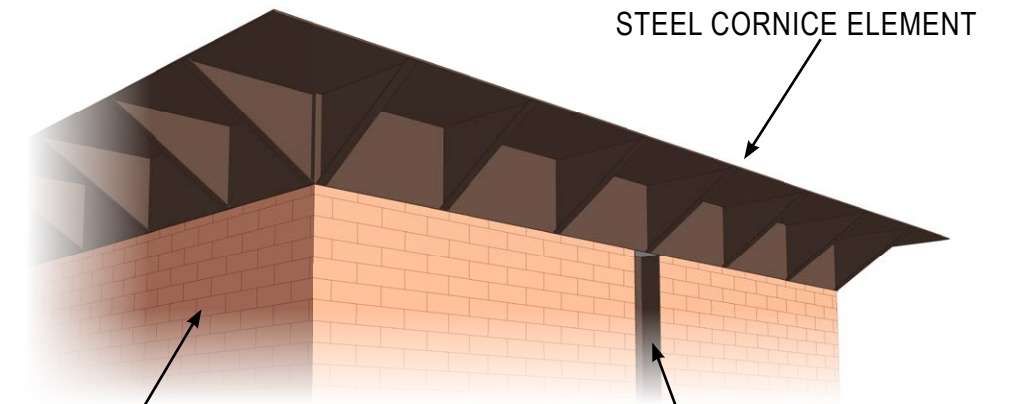
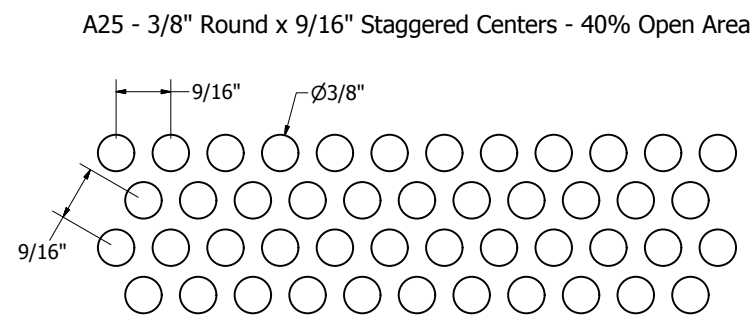
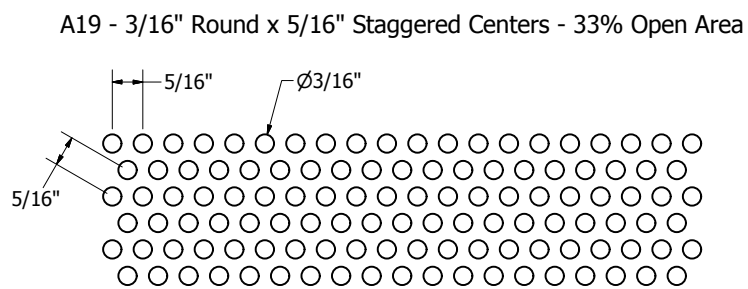
CURVED CORRUGATED PANEL - ATAS INTERNATIONAL, INC



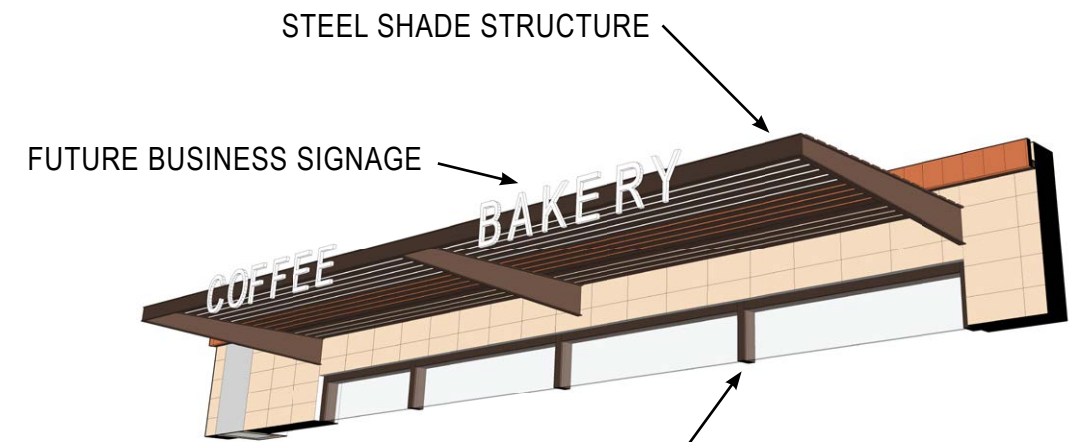
BELVEDERE 6" SHORT RIB - ATAS INTERNATIONAL, INC



PERFORATION PATTERN - ATAS INTERNATIONAL, INC



STEEL CORNICE ELEMENT
BRICK
STEEL C CHANNEL REVEAL



STEEL SHADE STRUCTURE
FUTURE BUSINESS SIGNAGE
ALUMINUM STOREFRONT

Material Samples and Colors

Date: January 1, 2020

From: Rick Gonzalez, Architect, City of Tucson On-Call Design Professional

To: Nicholas Ross, Planning and Development Services Department (PDSD)

Re: Design Professional review 2 comments for the Baffert, IID-19-08

After review, based upon Unified development Code (UDC), of the required plans and documents submitted to PSDS, **I recommend approval of this project**, as noted below:

I believe the responses given adequately address the comments, and if implemented as addressed in response to the initial review by the applicant, will be in conjunction with IID standards.

With Regards,

Rick Gonzalez

COT DP