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architect

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Chris Monrad, PE chrismonrad@monradengineeringinc.com

SCHEMATIC DESIGN PACKAGE

75 E. BROADWAY

CORE AND SHELL



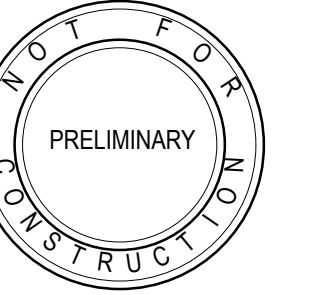
1 exterior perspective
g1.0

sheet index

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2 location map
g1.0 1/16" = 1'-0" north



job
1727

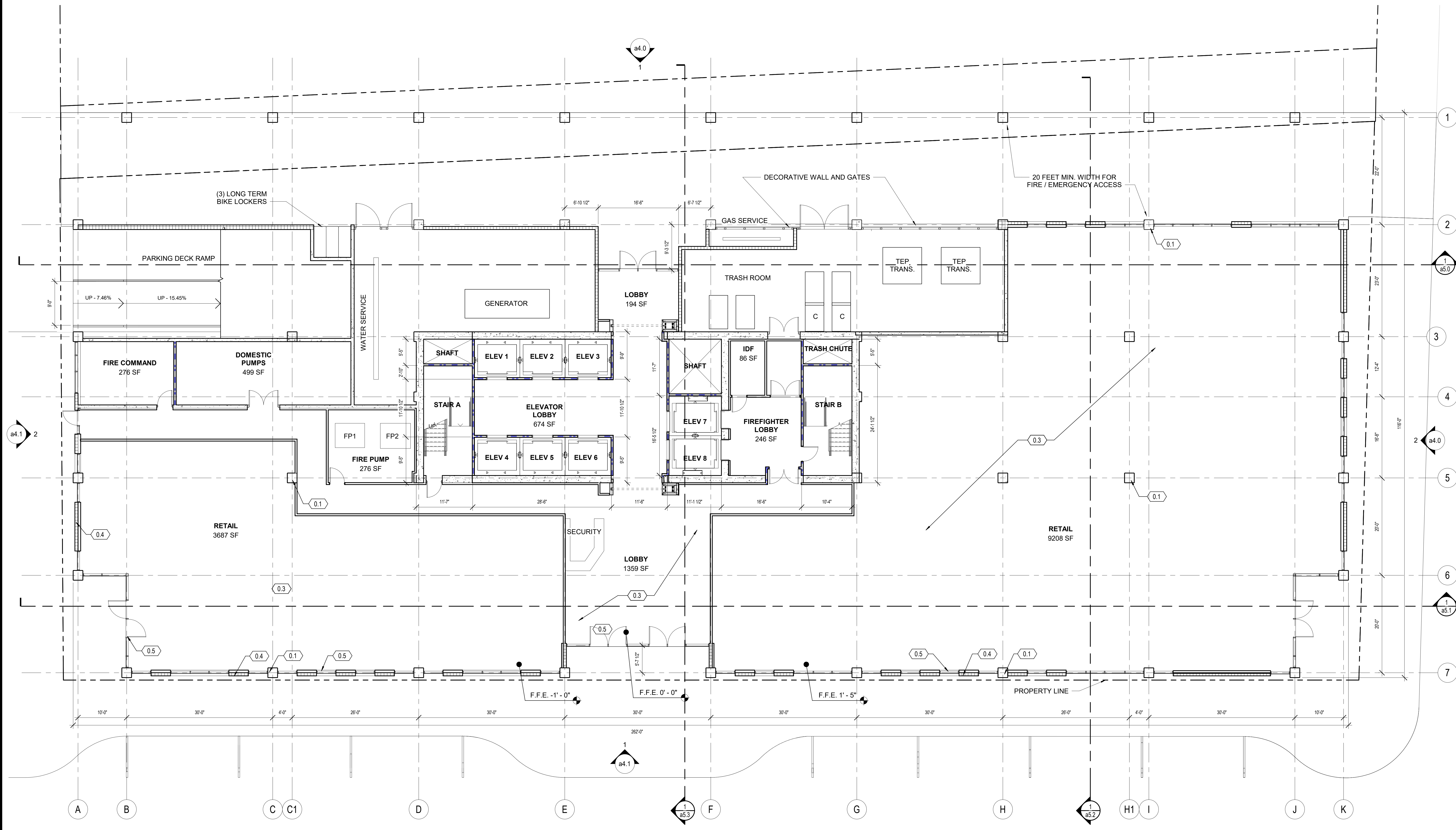
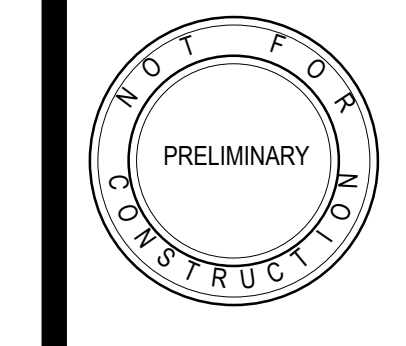
date
03.15.21

revisions

TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL
75 E. Broadway Blvd., Tucson, AZ 85701

Cover Sheet

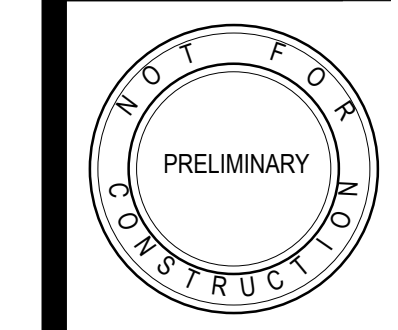
g1.0



1st floor retail - reference floor plan
1/8" = 1'-0"
north

- keynotes**
- 0.1 CAST IN PLACE CONCRETE COLUMN.
 - 0.3 CAST IN PLACE CONCRETE SLAB ON GRADE
 - 0.4 INTEGRAL COLOR CMU.
 - 0.5 1" CLEAR INSULATED GLAZING IN STOREFRONT FRAMING SYSTEM.

- general notes**
1. EXTERNAL WALLS
 - A. 6" x 18/20 GA. METAL STUDS @ 16" O.C.
 - B. BATT INSULATION R-19 WITH FOIL FACING
 - C. 5/8" GLASS MATT SHEATHING
 - D. FLUID APPLIED WATER BARRIER
 - E. FINISH OPTIONS PER NOTES
 - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
 2. ROOFING
 - A. TAPERED INSULATION, MIN 20, WITH 80 MIL. PVC ROOFING SYSTEM, 30 YEAR WARRANTY. SLOPE TO INTERNAL DRAINS.
 - B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.
 - C. PROVIDE ROOFTOP ACCOMODATIONS FOR WINDOW WASHING EQUIPMENT.
 3. WINDOWS / ENTRANCES
 - A. THERMALLY BROKEN ANODIZED 6" ALUMINUM
 - B. 1" INSULATED GLAZING, PPG Z75, SPANDREL GLASS - 60%, USE PYROLYTIC SELF CLEANING GLASS COATING
 - C. INDUSTRIAL SLIDERS @ APARTMENTS, SOME OPERABLE UNITS ELSEWHERE.
 - D. EXTERIOR SYSTEMS MAY BE SLAB TO SLAB WITH SLAB EDGE CONSLURE OR A CURTAIN WALL SYSTEM.
 4. EXTERIOR HOLLOW METAL FRAMES & DOORS - 16 GA. LEVEL 3
 5. INTERIOR FRAMES - ALUMINUM WESTERN INTEGRATED WITH TRANSOM & SIDELITES
 6. WOOD DOORS - PLASTIC LAMINATE CLAD & HARDWARE PREPARED.
 7. DOOR HARDWARE - ALLEGION CONTROLLED ACCESS ON DOORS.
 8. INTERIOR PARTITIONS - 3 5/8" & 6" x 20 GA. METAL FRAMING @ 16" O.C. SOUND BATT & 5/8" GWB EACH SIDE WITH LEVEL 5
 9. FLOORS - PUBLIC AREAS: EPOXY TERRAZZO - MULTI-COLOR.
 10. TILE - 12x24, PORCELAIN TILE FLOORS & WALLS, FULL HEIGHT IN RESTROOMS. ACCENT TILES.
 11. ACOUSTICAL CEILINGS - ARMSTRONG LINEAR WOOD CEILING IN PUBLIC LOBBIES.
 12. RESTROOM PARTITIONS SHALL BE 1" HDPE. FULL COMPLIMENT OF TOILET ACCESSORIES.
 13. SIGNAGE - BUILDING NAME, BUILDING NUMBERS AND EACH DOOR WITH ROOM SIGNAGE, 6"x6" CAST ALUMINUM WITH LOGO.
 14. MAIN BUILDING DIRECTORY IN LOBBY - DIRECTIONAL SIGNAGE, EACH FLOOR.
 15. ELEVATORS
 - A. PASSENGER CARS RATED @ 4000 LBS, 500 FPM.
 - B. PASSENGER CAR DOORS 4'x7" CENTER OPENING.
 - C. TWO FIRE SERVICE CARS - 4,500 LB RATING, 500 FPM.
 - D. SERVICE SIZE DOORS 4'-6" W x 8' HIGH, OFFSET. CAB HEIGHT 9'-0".
 - E. CLASS A LOADING, ALL CARS.
 16. BALCONIES
 - A. ALUMINUM RAILING SYSTEM WITH GLASS INSERTS -48" HIGH.
 - B. DECK SYSTEM - EPOXY COATING SLOPE TO INTERNAL DRAIN SYSTEM. ALTERNATIVE SURFACE, TILE PER KEYNOTES.



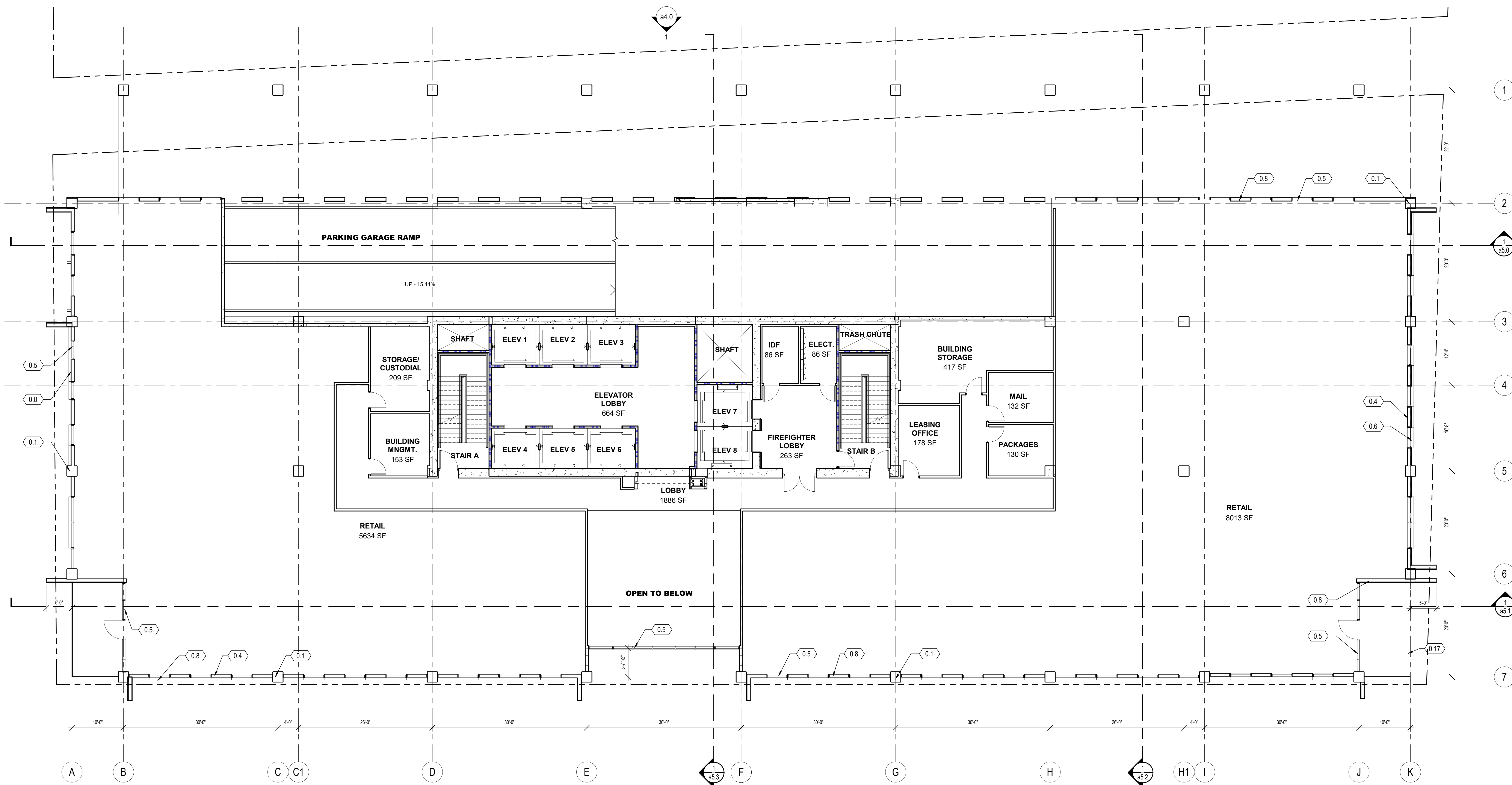
job
1727

date
03.15.21

revisions

NO.	DESCRIPTION

**TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL**
75 E. Broadway Blvd., Tucson, AZ 85701



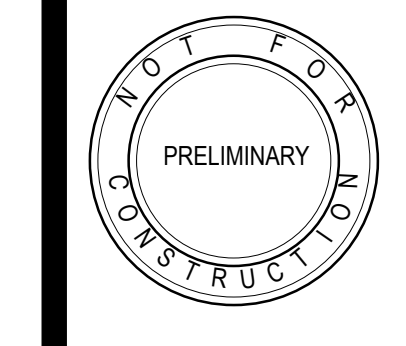
2nd floor reference floor plan
1/8" = 1'-0"

keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.4 INTEGRAL COLOR CMU.
- 0.5 1" CLEAR INSULATED GLAZING IN STOREFRONT FRAMING SYSTEM.
- 0.6 SPANDREL PANEL IN STOREFRONT FRAMING SYSTEM.
- 0.8 EIFS WALL SYSTEM WITH INTEGRAL COLOR.
- 0.17 GLASS GUARDRAIL SYSTEM.

general notes

1. EXTERNAL WALLS
 - A. 6" x 18/20 GA. METAL STUDS @ 16" O.C.
 - B. BATT INSULATION R-19 WITH FOIL FACING
 - C. 5/8" GLASS MATT SHEATHING
 - D. FLUID APPLIED WATER BARRIER
 - E. FINISH OPTIONS PER NOTES
 - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
2. ROOFING
 - A. TAPERED INSULATION, MIN 20. WITH 80 MIL. PVC ROOFING SYSTEM, 30 YEAR WARRANTY, SLOPE TO INTERNAL DRAINS.
 - B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.
 - C. PROVIDE ROOFTOP ACCOMMODATIONS FOR WINDOW WASHING EQUIPMENT.
3. WINDOWS / ENTRANCES
 - A. THERMALLY BROKEN ANODIZED 6" ALUMINUM
 - B. 1" INSULATED GLAZING, PPG Z75, SPANDREL GLASS - 60%, USE PYROLYTIC SELF CLEANING GLASS COATING
 - C. INDUSTRIAL SLIDERS @ APARTMENTS, SOME OPERABLE UNITS ELSEWHERE.
 - D. EXTERIOR SYSTEMS MAY BE SLAB TO SLAB WITH SLAB EDGE CONSLURE OR A CURTAIN WALL SYSTEM.
4. EXTERIOR HOLLOW METAL FRAMES & DOORS - 16 GA. LEVEL 3
5. INTERIOR FRAMES - ALUMINUM WESTERN INTEGRATED WITH TRANSOM & SIDELITES
6. WOOD DOORS - PLASTIC LAMINATE CLAD & HARDWARE PREPARED.
7. DOOR HARDWARE - ALLEGION CONTROLLED ACCESS ON DOORS.
8. INTERIOR PARTITIONS - 3 5/8" & 6" x 20 GA. METAL FRAMING @ 16" O.C. SOUND BATTS & 5/8" GWB EACH SIDE WITH LEVEL 5.
9. FLOORS - PUBLIC AREAS: EPOXY TERRAZZO - MULTI-COLOR.
10. TILE - 12x24, PORCELAIN TILE FLOORS & WALLS, FULL HEIGHT IN RESTROOMS. ACCENT TILES.
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 - E. CLASS A LOADING, ALL CARS.
16. BALCONIES
 - A. ALUMINUM RAILING SYSTEM WITH GLASS INSERTS -48" HIGH.
 - B. DECK SYSTEM - EPOXY COATING SLOPE TO INTERNAL DRAIN SYSTEM. ALTERNATIVE SURFACE, TILE PER KEYNOTES.

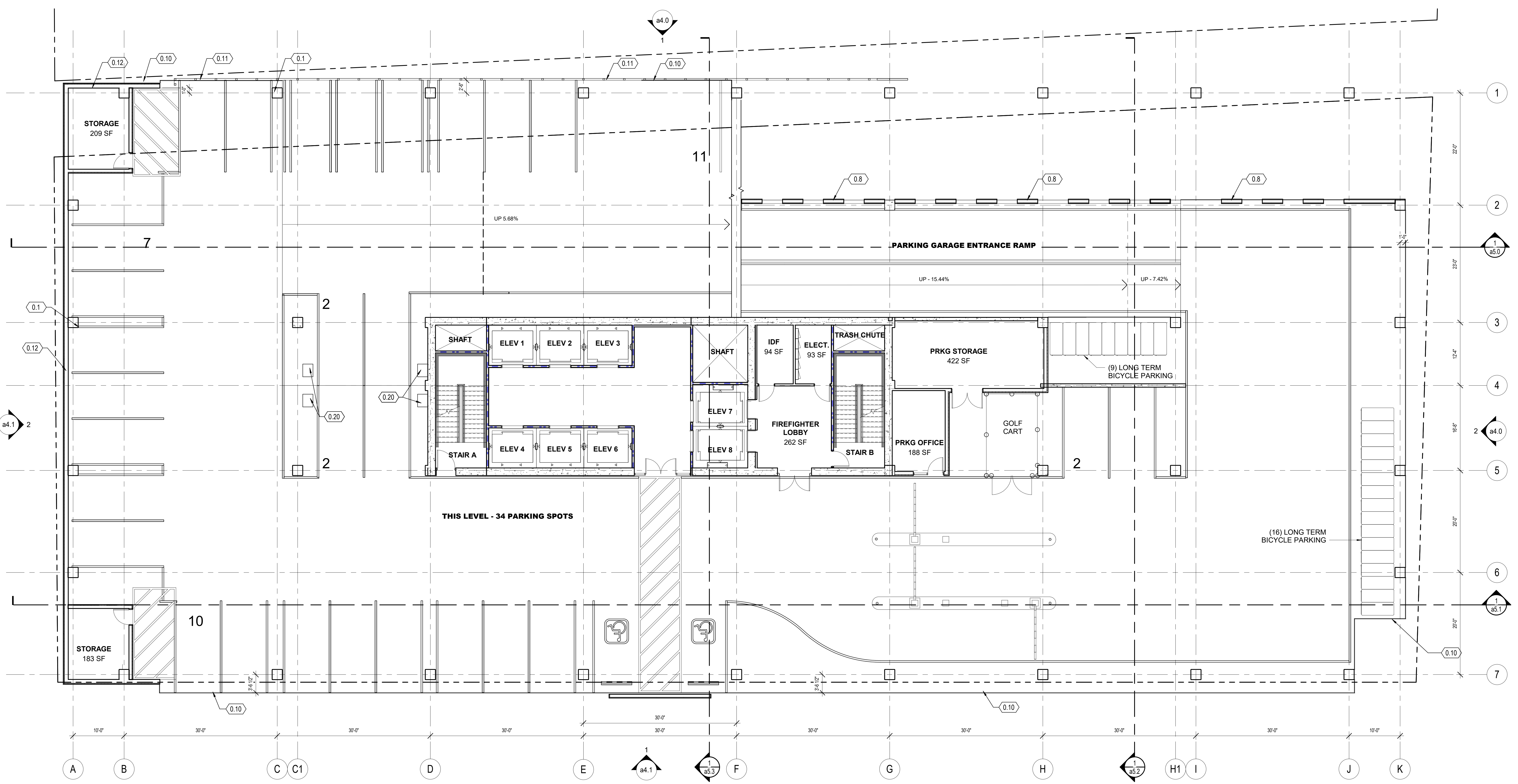


job
1727
date
03.15.21
revisions

**TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL**
75 E. Broadway Blvd., Tucson, AZ 85701

3rd floor plan - parking entrance

a1.2



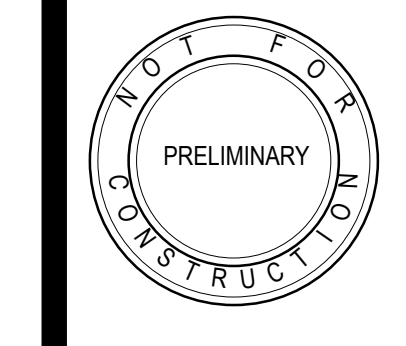
3rd floor reference floor plan
1/8" = 1'-0"
north

keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.8 EIFS WALL SYSTEM WITH INTEGRAL COLOR.
- 0.10 CRASH GUARD WITH CABLE RESTRAINT SYSTEM.
- 0.11 DECORATIVE PERFORATED METAL PANELS OVER METAL FRAMING.
- 0.12 RAINSCREEN SYSTEM #1 - ALUMINUM COMPOSITE METAL PANELS, MEMBRANE WATERPROOFING, GLASS-MAT GYPSUM SHEATHING, METAL STUD FRAMING, R-19 INSULATION, VAPOR BARRIED, 5/8" GYPSUM BOARD.
- 0.20 ELECTRIC CHARGING STATIONS.

general notes

1. EXTERNAL WALLS
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 - D. FLUID APPLIED WATER BARRIER
 - E. FINISH OPTIONS PER NOTES
 - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
2. ROOFING
 - A. TAPERED INSULATION, MIN 20" WITH 80 MIL PVC ROOFING SYSTEM, 30 YEAR WARRANTY, SLOPE TO INTERNAL DRAINS.
 - B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.
 - C. PROVIDE ROOFTOP ACCOMMODATIONS FOR WINDOW WASHING EQUIPMENT.
3. WINDOWS / ENTRANCES
 - A. THERMALLY BROKEN ANODIZED 6" ALUMINUM
 - B. 1" INSULATED GLAZING, PPG Z75, SPANDREL GLASS - 60%, USE PYROLYTIC SELF CLEANING GLASS COATING
 - C. INDUSTRIAL SLIDERS @ APARTMENTS, SOME OPERABLE UNITS @ ELSEWHERE.
 - D. EXTERIOR SYSTEMS MAY BE SLAB TO SLAB WITH SLAB EDGE CONSLURE OR A CURTAIN WALL SYSTEM.
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job
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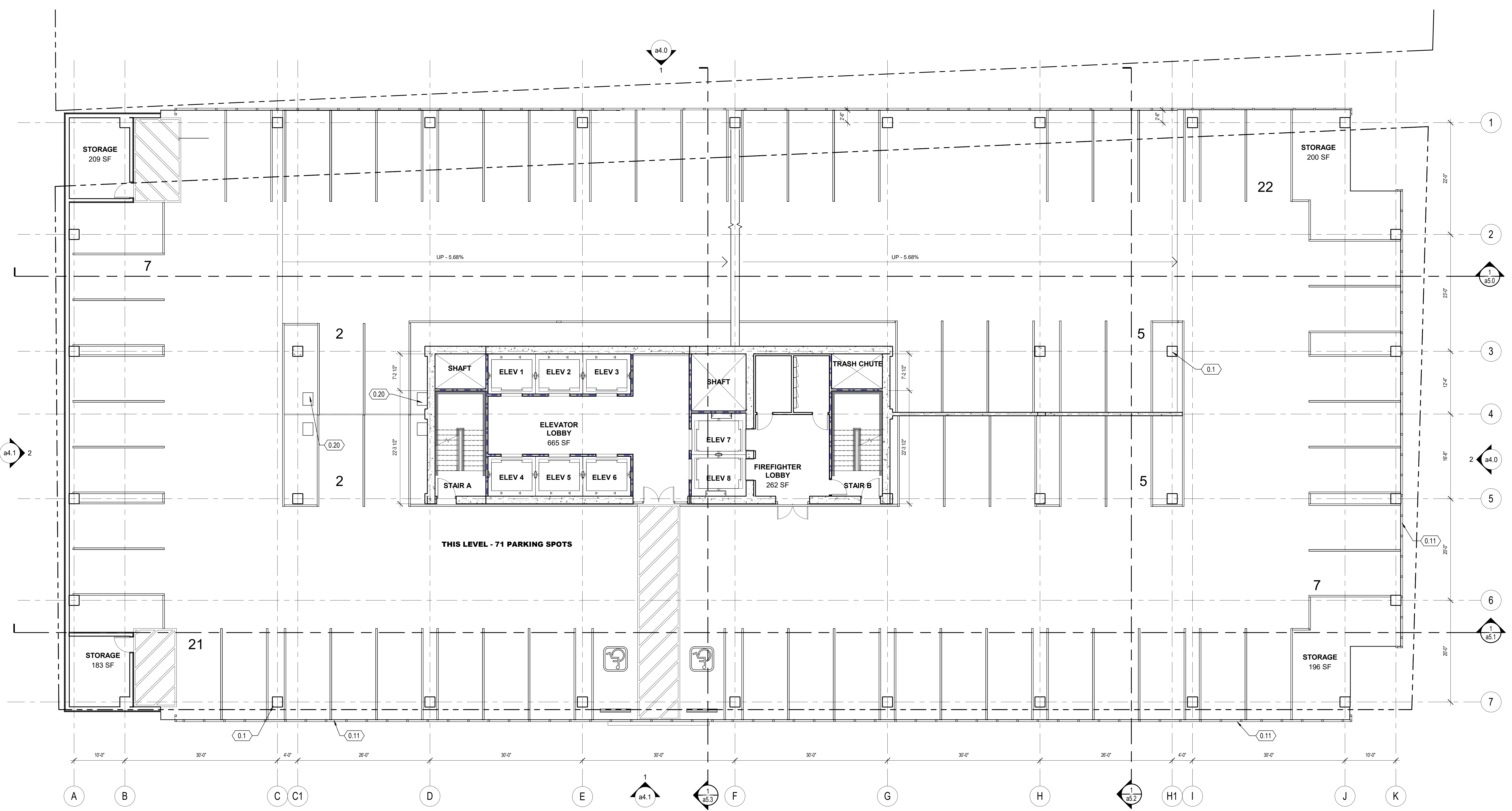
date
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revisions

TUCSON GROUP HOLDINGS
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CORE & SHELL
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4th floor plan - typical parking

a1.3



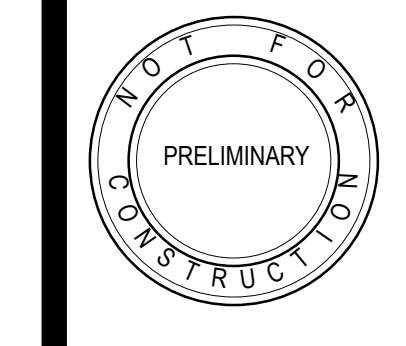
1 typical parking deck - levels 4 - 8
a1.3 1/8" = 1'-0" north

keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.11 DECORATIVE PERFORATED METAL PANELS OVER METAL FRAMING.
- 0.20 ELECTRIC CHARGING STATIONS.

general notes

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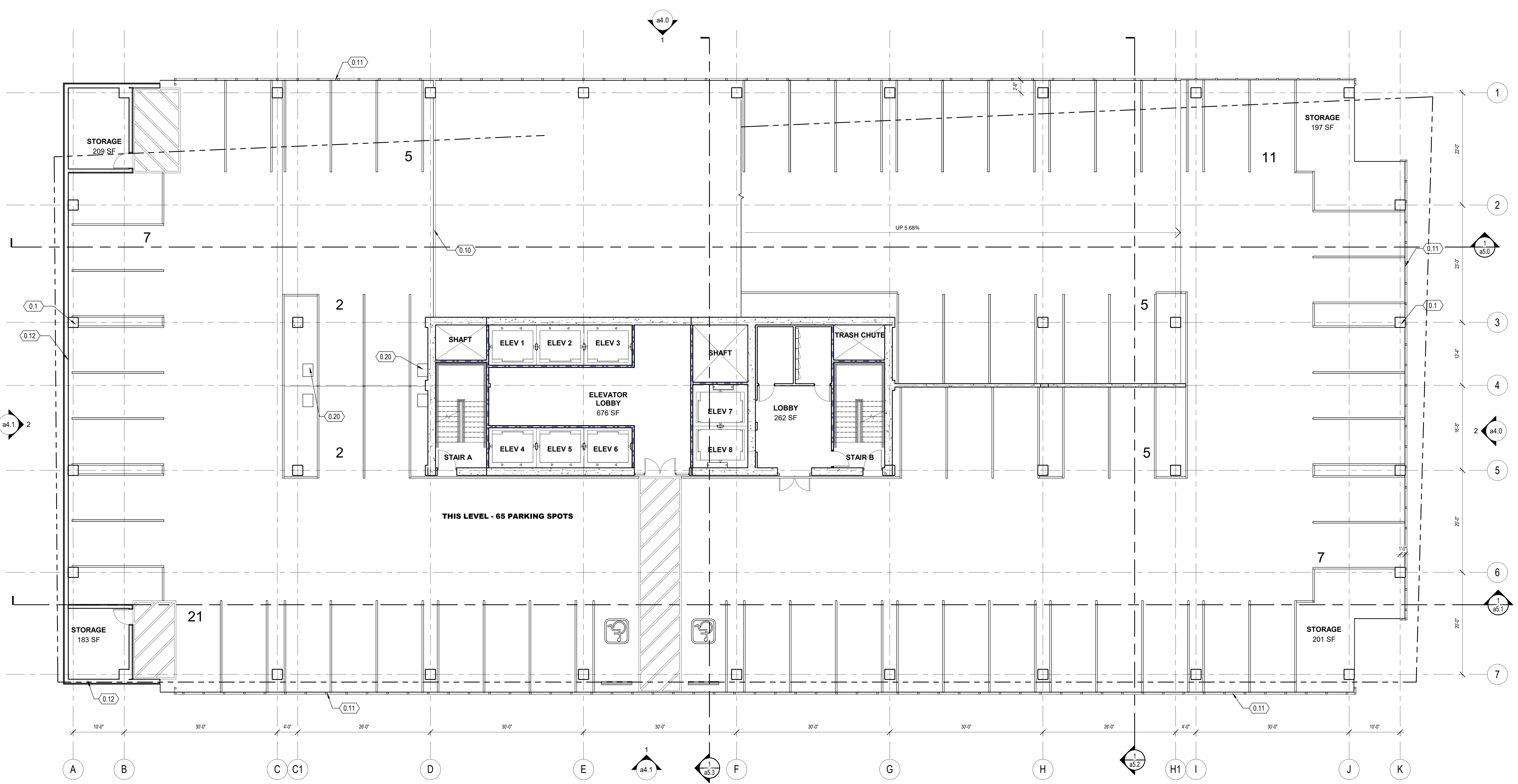
revisions

**TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL**

75 E. Broadway Blvd., Tucson, AZ 85701

9th floor plan - top parking

a1.4



top parking floor - Level 9

1/8" = 1'-0"

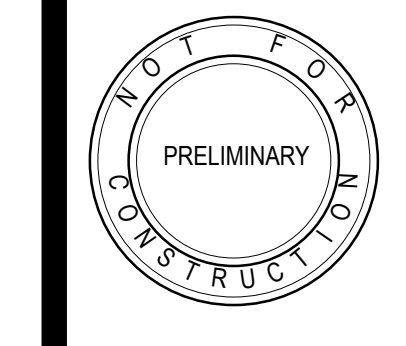
north

keynotes

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 - B. 1" INSULATED GLAZING, PPG Z75, SPANDREL GLASS - 60%, USE PYROLYTIC SELF CLEANING GLASS COATING
 - C. INDUSTRIAL SLIDERS @ APARTMENTS, SOME OPERABLE UNITS ELSEWHERE
 - D. EXTERIOR SYSTEMS MAY BE SLAB TO SLAB WITH SLAB EDGE CONSLURE OR A CURTAIN WALL SYSTEM.
4. EXTERIOR HOLLOW METAL FRAMES & DOORS - 16 GA. LEVEL 3
5. INTERIOR FRAMES - ALUMINUM WESTERN INTEGRATED WITH TRANSOM & SIDELITES
6. WOOD DOORS - PLASTIC LAMINATE CLAD & HARDWARE PREPARED.
7. DOOR HARDWARE - ALLEGION CONTROLLED ACCESS ON DOORS.
8. INTERIOR PARTITIONS - 3 5/8" & 6" x 20 GA. METAL FRAMING @ 16" O.C. SOUND BATTS & 5/8" GWB EACH SIDE WITH LEVEL 5.
9. FLOORS - PUBLIC AREAS: EPOXY TERRAZZO - MULTI-COLOR.
10. TILE - 12x24, PORCELAIN TILE FLOORS & WALLS, FULL HEIGHT IN RESTROOMS. ACCENT TILES.
11. ACOUSTICAL CEILINGS - ARMSTRONG LINEAR WOOD CEILING IN PUBLIC LOBBIES.
12. RESTROOM PARTITIONS SHALL BE 1" HDPE. FULL COMPLIMENT OF TOILET ACCESSORIES
13. SIGNAGE - BUILDING NAME, BUILDING NUMBERS AND EACH DOOR WITH ROOM SIGNAGE, 6"x6" CAST ALUMINUM WITH LOGO.
14. MAIN BUILDING DIRECTORY IN LOBBY - DIRECTIONAL SIGNAGE, EACH FLOOR.
15. ELEVATORS
 - A. PASSENGER CARS RATED @ 4000 LBS, 500 FPM.
 - B. PASSENGER CAR DOORS 4'x7' CENTER OPENING.
 - C. TWO FIRE SERVICE CARS - 4,500 LB RATINGS, 500 FPM.
 - D. SERVICE SIZE DOORS 4'-6" W x 8' HIGH, OFFSET. CAB HEIGHT 9'-0".
 - E. CLASS A LOADING, ALL CARS.
16. BALCONIES
 - A. ALUMINUM RAILING SYSTEM WITH GLASS INSERTS -48" HIGH.
 - B. DECK SYSTEM - EPOXY COATING SLOPE TO INTERNAL DRAIN SYSTEM. ALTERNATIVE SURFACE, TILE PER KEYNOTES.

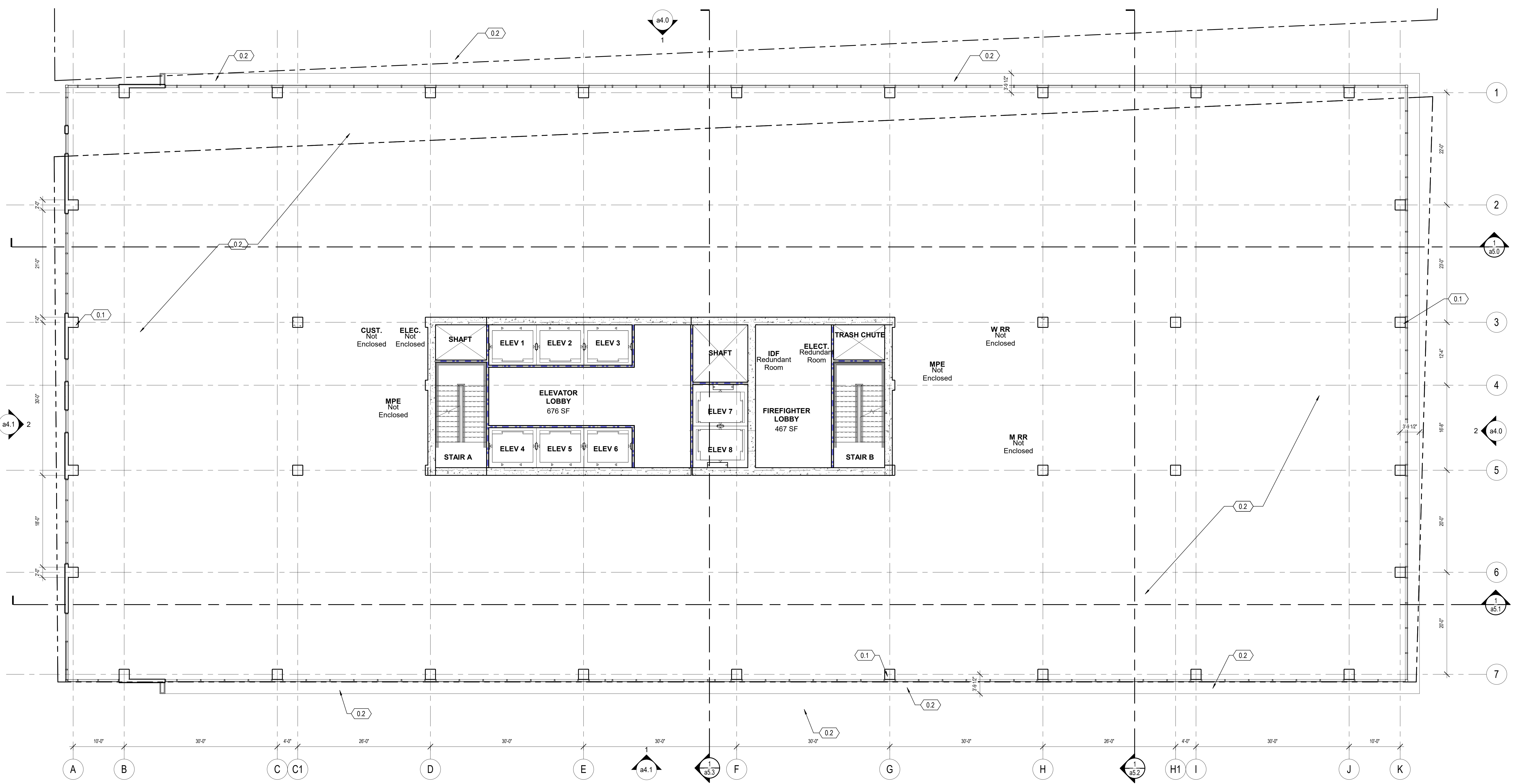


job
1727
date
03.15.21
revisions

**TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL**
75 E. Broadway Blvd., Tucson, AZ 85701

11th floor plan - typical office

a1.5



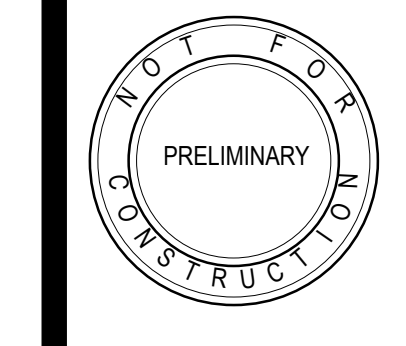
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a1.5
typical office deck - level 10-14
1/8" = 1'-0"
north

keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.2 POST-TENSIONED CONCRETE FLOOR SLAB

general notes

1. EXTERNAL WALLS
 - A. 6" x 18/20 GA. METAL STUDS @ 16" O.C.
 - B. BATT INSULATION R-19 WITH FOIL FACING
 - C. 5/8" GLASS MATT SHEATHING
 - D. FLUID APPLIED WATER BARRIER
 - E. FINISH OPTIONS PER NOTES
 - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
2. ROOFING
 - A. TAPERED INSULATION, MIN 20, WITH 80 MIL. PVC ROOFING SYSTEM, 30 YEAR WARRANTY, SLOPE TO INTERNAL DRAINS.
 - B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.
 - C. PROVIDE ROOFTOP ACCOMODATIONS FOR WINDOW WASHING EQUIPMENT.
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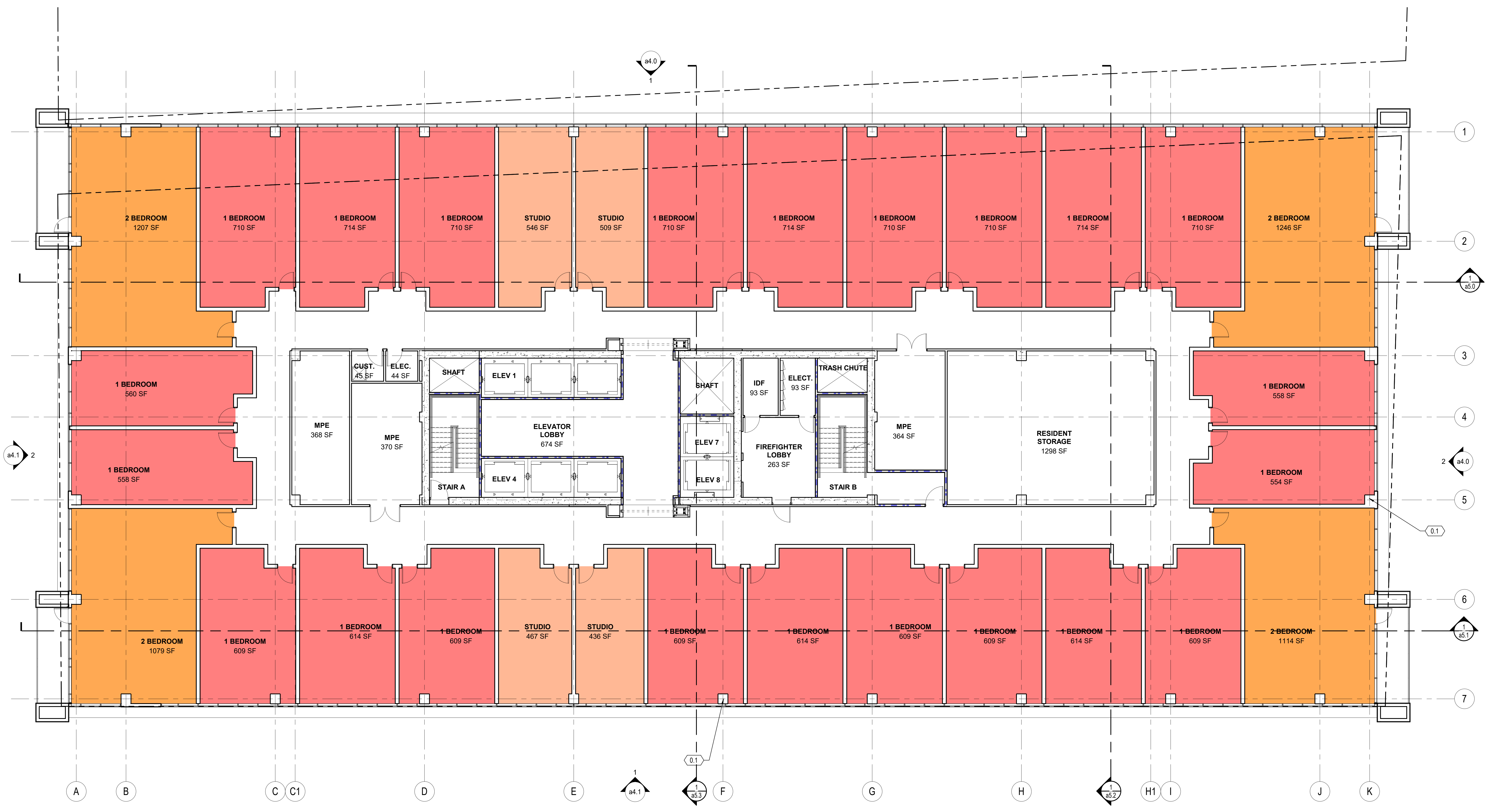


job
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revisions

**TUCSON GROUP HOLDINGS
75 BROADWAY
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75 E. Broadway Blvd., Tucson, AZ 85701

16th floor plan - typical residential

a1.6



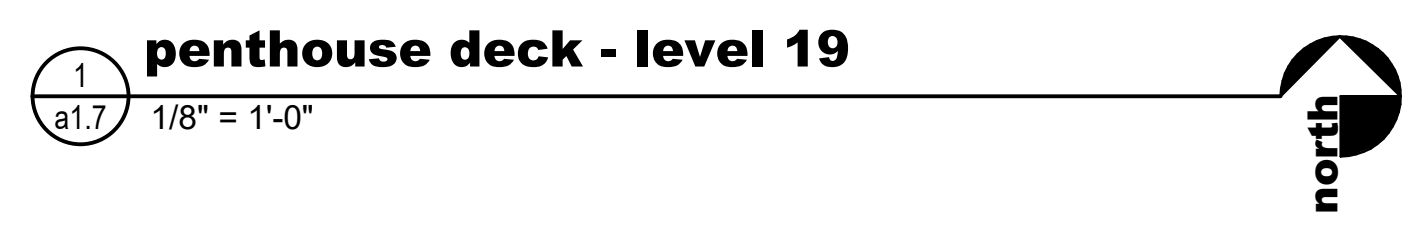
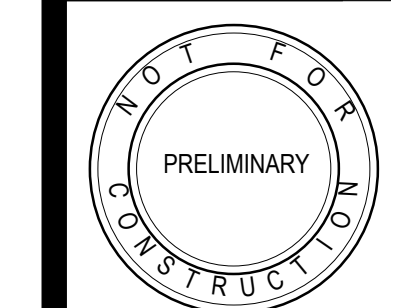
typical residential level - level 15-18
1/8" = 1'-0"
north

keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN,

general notes

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 - E. FINISH OPTIONS PER NOTES
 - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
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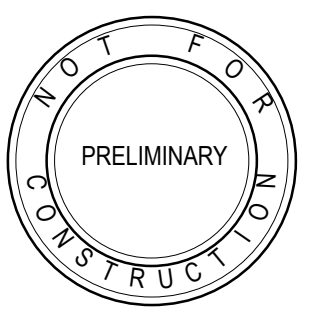


keynotes

- 0.1 CAST IN PLACE CONCRETE COLUMN.
- 0.5 1" CLEAR INSULATED GLAZING IN STOREFRONT FRAMING SYSTEM.
- 0.13 RAINSCREEN SYSTEM #2 - FIBER CEMENT PANELS, MEMBRANE WATERPROOFING, GLASS-MAT GYPSUM SHEATHING, METAL STUD FRAMING, R-19 INSULATION, VAPOR BARRIED, 5/8" GYPSUM BOARD.
- 0.16 PRE-FINISHED MECHANICAL LOUVER.
- 0.17 GLASS GUARDRAIL SYSTEM.
- 0.19 NANA SLIDING WALL SYSTEM.

general notes

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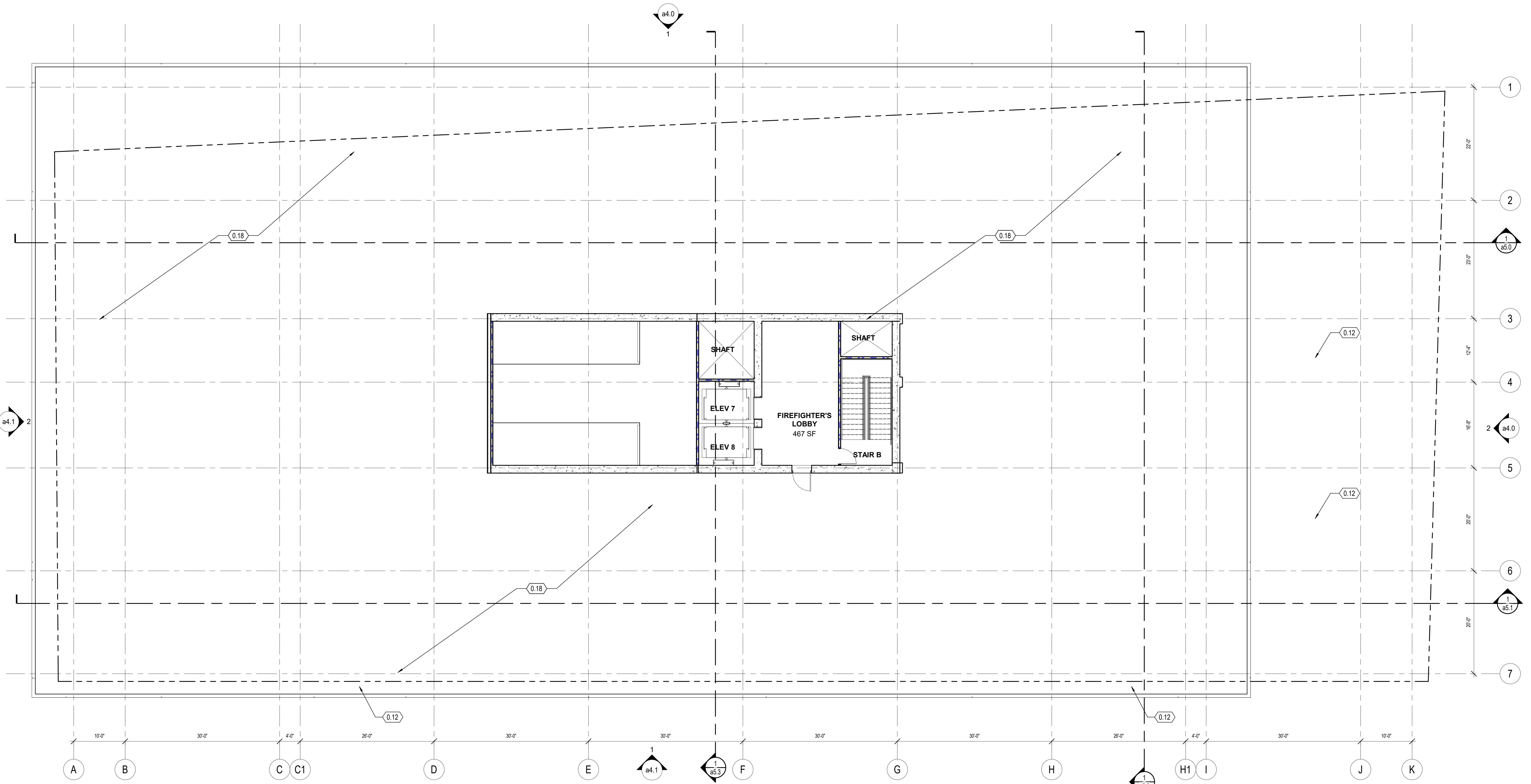


job
1727

date
03.15.21

revisions

TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL
75 E. Broadway Blvd., Tucson, AZ 85701



roof plan
1
a1.8
1/8" = 1'-0"
north

keynotes

- 0.12 RAINSCREEN SYSTEM #1 - ALUMINUM COMPOSITE METAL PANELS, MEMBRANE WATERPROOFING, GLASS-MAT GYPSUM SHEATHING, METAL STUD FRAMING, R-19 INSULATION, VAPOR BARRIED, 5/8" GYPSUM BOARD.
- 0.18 MEMBRANE ROOFING OVER TAPERED INSULATION.

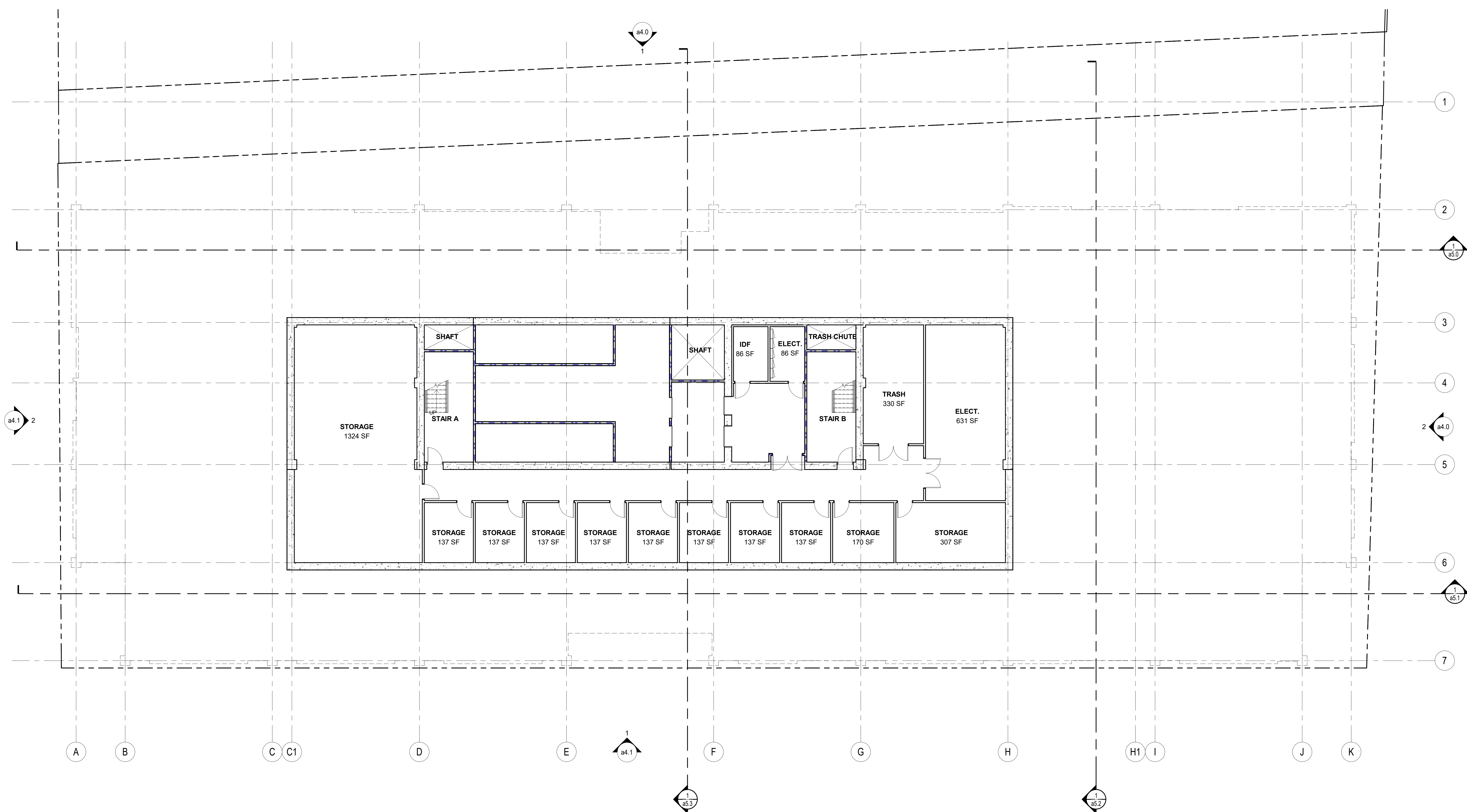
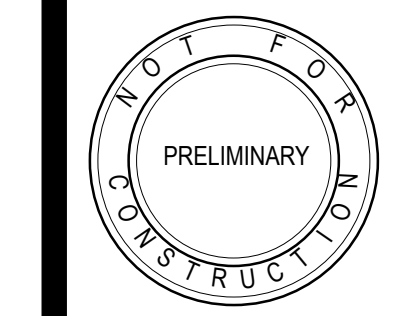
general notes

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 - E. FINISH OPTIONS PER NOTES
 - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
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roof plan

a1.8

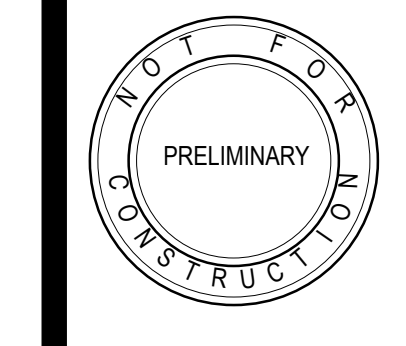


Basement
1/8" = 1'-0"
north

keynotes

general notes

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job
1727

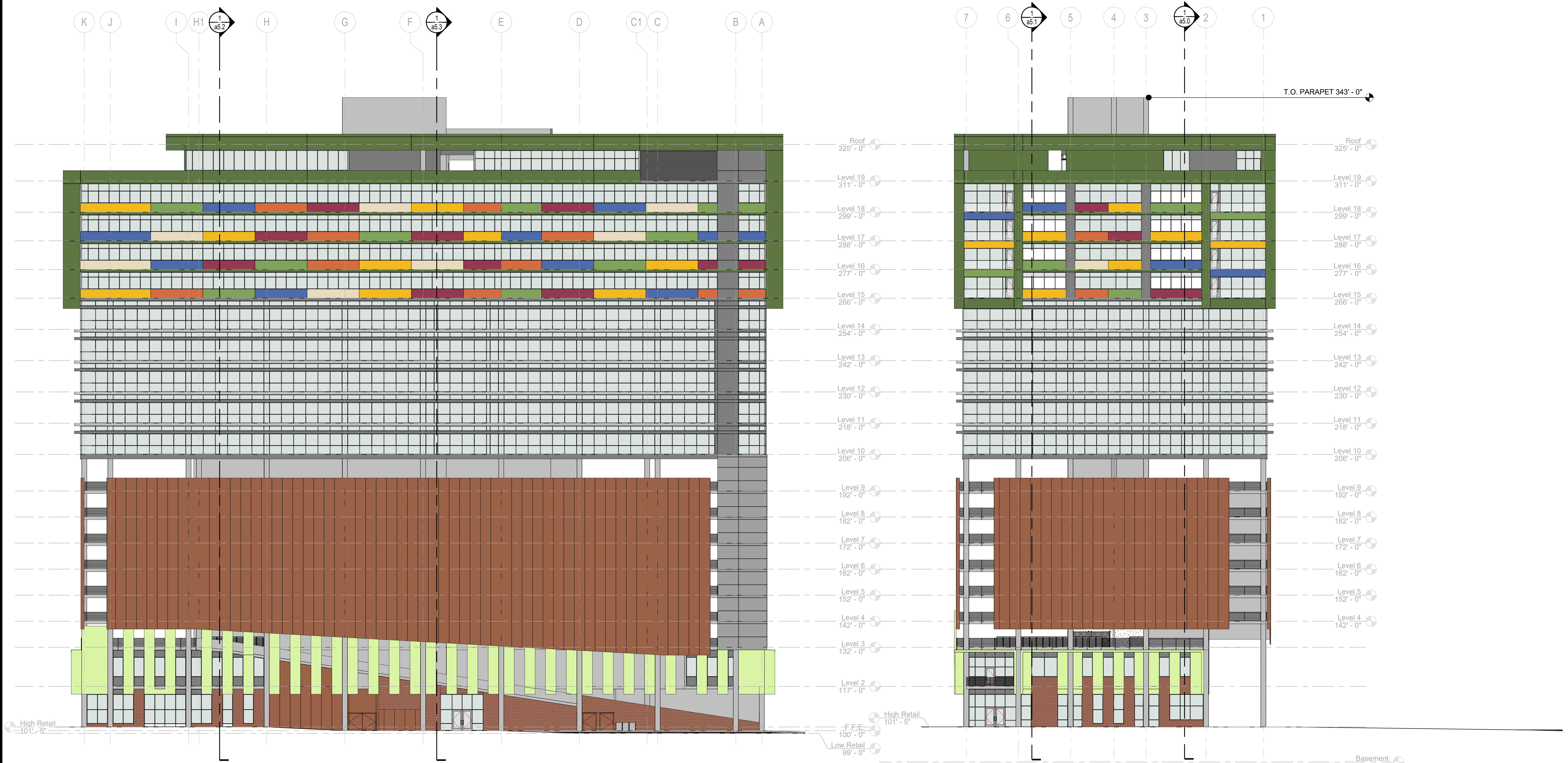
date
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revisions

TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL
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building elevations

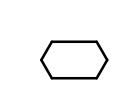
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1
north elevation
1/16" = 1'-0"

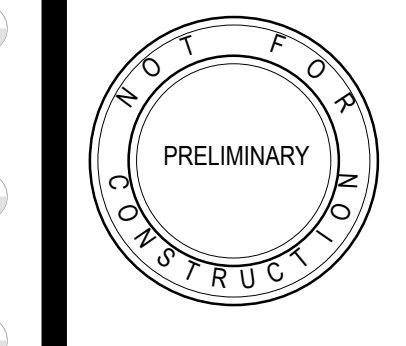
2
east elevation
1/16" = 1'-0"

keynotes



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 - A. ALUMINUM RAILING SYSTEM WITH GLASS INSERTS -48" HIGH.
 - B. DECK SYSTEM - EPOXY COATING SLOPE TO INTERNAL DRAIN SYSTEM. ALTERNATIVE SURFACE, TILE PER KEYNOTES.



job
1727

date
03.15.21

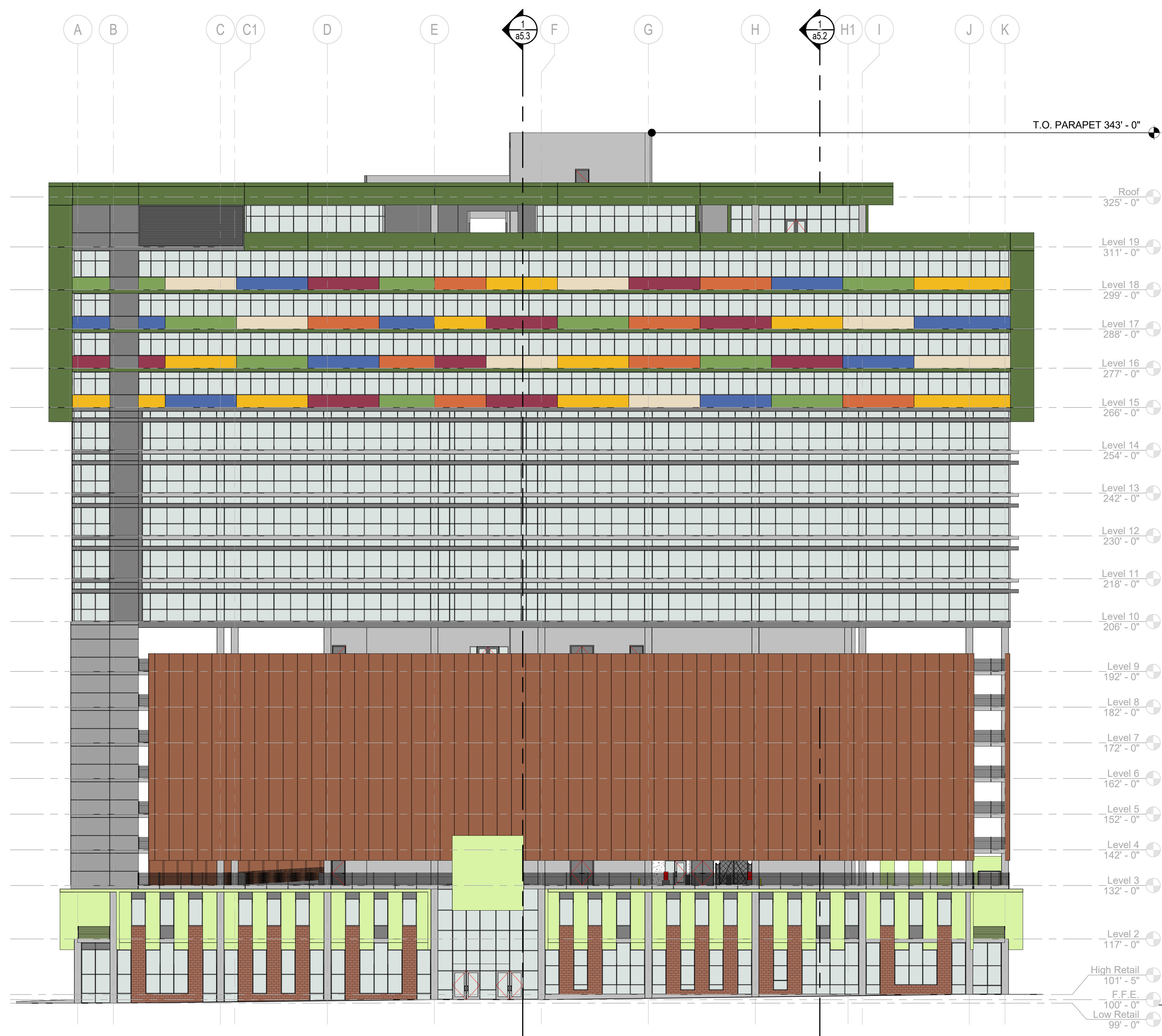
revisions

**TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL**

75 E. Broadway Blvd., Tucson, AZ 85701

building elevations

a4.1



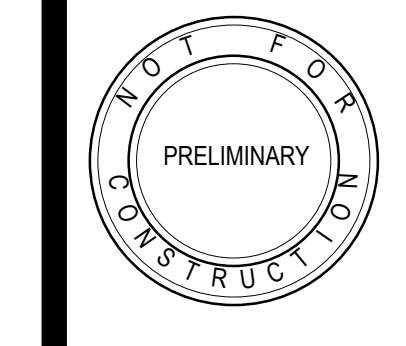
1
south elevation
1/16" = 1'-0"

2
west elevation
1/16" = 1'-0"

keynotes

general notes

1. EXTERNAL WALLS
 - A. 6" x 18/20 GA. METAL STUDS @ 16" O.C.
 - B. BATT INSULATION R-19 WITH FOIL FACING
 - C. 5/8" GLASS MATT SHEATHING
 - D. FLUID APPLIED WATER BARRIER
 - E. FINISH OPTIONS PER NOTES
 - F. MASONRY - 8x4x16 INTEGRAL COLOR WITH GROUND FACE - (2) COLORS.
2. ROOFING
 - A. TAPERED INSULATION, MIN 20, WITH 80 MIL. PVC ROOFING SYSTEM, 30 YEAR WARRANTY. SLOPE TO INTERNAL DRAINS.
 - B. ROOF DECK PAVER SYSTEM - TILE TECH COOL-ROOF SERIES WITH ADJUSTABLE PEDESTALS.
 - C. PROVIDE ROOFTOP ACCOMODATIONS FOR WINDOW WASHING EQUIPMENT.
3. WINDOWS / ENTRANCES
 - A. THERMALLY BROKEN ANODIZED 6" ALUMINUM
 - B. 1" INSULATED GLAZING, PPG Z75, SPANDREL GLASS - 60%, USE PYROLYTIC SELF CLEANING GLASS COATING
 - C. INDUSTRIAL SLIDERS @ APARTMENTS, SOME OPERABLE UNITS ELSEWHERE.
 - D. EXTERIOR SYSTEMS MAY BE SLAB TO SLAB WITH SLAB EDGE CONSLURE OR A CURTAIN WALL SYSTEM.
4. EXTERIOR HOLLOW METAL FRAMES & DOORS - 16 GA. LEVEL 3
5. INTERIOR FRAMES - ALUMINUM WESTERN INTEGRATED WITH TRANSCOM & SIDELITES
6. WOOD DOORS - PLASTIC LAMINATE CLAD & HARDWARE PREPARED.
7. DOOR HARDWARE - ALLEGION CONTROLLED ACCESS ON DOORS.
8. INTERIOR PARTITIONS - 3 5/8" & 6" x 20 GA. METAL FRAMING @ 16" O.C. SOUND BATTS & 5/8" GWB EACH SIDE WITH LEVEL 5.
9. FLOORS - PUBLIC AREAS: EPOXY TERRAZZO - MULTI-COLOR.
10. TILE - 12x24. PORCELAIN TILE FLOORS & WALLS, FULL HEIGHT IN RESTROOMS. ACCENT TILES.
11. ACOUSTICAL CEILINGS - ARMSTRONG LINEAR WOOD CEILING IN PUBLIC LOBBIES.
12. RESTROOM PARTITIONS SHALL BE 1" HDPE. FULL COMPLIMENT OF TOILET ACCESSORIES.
13. SIGNAGE - BUILDING NAME, BUILDING NUMBERS AND EACH DOOR WITH ROOM SIGNAGE, 6" x 6" CAST ALUMINUM WITH LOGO.
14. MAIN BUILDING DIRECTORY IN LOBBY - DIRECTIONAL SIGNAGE, EACH FLOOR.
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 - C. TWO FIRE SERVICE CARS - 4,500 LB RATING, 500 FPM.
 - D. SERVICE SIZE DOORS 4'-6" W x 8' HIGH, OFFSET. CAB HEIGHT 9'-0"
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75 BROADWAY
CORE & SHELL

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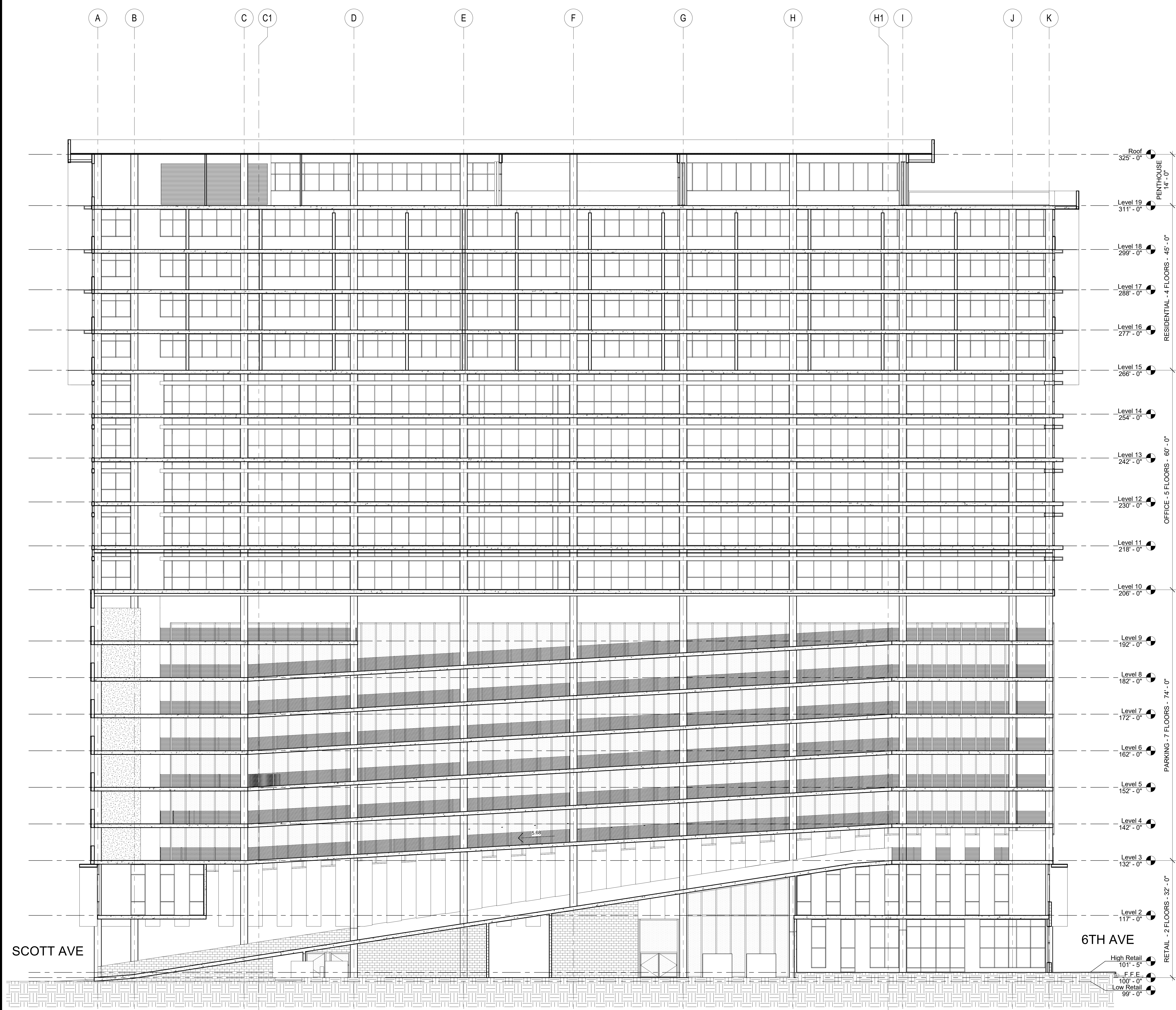
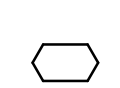
building section

a5.0

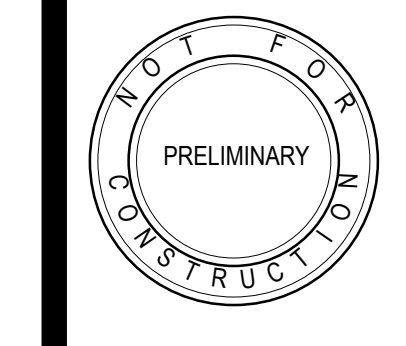
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keynotes



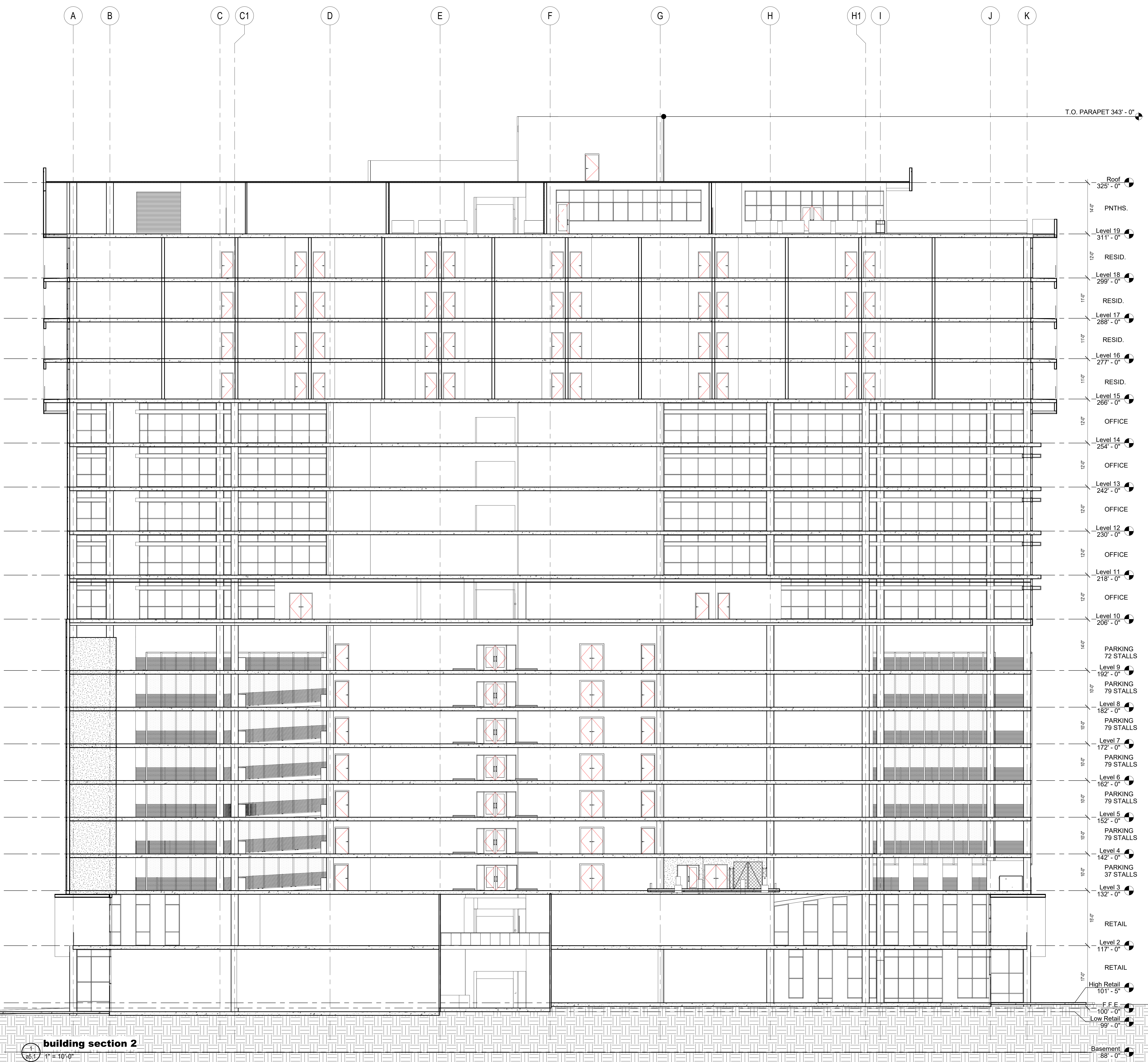
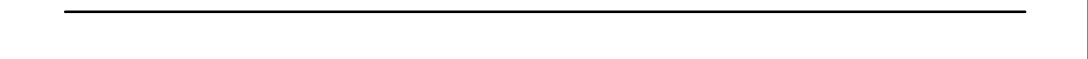
building section 1
1/25.0 1" = 10'-0"



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keynotes



T.O. PARAPET 343' - 0"

Roof 325' - 0"

14'-0" PNTHS.

Level 19 311' - 0"

12'-0" RESID.

Level 18 299' - 0"

11'-0" RESID.

Level 17 288' - 0"

11'-0" RESID.

Level 16 277' - 0"

11'-0" RESID.

Level 15 266' - 0"

12'-0" OFFICE

Level 14 254' - 0"

12'-0" OFFICE

Level 13 242' - 0"

12'-0" OFFICE

Level 12 230' - 0"

12'-0" OFFICE

Level 11 218' - 0"

12'-0" OFFICE

Level 10 206' - 0"

14'-0" PARKING 72 STALLS

Level 9 192' - 0"

10'-0" PARKING 79 STALLS

Level 8 182' - 0"

10'-0" PARKING 79 STALLS

Level 7 172' - 0"

10'-0" PARKING 79 STALLS

Level 6 162' - 0"

10'-0" PARKING 79 STALLS

Level 5 152' - 0"

10'-0" PARKING 79 STALLS

Level 4 142' - 0"

10'-0" PARKING 37 STALLS

Level 3 132' - 0"

10'-0" RETAIL

Level 2 117' - 0"

17'-0" RETAIL

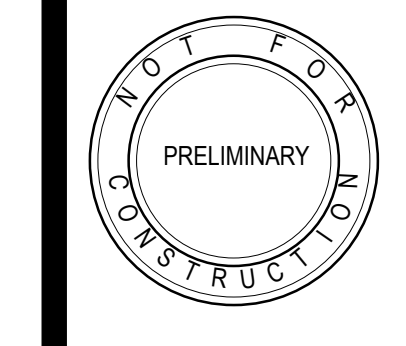
High Retail 101' - 5"

F.F.E. 100' - 0"

Low Retail 99' - 0"

Basement 38' - 0"

building section 2
1" = 10'-0"



job
1727

date
03.15.21

revisions

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75 BROADWAY
CORE & SHELL
75 E. Broadway Blvd., Tucson, AZ 85701

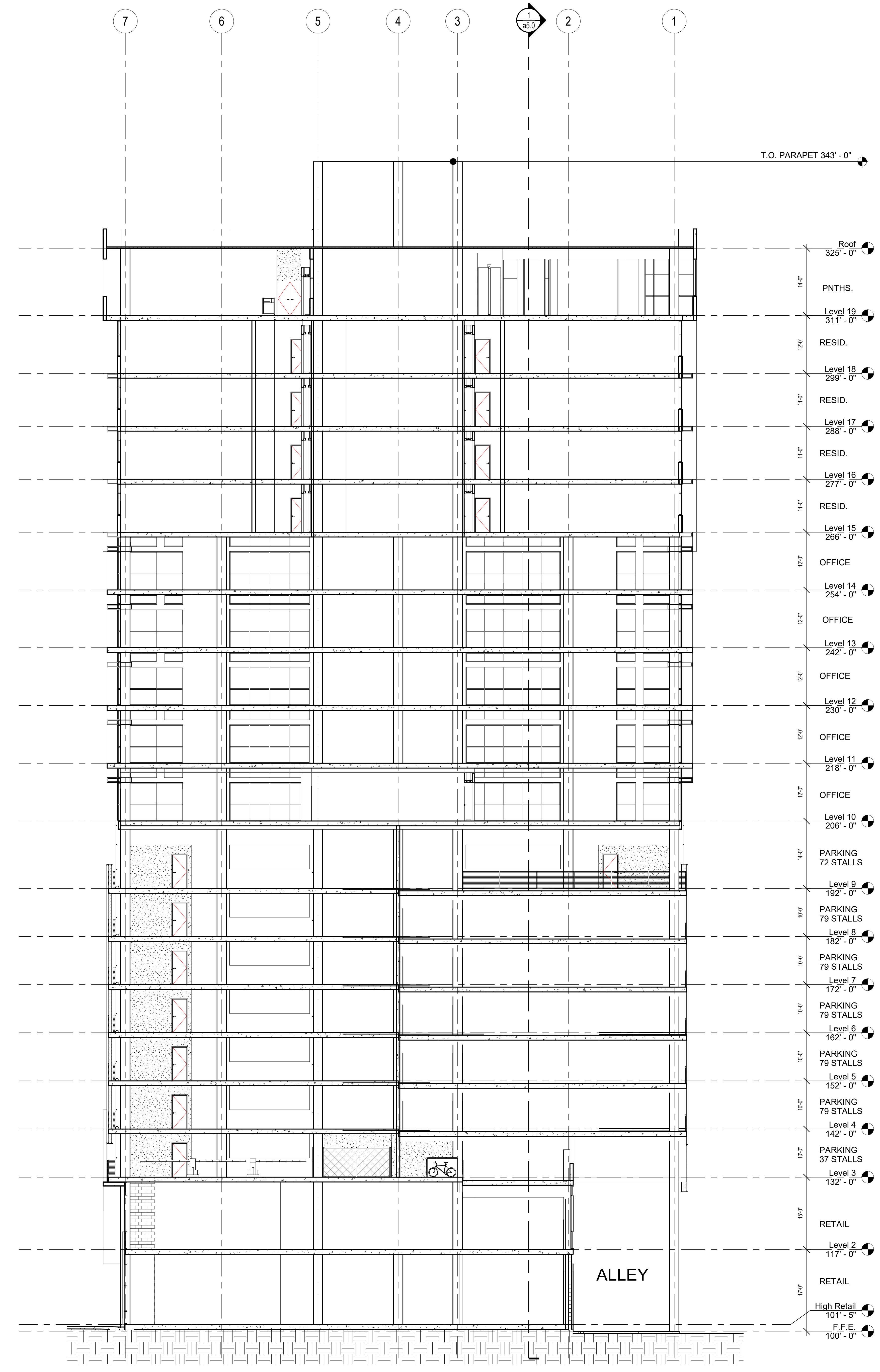
building sections

a5.2

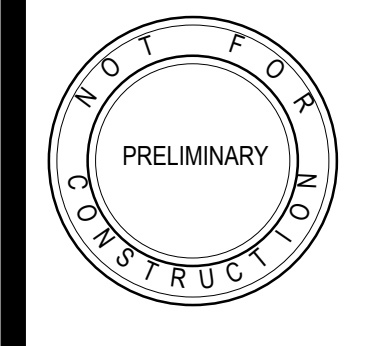
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keynotes



building section 3
1" = 10'-0"



general notes

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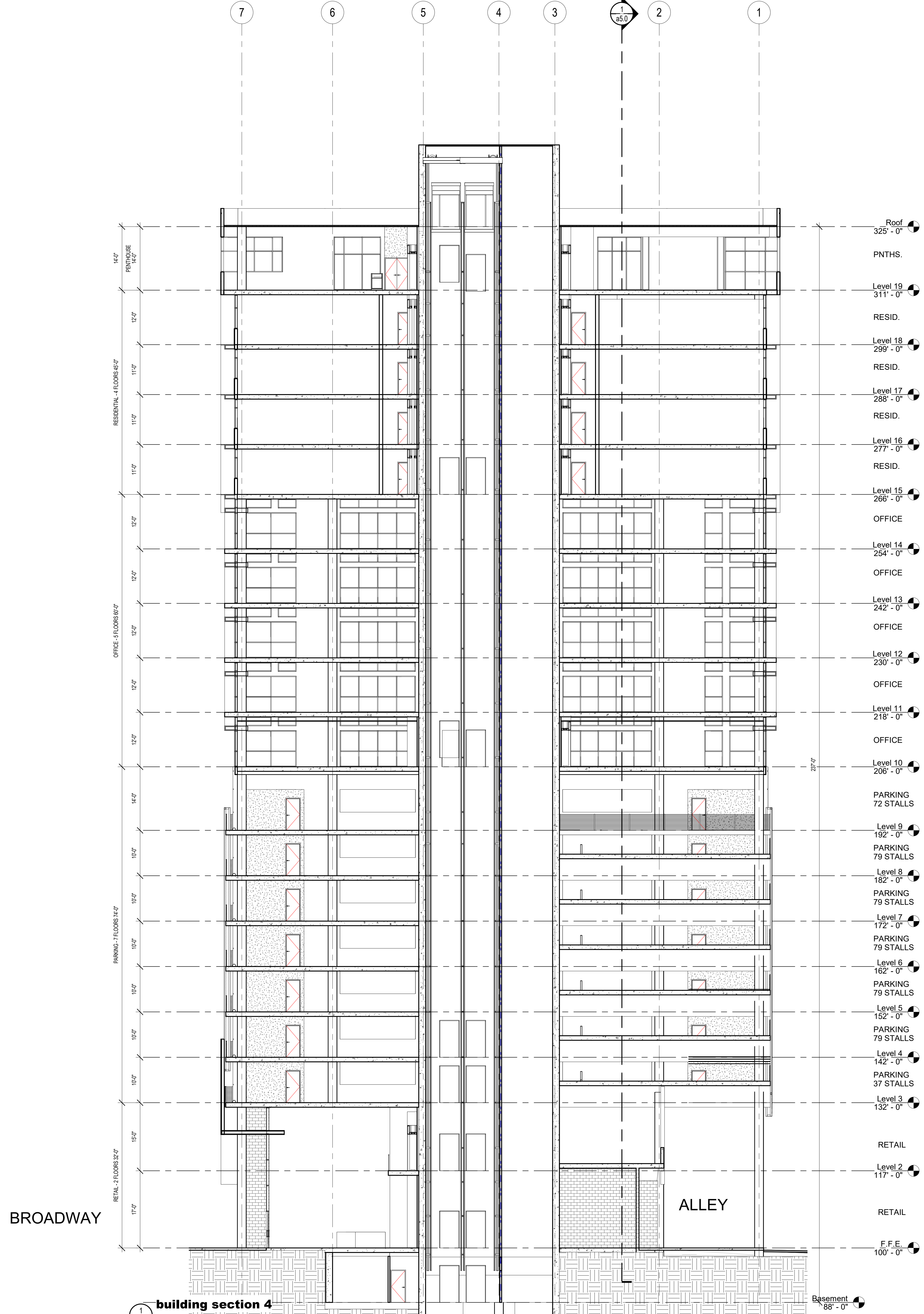
keynotes

job	date	revisions
1727	03.15.21	
		1
		2
		3
		4
		5
		6
		7
		8
		9
		10
		11
		12
		13
		14
		15
		16

TUCSON GROUP HOLDINGS
75 BROADWAY
CORE & SHELL
75 E. Broadway Blvd., Tucson, AZ 85701

building sections

a5.3

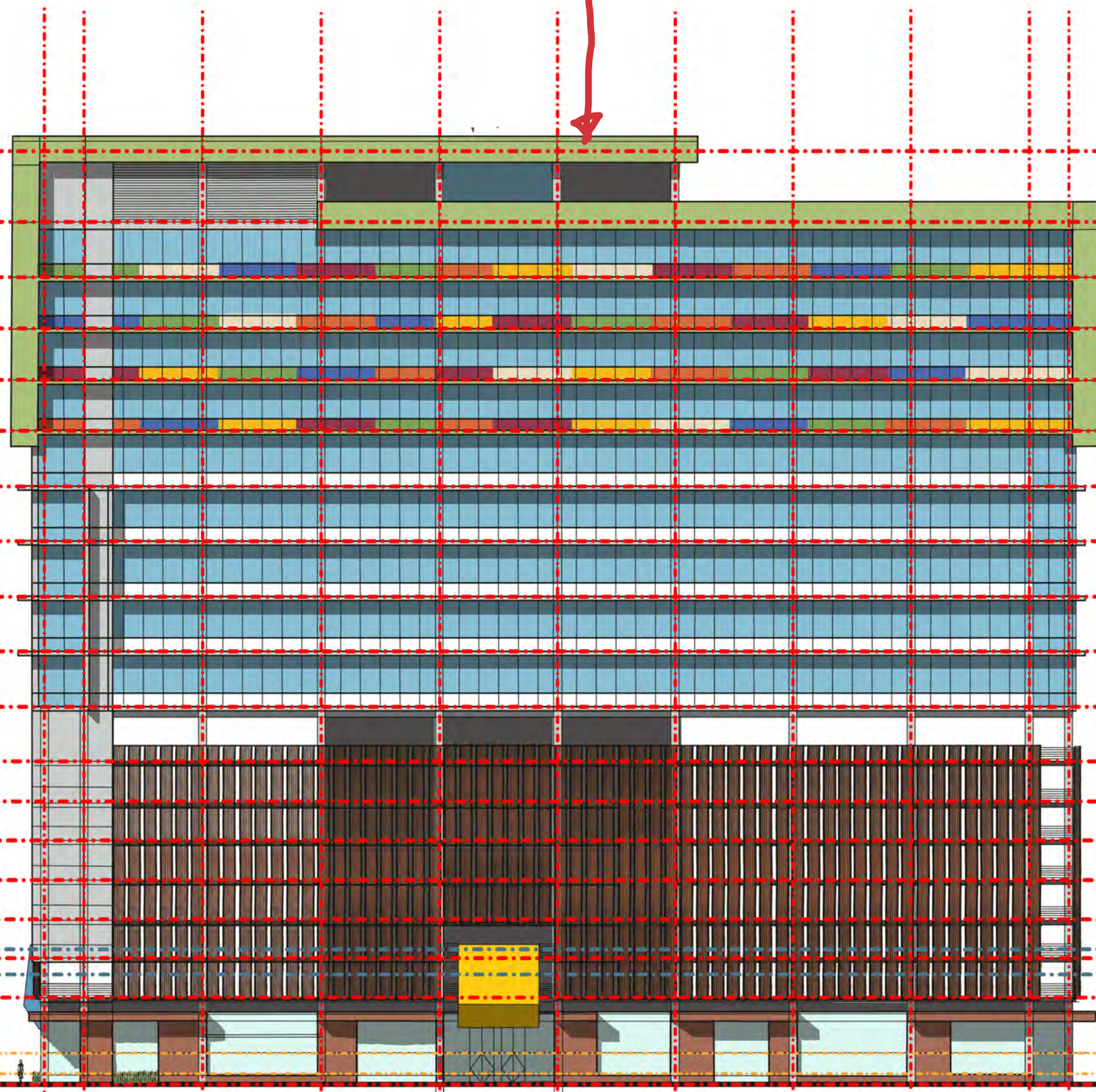


building section 4

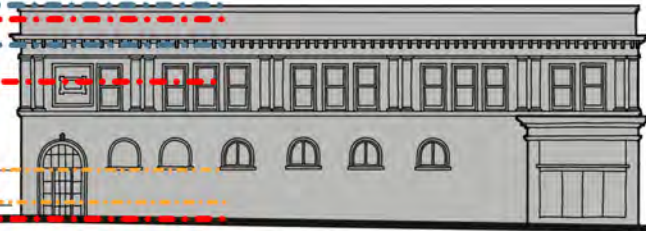
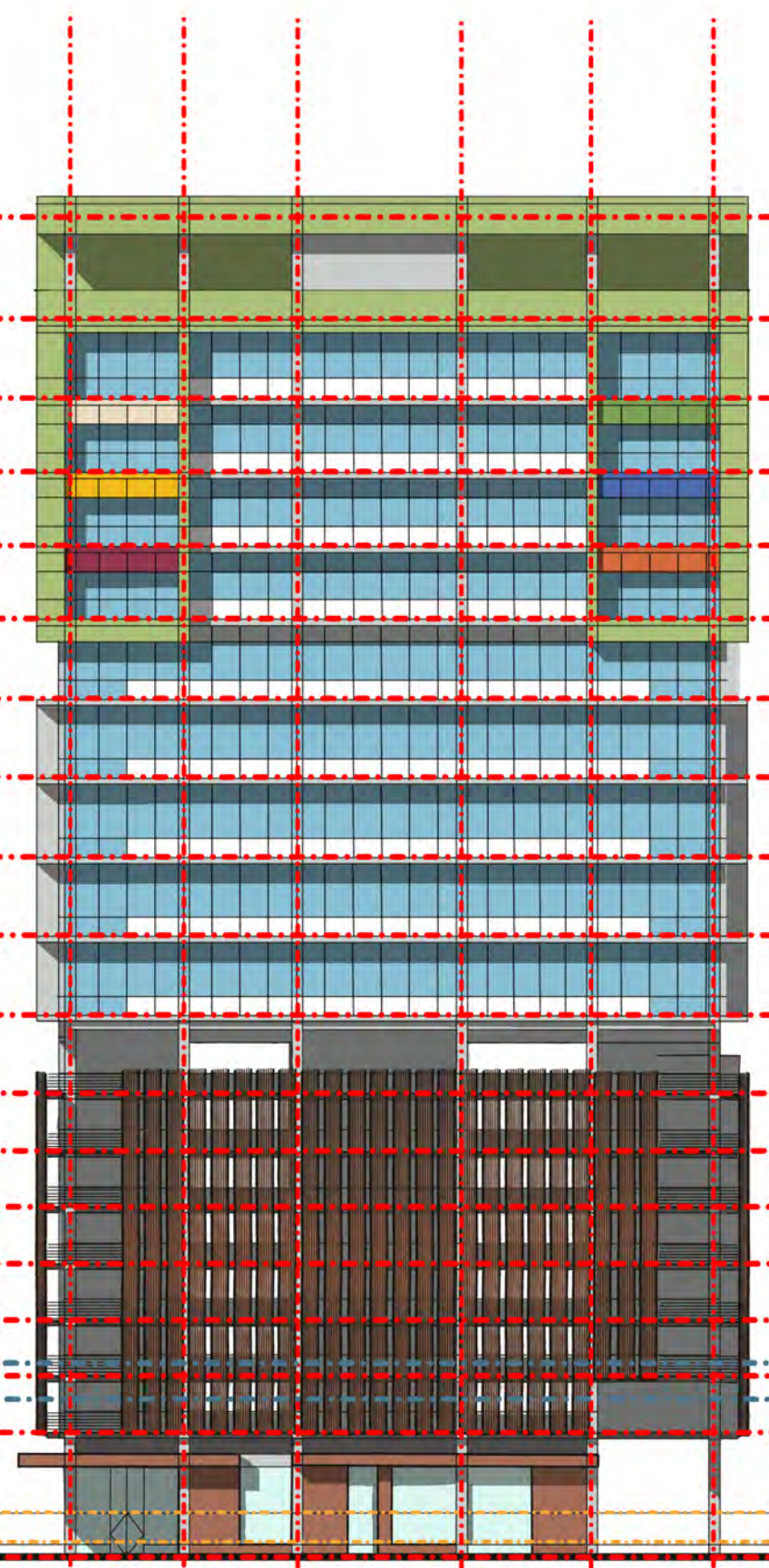
1" = 10'-0"

Basement 88'-0"

239'-0"



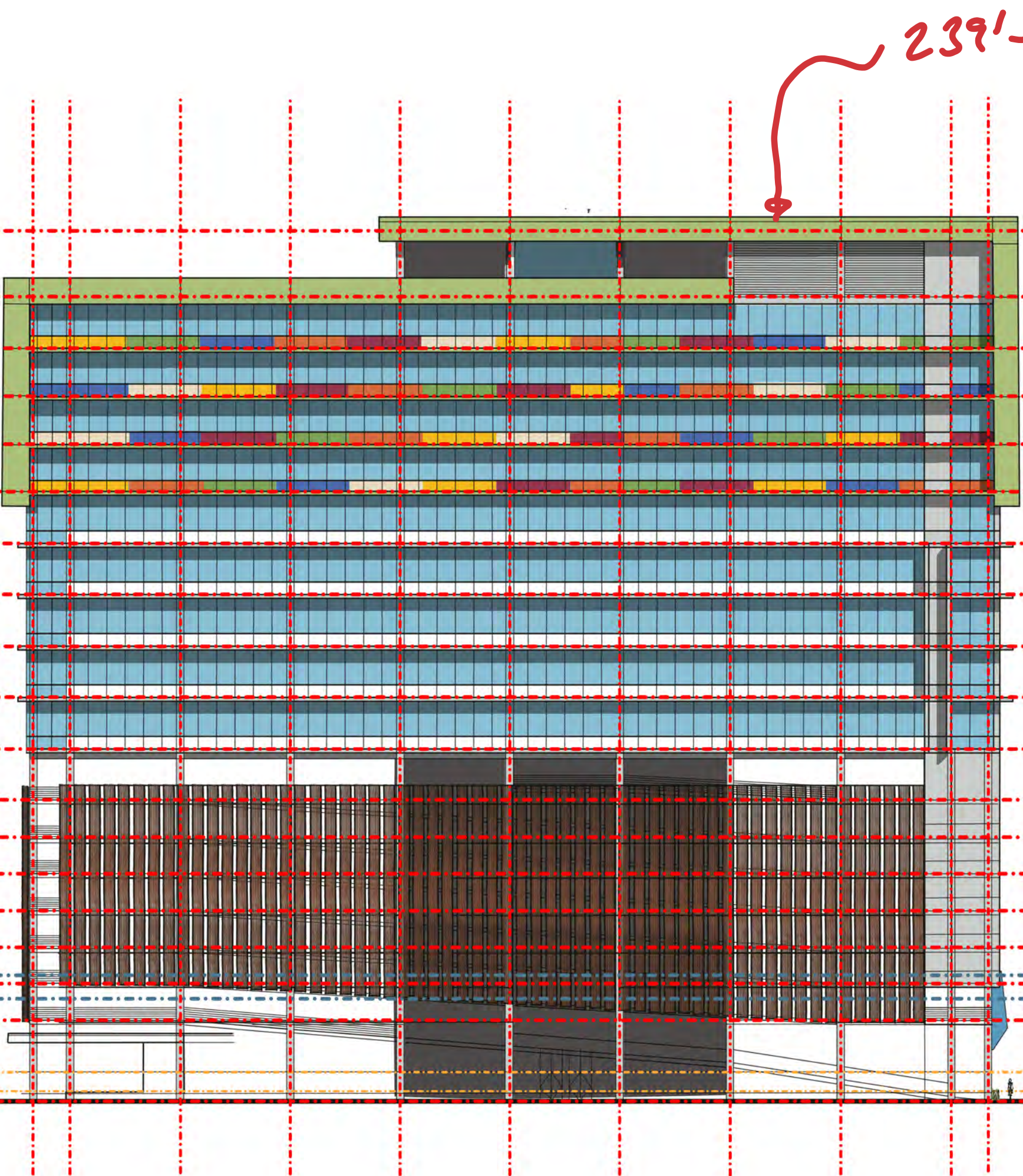
- 18
- R4
- R3
- R2
- R1
- O5
- O4
- O3
- O2
- O1
- P7
- P6
- P5
- P4
- P3
- P2
- P1
- REDA



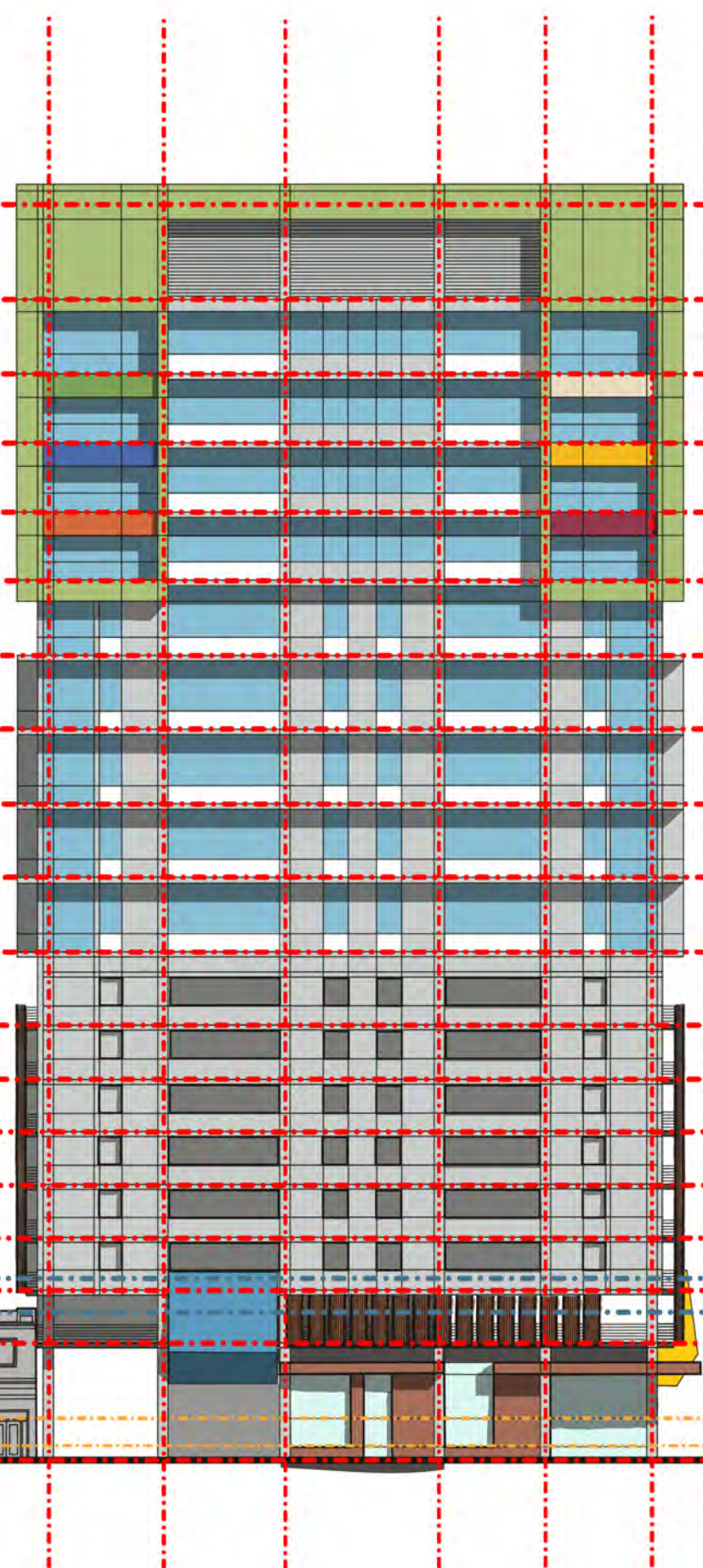
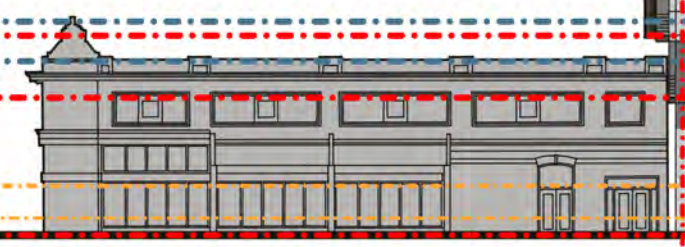
SOUTH ELEVATION
BROADWAY

EAST ELEVATION
6th AVE

75 E BROADWAY

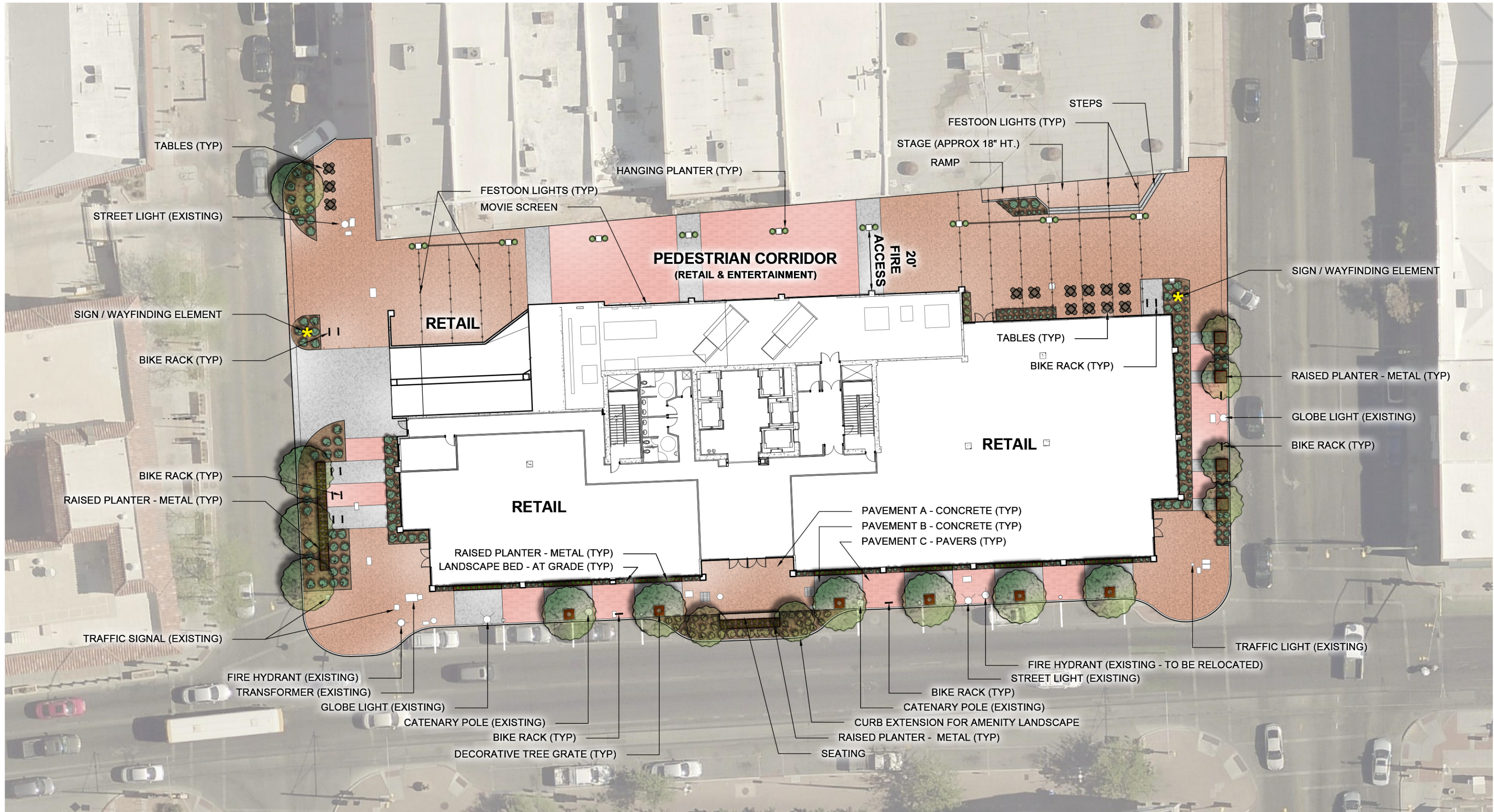


NORTH ELEVATION
ALLEY



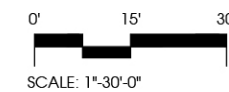
WEST
ELEVATION
SCOTT AVE

SITE PLAN CONCEPT | PRE-APP DISCUSSION



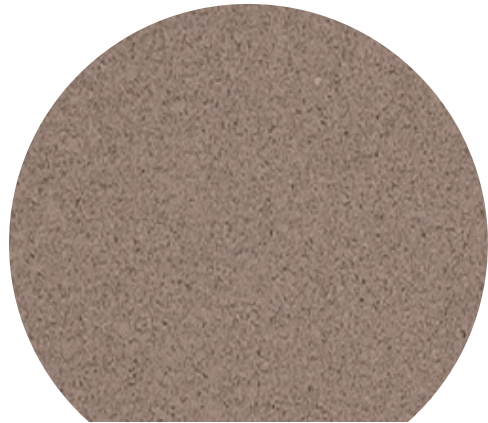
75 E BROADWAY

PROJECT: SWM-07 DATE: 05/16/19
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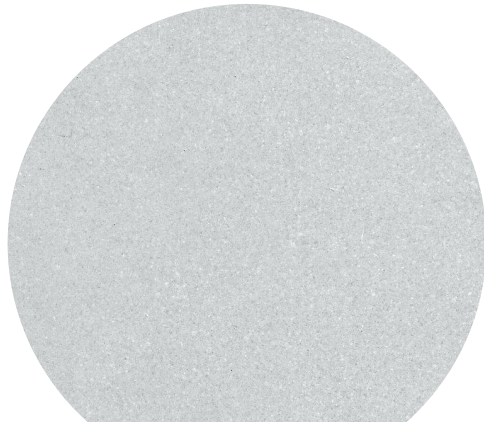


75 E BROADWAY ILLUSTRATIVE IMAGERY AND MATERIALS

5.16.19



PAVEMENT A | CONCRETE
EARTH TONE COLOR
SAND FINISH



PAVEMENT B | CONCRETE
NEUTRAL GREY
SMOOTH FINISH



PAVEMENT C | PAVERS
TO COMPLEMENT
BUILDING MASONRY



METAL PLANTER
TO MATCH TEP



**FOUNDATION LANDSCAPE
AT GRADE**
TO MATCH SCOTT AVE



TREE GRATE
WEATHERED STEEL



OUTDOOR DINING
WITHIN AND ADJACENT
TO PEDESTRIAN CORRIDOR



MOVIE SCREEN/PANEL
FOR MOVIES IN THE
PEDESTRIAN CORRIDOR



HANGING PLANTERS
WITHIN PEDESTRIAN
CORRIDOR



LOW CONCRETE STAGE
WITHIN PEDESTRIAN
CORRIDOR



FESTOON LIGHTING
WITHIN THE PEDESTRIAN
CORRIDOR



BIKE RACKS
CONTEMPORARY AESTHETIC

AMENITIES AND HARDSCAPE | DESIGN AND SPECS TBD

