



repp+mclain
DESIGN AND CONSTRUCTION

NEW STAGE & STORAGE BUILDING
HOTEL CONGRESS
311 E CONGRESS TUCSON AZ 85701



SPECIAL DISTRICTS APPLICATION

Application Stage: Pre-application Application
 Permit Activity Number DP 19-0190 Case Number IID-19-12 Date Accepted: 4/3/2020
T20SA00092 HPZ-20-XX

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): Hotel Congress Outdoor Stage
 Property Address: 311 E. Congress Street
 Pima County Tax Parcel Number/s: 11706166B
 Current Zoning: C-2, OCR-2
 Applicable Overlay/ Special Districts:
 Infill Incentive District Rio Nuevo Area
 Main Gate Overlay District Grant Road Overlay District
 Neighborhood Preservation Zone Historic Preservation Zone

Neighborhood Association (if any): Pie Allen

PROJECT TYPE (check all that apply):
 New building on vacant land Change of use to existing building
 New addition to existing building New building on developed land
 Other _____

Description of Proposed Use: Assembly – Outdoor musical venue with covered stage, storage, and restrooms

Number of Buildings and Stories/Height of Proposed Structure(s): Two buildings, one story each, max. height of 17'-6"

Site Area (sq ft): 22,793 Area of Proposed Building (sq ft): 28,079

HISTORIC STATUS

Site is within a: Historic Preservation Zone Please List: _____
 National Register District Please List: _____
 Site is/includes: A contributing structure Non-contributing structure
 Is adjacent to a contributing structure Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Jenni Van Brocklin (Repp Mclain Design + Construction)

ROLE: Property owner Architect Engineer Attorney Developer
 Other: _____


EMAIL: jenni@reppmclain.com PHONE: 520 791-7035

ADDRESS: 2502 North 1st Avenue, Tucson, AZ 85719

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): 311 E Congress LLC, Todd Hanley

PHONE: 520 622-8848

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT*  2020.02.20

*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date



APPLICATION

Case Number _____

Date Accepted: _____

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): Hotel Congress Outdoor Stage

Property Address: 311 E. Congress Street

Applicable Area/Neighborhood/Overlay: Pie Allen

Zoning: C-2, OCR-2 Historic Status: (1) Historic Building (Individually Listed)

Legal Description: TUCSON WLY PTN LOT 11 BLK 84 & PTN LOTS 2 & 3 BLK 91 & PTN ABAND RD ADJ TO BLK 84 & 91

Pima County Tax Parcel Number/s: 11706166B

Site and Building Area (sq ft): 22,793 sf Site; 28,079 sf Building

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Jenni Van Brocklin (Repp Mclain Design + Construction)

EMAIL: jenni@reppmclain.com

PHONE: (520) 791-7035 FAX: (520) 791-7075

ADDRESS: 2502 North 1st Avenue, Tucson, AZ 85719

PROPERTY OWNER NAME (If ownership in escrow, please note): 311 E Congress LLC, Todd Hanley

PHONE: (520) 622-8848 FAX: () _____

PROJECT TYPE (check all that apply):
() New building on vacant land
() New addition to existing building
() Change of use to existing building
() New building on developed land
() Other

Related Permitted Activity Number(s): DP 19-0190

DESCRIPTION OF USE: Outdoor musical venue, including two buildings: 1.) covered stage and storage; and 2.) two restrooms

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.


SIGNATURE OF OWNER/APPLICANT

2020.02.20
Date



13 September 2019

Hotel Congress New Stage, Storage & Restroom

311 E Congress
Tucson, AZ 85701

Hotel Congress is a locally owned and operated business that has anchored the east end of downtown Tucson for decades and is an asset to the local community. It's past success and future flourishing is partly due to the hotel's ability to adapt and evolve with the community. Several years ago, a temporary stage structure was placed on the north end of the hotel's courtyard. This has provided guests and the community with live outdoor entertainment on a regular basis and the success has prompted the ownership to pursue a permanent stage structure & storage room in its place.

Though the City of Tucson IID process we are requesting relief for the following requirements:

1. Total numbers of motor vehicle parking spaces required. 52 total spaces are required / 0 on-site spaces are provided
2. Solid Waste – The development is seeking to manage solid waste in the same manner it currently does with the existing trash enclosure located across Toole Ave.
3. The project is seeking a partial exemption to the landscape screening requirements. This will help maintain uniformity to the existing building setback footprint within the area.
4. Building setback reductions are being requested for the new stage / storage building in order to maintain uniformity to the existing building setback footprint within the area.

The proposed upgrade from a temporary stage to a permanent stage has received positive feedback from the surrounding building and business owners. In our opinion, this investment will continue to further the economic growth, vibrancy and community space of downtown Tucson.

Sincerely

Rick McLain, AIA
architect
repp+mclain design & construction



20 February 2020

Hotel Congress New Stage & Restroom IID


311 E Congress
Tucson, AZ 85701

Maria Gayosso
City of Tucson Planning Department
201 North Stone
Tucson, Arizona 85701

Dear Maria,

I hereby authorize Repp Mclain Design and Construction to represent us and act on our behalf for all planning and historic reviews relating to IID-19-08 for Hotel Congress new outdoor stage and restroom building.

Sincerely


Richard Oseran
Hotel Congress

THE HISTORIC DEPOT
400 N TOOLE AVE
CONTRIBUTING
PROPERTY

MAC ARTHUR
345 E TOOLE AVE
INELEGIBLE PROPERTY

MLK APARTMENTS
55 N 5TH AVE
INELEGIBLE PROPERTY

ONE NORTH FIFTH
1 N 5TH AVE
INELEGIBLE PROPERTY

PLAYGROUND BAR
278 E CONGRESS ST
ELIGIBLE PROPERTY

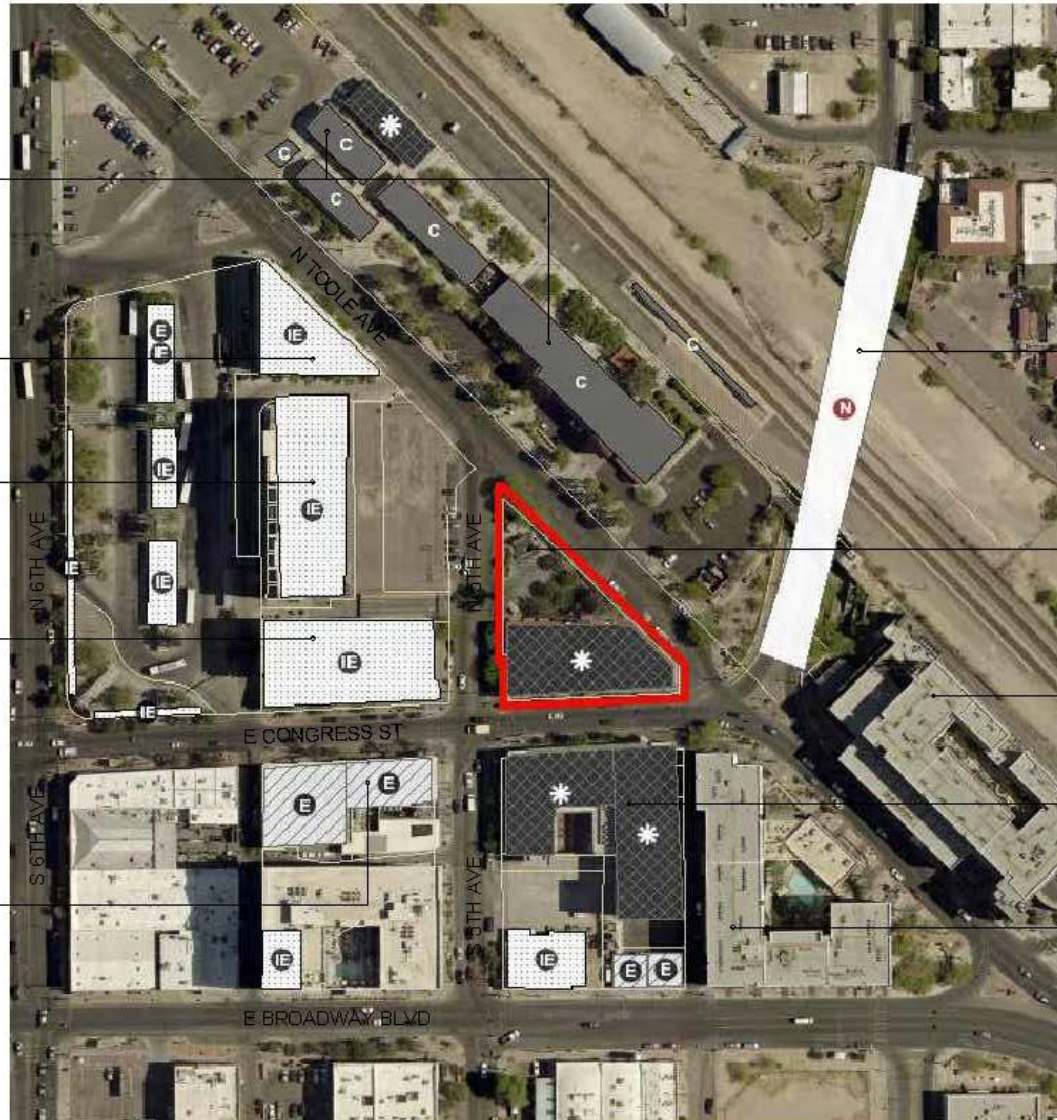
4TH AVE UNDERPASS
NON-CONTRIBUTING

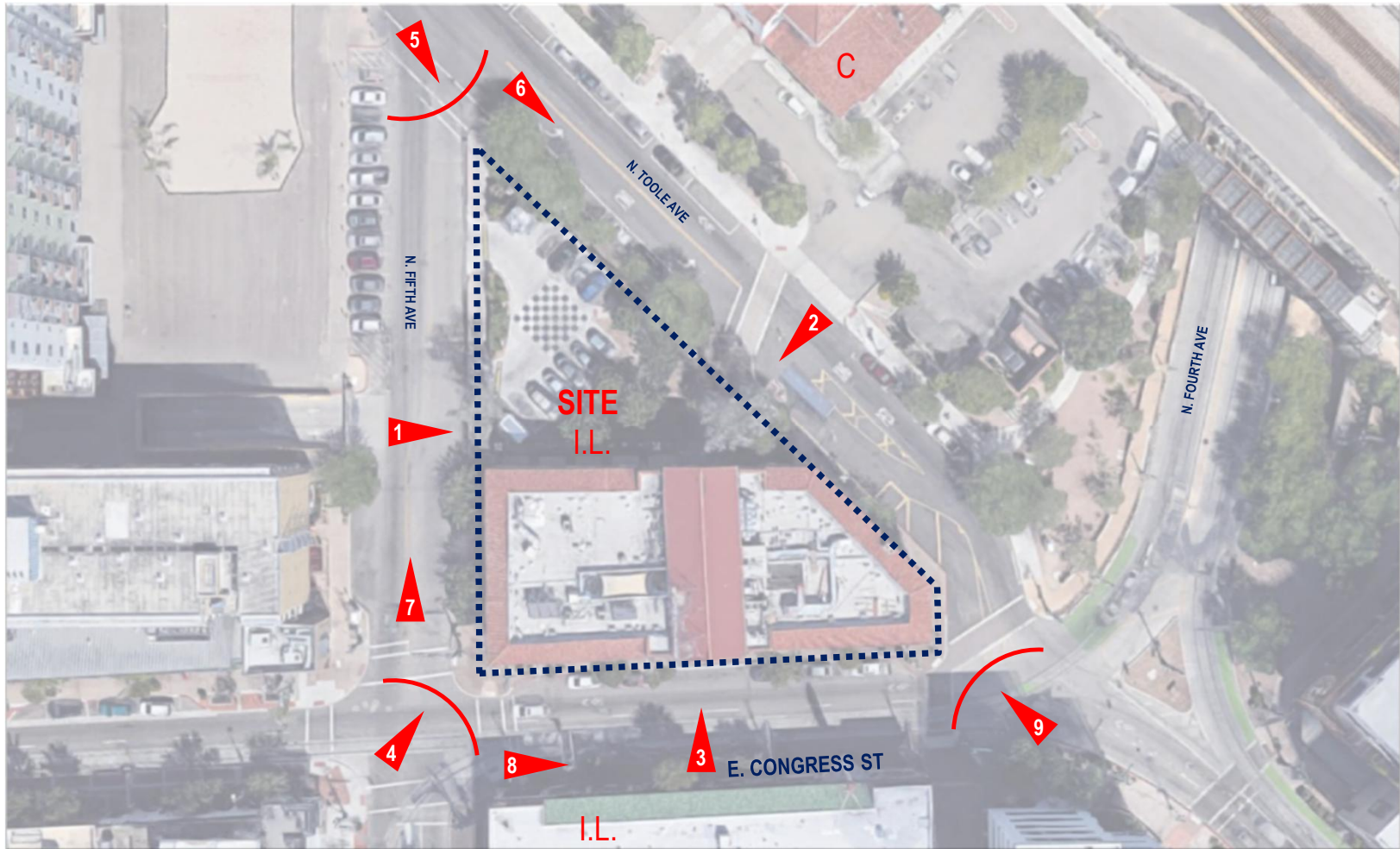
SUBJECT PROPERTY
HOTEL CONGRESS
311 E CONGRESS ST
INDIVIDUALLY LISTED
PROPERTY

PLAZA CENTRO
345 E CONGRESS ST
NOT HISTORIC

THE RIALTO THEATRE
318 E CONGRESS ST
INDIVIDUALLY LISTED
PROPERTY

THE CADENCE
350 E CONGRESS ST
NOT HISTORIC





AERIAL & PHOTO KEY



01 North Fifth Avenue Elevations



02 North Toole Avenue Elevations



03 E Congress St. Elevations



04 Site looking northeast – Congress / Fifth



08 Site looking east– Congress / Fifth



07 Site looking north - Fifth



05 Site looking southeast – Toole / Fifth

SITE PHOTOS



06 Site looking south - Toole



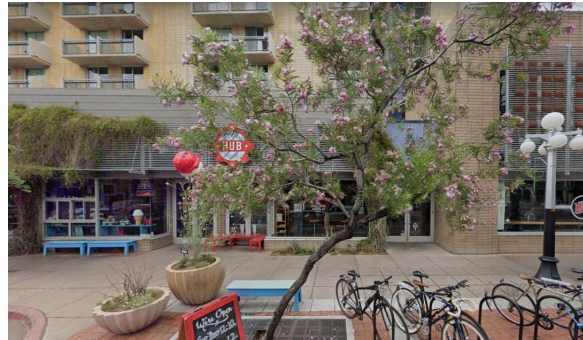
09 Site looking northwest – Toole / Congress



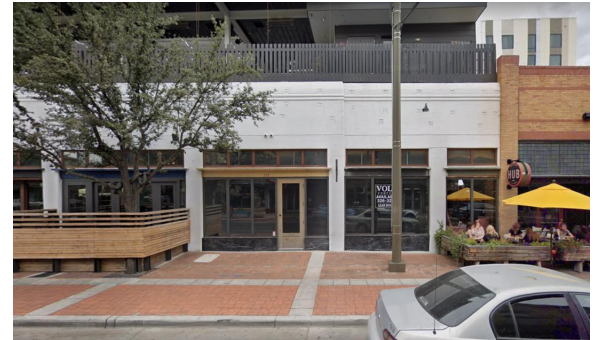
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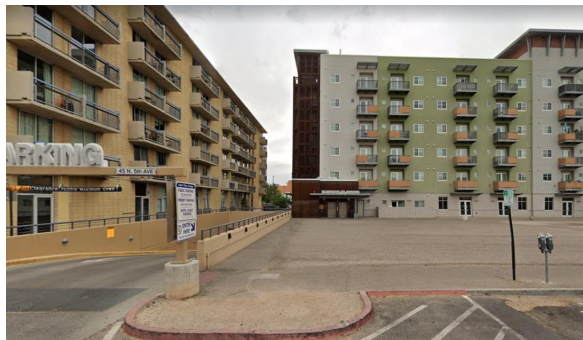
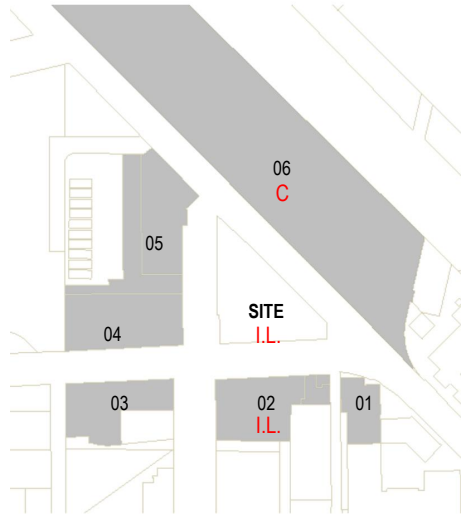
02



03



04



05



06

DEVELOPMENT ZONE

GENERAL PAVING + GRADING NOTES

1. ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
2. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
3. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
4. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
6. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
7. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
8. CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES. INSURE THE AREA OF WORK, UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE. THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
9. CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NE FINISHED GRADE.
10. PROJECT EARTHWORK (UNADJUSTED) APPROXIMATE:
TOTAL CUT TOTAL FILL COMPOSITE
110 CY 100 CY 100 CY (C)
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
11. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
12. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
13. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
14. CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHARPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
16. THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

GENERAL PAVING + GRADING NOTES (cont.)

17. CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.2%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
18. DEPRES ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
19. ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5" FOR THE ADJACENT TOP OF CURB/CONCRETE (T/C)/ELEVATION UNLESS OTHERWISE SHOWN.
20. CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
21. ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE CUTTER LINE.
22. AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
23. ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
24. ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
25. THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON SITE. THE CONTRACTOR MAY NOT USE ANY OTHER ALTERNATE, UNLESS APPROVED IN WRITING AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
26. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
27. THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
28. IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
29. THE PERMITTEE SHALL NOTIFY PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURBS, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
30. ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC 2-01.
31. CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PSDS PRE-CONSTRUCTION MEETING, SWIPPY INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PSDS ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.velochyhal.com/access/velochal/index.cfm?city=tucson&state=arizona>
32. ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
33. CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.
34. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY AND MITIGATE ANY POTENTIAL CONSTRUCTION IMPEDIMENTS DUE TO EXISTING ENCRoACHMENTS BY ADJACENT PROPERTY OWNERS (WHETHER THEIR WALLS, FENCES, OR OTHERWISE). CYPRESS CIVIL ASSUMES NO LIABILITY NOR RESPONSIBILITY FOR ANY ENCRoACHMENTS OR FOR DELAYS TO THE APPROVAL PROCESS AS A RESULT THEREOF.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

1. A PROJECT SPECIFIC GEOTECHNICAL ENGINEERING INVESTIGATION AND ANALYSIS WAS NOT PROVIDED TO CYPRESS CIVIL DEVELOPMENT FOR THIS PROJECT. CYPRESS CIVIL ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR THE SOILS INFORMATION SHOWN HEREON. TO INCLUDE THROUGHOUT THE DEVELOPMENT, CYPRESS CIVIL WAS SPECIFICALLY DIRECTED BY THE PROJECT'S OWNER TO INDICATE THE PAVEMENT SECTIONS AS THEY ARE SHOWN ON THIS PLAN.
2. THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
3. DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

TYPICAL SLOPE TREATMENT	
SLOPE GRADIENT	TREATMENT
3:1 OR FLATTER	REVEGETATED WITH NATIVE SPECIES OR PROVIDE OTHER GROUND COVERS SUCH AS NETTING OR CRUSHED ROCK
2:1 TO 3:1	HAND-PLACED RIPRAP OVER FILTER FABRIC
1:1 TO 2:1	GRADED OR WIRE-TIED RIPRAP
1:1 OR STEEPER	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY STRUCTURAL ENGINEER

NOTES:
- SLOPE GRADIENTS ARE HORIZONTAL OR VERTICAL
- FINAL SLOPE TREATMENT SHALL BE AS PER THIS TABLE UNLESS OTHERWISE NOTED ON THIS PLAN OR WITHIN THE GEOTECHNICAL REPORT.
- SEE RIPRAP NOTES FOR SPECIFICATIONS.

SURVEY NOTES

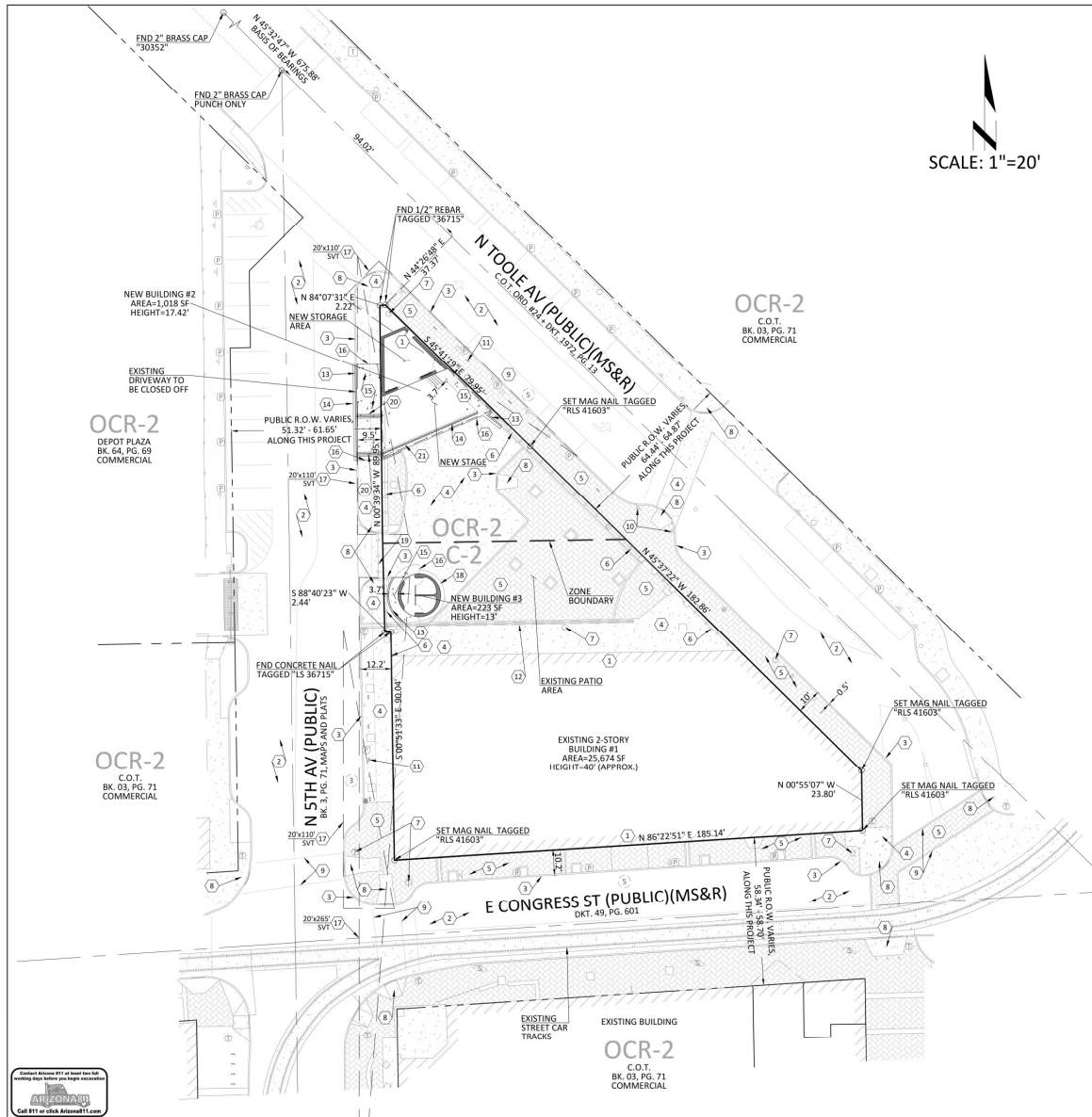
1. THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENTED CENTERLINE OF TOOLE AVE. BETWEEN 5th AVENUE AND 6th AVENUE AS DERIVED FROM STATE PLANE COORDINATES, ARIZONA CENTRAL ZONE. THE BEARING OF SAID LINE IS **N 45°32'47" W**.
2. THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY/CITY OF TUCSON GEODETIC CONTROL POINT "DG23" DESCRIBED AS A PK NAIL IN PAVEMENT, TAGGED "PLS 20272", 3' EAST OF A SEWER MANHOLE AT THE INTERSECTION OF 5th STREET AND FERRO AVE., APPROX 2400' NORTH AND 850' WEST OF THE SUBJECT PARCEL. THE ELEVATION OF SAID BENCHMARK IS **2,377.24'** NAVD88 DATUM.
3. THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: CYPRESS CIVIL DEVELOPMENT 2030 E SPEEDWAY BLVD, STE 110 ATTN: JOHN D. REYES, RLS #41603 PH: (520) 499-2456
4. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
5. UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.100 FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.100 FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

INFILL INCENTIVE DISTRICT (IID) NOTES

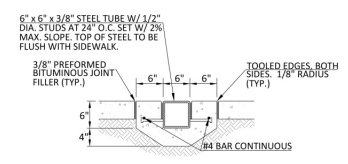
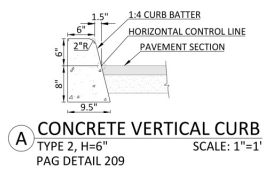
[NOTES/CONDITIONS TO BE DETERMINED]



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				311 EAST CONGRESS, LLC 311 EAST CONGRESS STREET TUCSON, ARIZONA 85701 C/O TODD HANLEY PH: (520) 971-9126
				CYPRESS CIVIL DEVELOPMENT 2030 east speedway boulevard suite #110 Tucson, Arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com
CYPRESS PROJECT NO: 19-049				
A PORTION OF BLOCKS 84 & 91, AND VACATED 5TH AVE. & 10TH ST. PER "CITY OF TUCSON" AS RECORDED IN BOOK 3, PAGE 71 OF MAPS & PLATS, IN THE S.W. 1/4 OF THE E. 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				SITE ADDRESS 311 CONGRESS STREET TUCSON, ARIZONA 85701 A. P. N. 117-06-166B
DEVELOPMENT PACKAGE for HOTEL CONGRESS STAGE notes				DP 2 OF 5

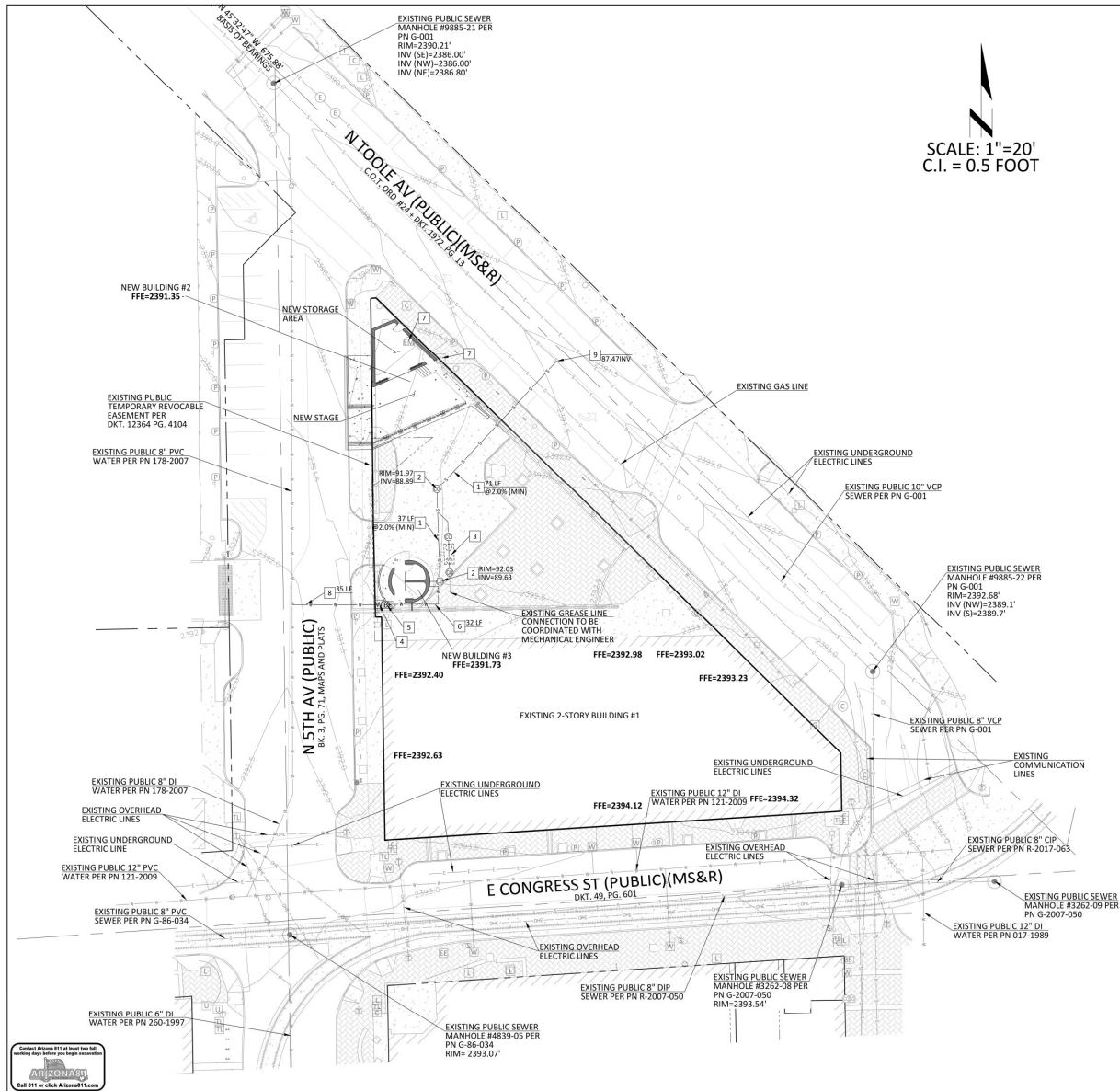


- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 5 EXISTING BRICK/PAVERS TO REMAIN.
 - 6 EXISTING FENCE TO REMAIN.
 - 7 EXISTING LIGHT/TRAFFIC LIGHT TO REMAIN.
 - 8 EXISTING CURB ACCESS RAMP TO REMAIN.
 - 9 EXISTING STRIPING TO REMAIN.
 - 10 EXISTING SIGN/POST TO REMAIN.
 - 11 EXISTING BIKE RACK TO REMAIN. (TYP.)
 - 12 EXISTING TRENCH DRAIN TO REMAIN (TYP.).
 - 13 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, THIS SHEET. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 14 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND SOIL. PAVEMENT SECTION TO MATCH EXISTING ADJACENT PAVEMENT SECTION.
 - 15 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 16 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 17 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 18 NEW PLANTER. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
 - 19 NEW FIRE DEPARTMENT ACCESS LOCKBOX. CONTRACTOR TO COORDINATE WITH TFD.
 - 20 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. SEE DETAIL B, THIS SHEET. CONNECT TO BUILDING DOWNSPOUT.
 - 21 NEW ACO TRENCH DRAIN PER PLAN NO. CONTACT JOHN LEAF WITH ACO DRAIN FOR MORE INFORMATION. OFFICE: (520) 421-9968 X3445



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				311 EAST CONGRESS, LLC 311 EAST CONGRESS STREET TUCSON, ARIZONA 85701 C/O TODD HANLEY PH: (520) 971-9126
				SITE ADDRESS 311 CONGRESS STREET TUCSON, ARIZONA 85701 A. P. N. 117-06-1668
				DEVELOPMENT PACKAGE for HOTEL CONGRESS STAGE site plan
<p>A PORTION OF BLOCKS 84 & 91, AND VACATED 5TH AVE. & 10TH ST. PER "CITY OF TUCSON" AS RECORDED IN BOOK 3, PAGE 71 OF MAPS & PLATS, IN THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 12, T. 14 S., R. 13 E., G. & S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA</p>				

DP
3 OF 5



UTILITY KEYNOTES

- 1 NEW PRIVATE 4" PVC SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 2 NEW PRIVATE SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERTS.
- 3 NEW GREASE INTERCEPTOR BY OTHERS. LOCATION SHOWN IS APPROXIMATE. TO BE CONFIRMED WITH MECHANICAL ENGINEER.
- 4 NEW 1" WATER METER. CONTRACTOR TO COORDINATE WITH TUCSON WATER PER WORK ORDER PROCESS.
- 5 NEW PRIVATE 1" BACKFLOW PREVENTER.
- 6 NEW PRIVATE 1.5" PVC WATER LINE. SEE KEYNOTE FOR LENGTH.
- 7 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE REMOVAL/RELOCATION WITH UTILITY COMPANY.
- 8 NEW PUBLIC 1.5" WATER SERVICE LINE. CONTRACTOR TO COORDINATE SERVICE TAP TO EXISTING MAIN PER WORK ORDER PROCESS WITH TUCSON WATER.
- 9 CONNECT TO EXISTING PUBLIC 10" VCP SEWER MAIN PER RWRD STD DTL 401. CONTRACTOR TO VERIFY INVERT AND CONDITION OF EXISTING PIPE PRIOR TO CONSTRUCTION.

PRIVATE UTILITY NOTES

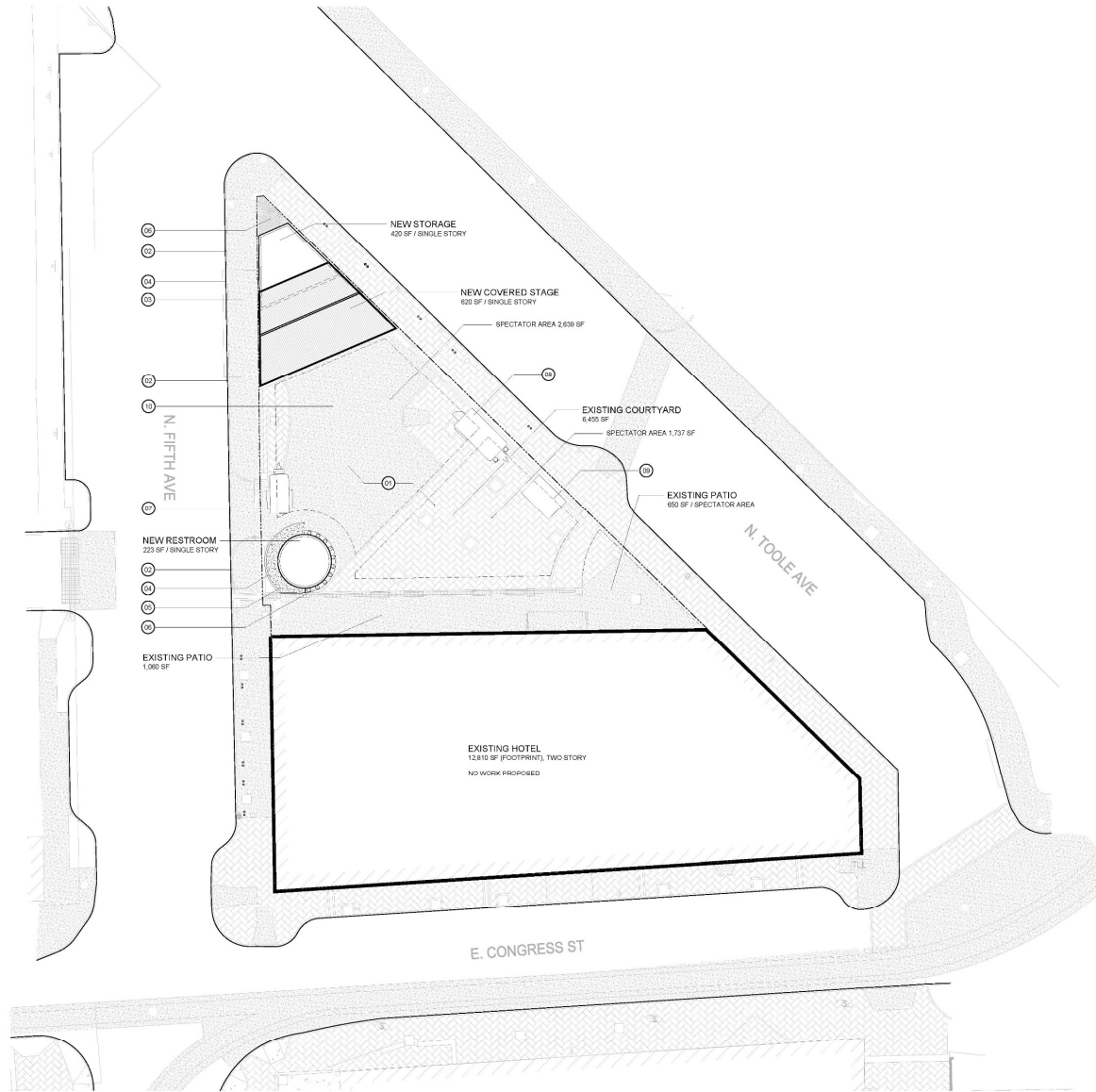
1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-792-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				311 EAST CONGRESS, LLC 311 EAST CONGRESS STREET TUCSON, ARIZONA 85701 C/O TODD HANLEY PH: (520) 971-9126
				SITE ADDRESS
				311 CONGRESS STREET TUCSON, ARIZONA 85701 A. P. N. 117-06-1668
CYPRESS PROJECT NO: 19-049 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com				DEVELOPMENT PACKAGE for HOTEL CONGRESS STAGE utilities + easements plan
A PORTION OF BLOCKS 84 & 91, AND VACATED 5TH AVE. & 10TH ST. PER "CITY OF TUCSON" AS RECORDED IN BOOK 3, PAGE 71 OF MAPS & PLATS, IN THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 12, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA.				

DP
5
OF
5



1 SITE PLAN
1/16" = 1'-0"

SITE PLAN GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING NEW WORK. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.
2. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY UNLESS NOTED ON EXHAUSTIVE. DIMENSIONS FROM EXISTING WALLS ARE FROM FACE OF EXISTING DRYWALL.
3. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ROOF PENETRATIONS.

SITE PLAN KEYNOTES

- (1) EXISTING COURTYARD SURFACE
- (2) EXISTING CURB
- (3) NEW SIDEWALK, REFER TO DEVELOPMENT PLAN
- (4) NEW CURB
- (5) NEW SIDEWALK
- (6) NEW LANDSCAPE AREA
- (7) EXISTING BEER TRAILER
- (8) EXISTING CUP CAFE FOOD TRUCK
- (9) EXISTING PATIO BAR
- (10) EXISTING ASPHALT PARKING AREA, PROPOSED NEW PAVING MATERIAL, SEE ADD ALTERNATE NOTE BELOW

PARKING CALCULATIONS PER IPP

HOTEL CONGRESS	
TRAVELER'S ACCOMMODATION, LODGING	
1 SPACE PER RENTAL UNIT	
30 GUEST ROOMS TOTAL (GND FLOOR)	= 30 PARKING SPACES
1 SPACE PER 300 SF ENTERTAINMENT USE	
INTERIOR 10,812 SF (1ST FLOOR)	= 36 PARKING SPACES
EXTERIOR 8,165 SF (COURTYARD)	= 27 PARKING SPACES
TOTAL REQUIRED	= 101 PARKING SPACES

NOTE: PLEASE SEE INDIVIDUAL PARKING PLAN (PPP) PER CONGRESS CIVIL DEVELOPMENT PER DP19-0190 AND ID-19-03

ADD ALTERNATE

ADD ALTERNATE #1
REMOVE EXISTING ASPHALT AT PREVIOUS PARKING AREA AS NECESSARY TO ALLOW FOR NEW BRICK PAVERS ON SAND. BRICK PAVERS SHALL MATCH EXISTING BRICK PAVERS AND PATTERN. REMOVE BRICK PAVERS FROM TOP OF EXISTING 8" CURB TO BASE OF NEW STAGE / STORM DRAIN. EXISTING CURBS SHALL BE REMOVED / FULCRUM LOCATED 15' FROM NEW. POA THEIR NEW BRICK PAVERS INTO EXISTING BRICK PAVERS FOR SEAMLESS TRANSITION.



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ISSUE DATE: 02/20/2020
PROJ #: 611
DRAWN BY: JLR
CHECKED BY: JRM

REVISIONS

NO.	DESCRIPTION



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ISSUE DATE: 12.30.2019
 PROJ. #: 611
 DRAWN BY: JVB
 CHECKED BY: JRM

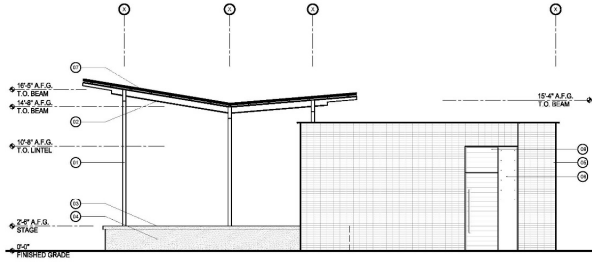
REVISIONS

ELEVATION GENERAL NOTES

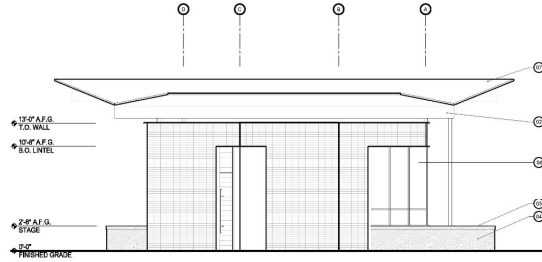
1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING NEW WORK. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.
2. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS FROM EXISTING WALLS ARE FROM FACE OF EXISTING DRYWALL.
3. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ROOF PENETRATIONS.

ELEVATION KEYNOTES

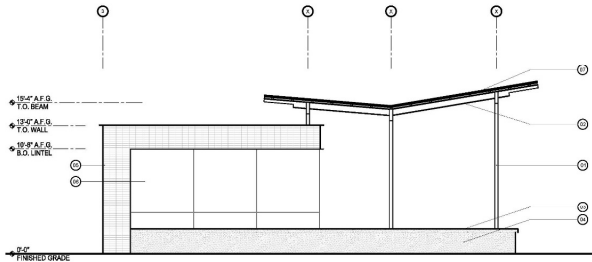
- (SC) STEEL COLUMN, REFER TO STRUCTURAL
- (SB) STEEL BEAM, REFER TO STRUCTURAL
- (CS) CONCRETE SLAB
- (CSM) CONCRETE STEM WALL
- (BM) BRICK MASONRY, REFER TO WALL TYPE
- (FPC) FLAT PANEL STEEL CLADDING W/ 1/2" X 1" STEEL TRIM SURROUND
- (NPM) NARROW PROFILE U-CANNEL METAL ROOFING
- (CL) CLADDING AT SPANDREL



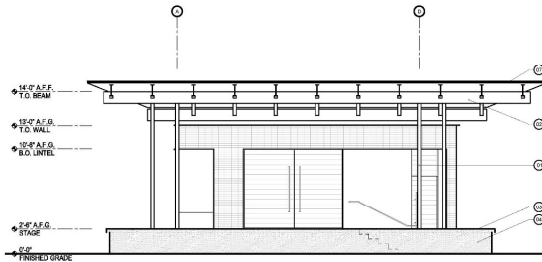
6 EAST BUILDING ELEVATION
 3/16" = 1'-0"



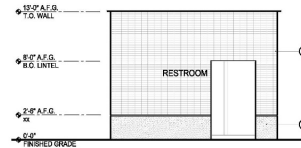
5 NORTH BUILDING ELEVATION
 3/16" = 1'-0"



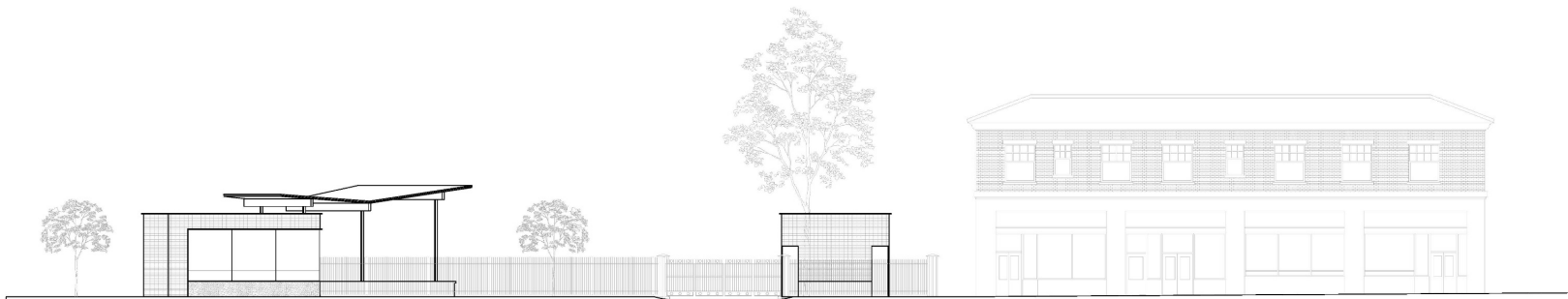
4 WEST BUILDING ELEVATION
 3/16" = 1'-0"



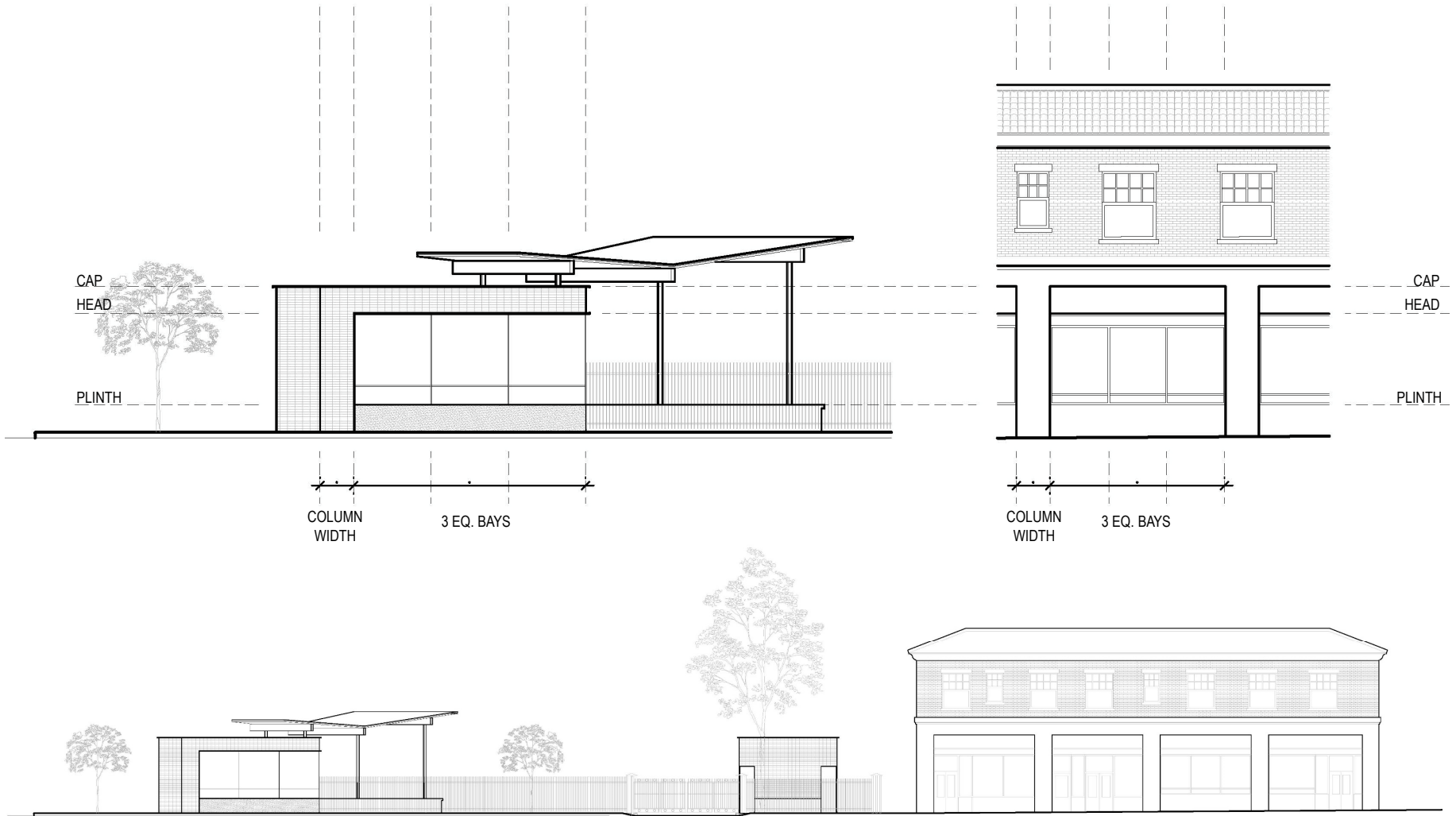
3 SOUTH BUILDING ELEVATION
 3/16" = 1'-0"



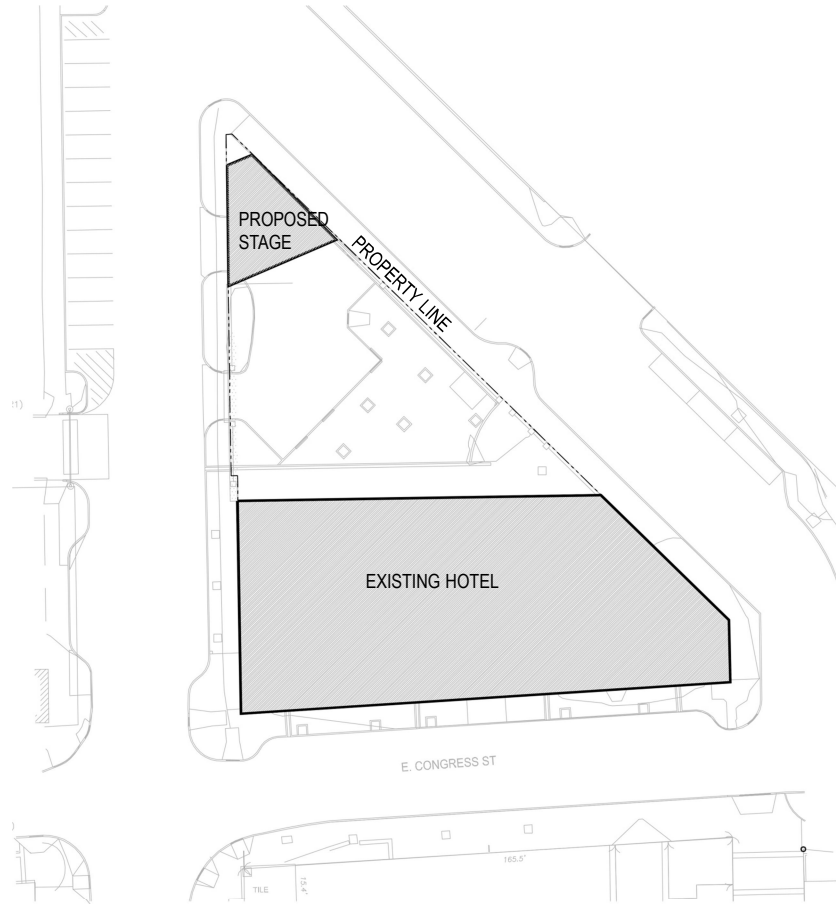
2 WC ELEVATION
 3/16" = 1'-0"



1 WEST SITE ELEVATION
 1/4" = 1'-0"



SCALE, PROPORTION & RHYTHM





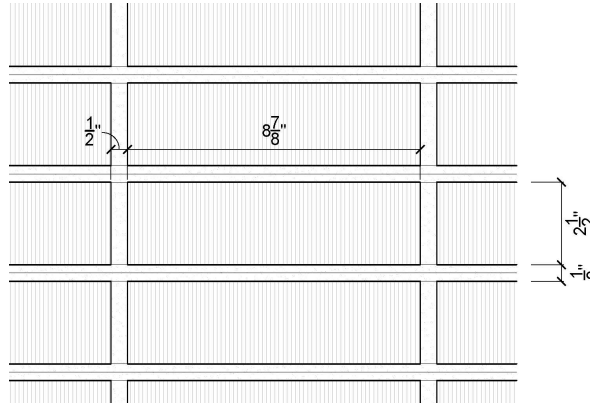
DESIGN CONCEPT - EXAMPLE OF BLACK PAINTED, EXPRESSED STRUCTURAL STEEL W/ LIGHTING



EXISTING HOTEL CONGRESS PORTICO. BLACK PAINTED METAL, EXPRESSED STRUCTURE & LIGHTING



EXISTING HOTEL CONGRESS BRICK
RUNNING BOND



BRICK DIMENSIONS & MATCHING MORTAR JOINTS
STACK BOND AT NEW WORK - DIFFERENTIATED
FROM EXISTING HOTEL CONGRESS RUNNING BOND



CUSTOM WIRE FACE BRICK & COLOR FROM SUMMIT BRICK
(WIRE FACE NO SHOWN)

MATERIALS & STRUCTURE







HEAVY AGGREGATE
CONCRETE PLATFORM

BLACK PAINTED STEEL
STRUCTURE

CUSTOM COLOR
WIRE FACE BRICK

WOOD CEILING



BLACK PAINTED STEEL
STRUCTURE

CUSTOM COLOR
WIRE FACE BRICK

WOOD CEILING

FLAT PANEL PANTED
STEEL WITH 1" TRIM

BLACK PAINTED STEEL
STRUCTURE

WOOD CEILING



CUSTOM COLOR
WIRE FACE BRICK

FLAT PANEL PANTED
STEEL WITH 1" TRIM

HEAVY AGGREGATE
CONCRETE PLATFORM

BLACK PAINTED STEEL
STRUCTURE

CUSTOM COLOR
WIRE FACE BRICK

HEAVY AGGREGATE
CONCRETE PLATFORM





BLACK PAINTED STEEL
STRUCTURE

CUSTOM COLOR
WIRE FACE BRICK

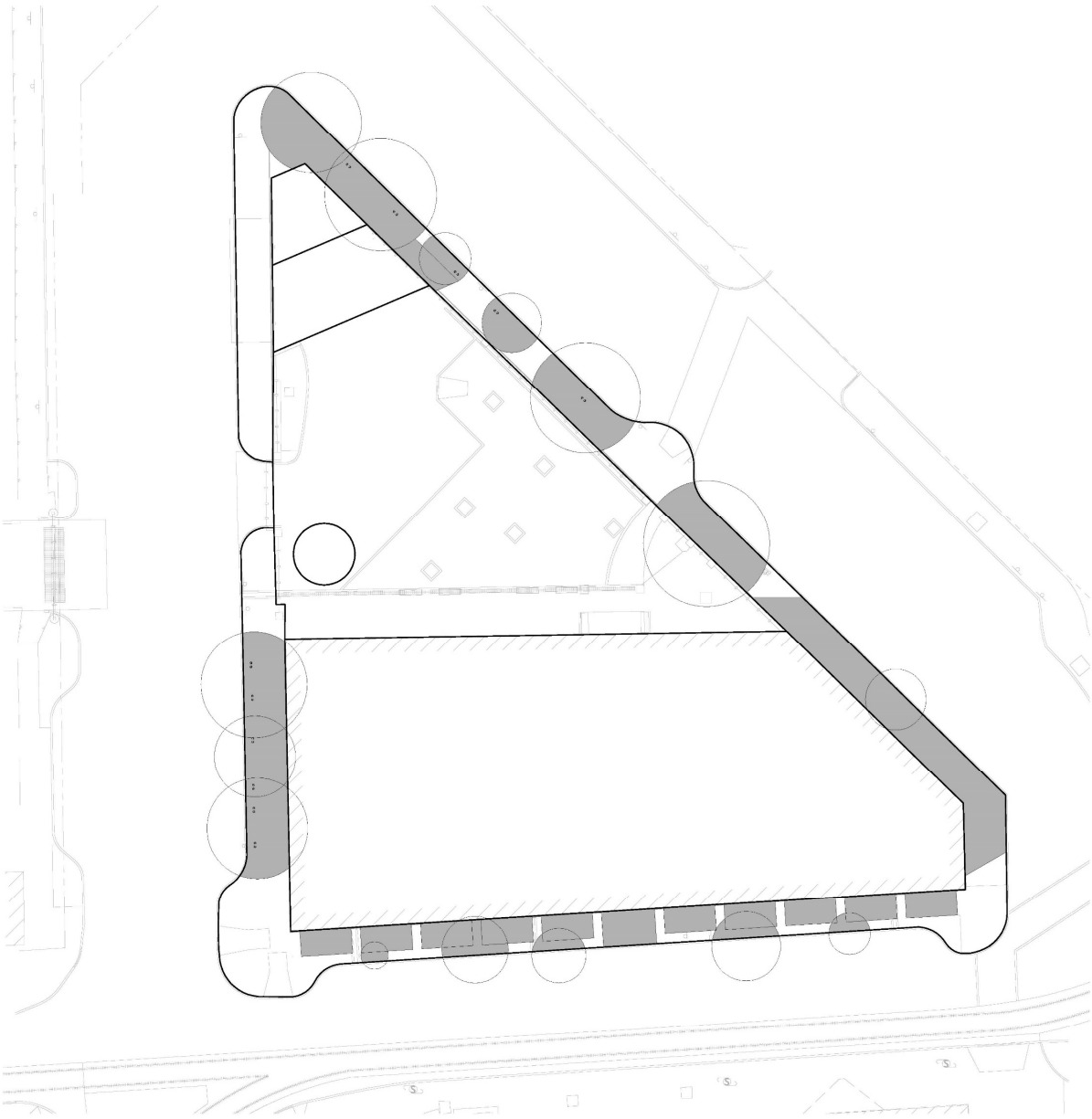
BLACK PAINTED STEEL
STRUCTURE



Shade Study Calculation

Total public area	7,900 SF
Total shaded area	4,643 SF

$4,643 / 7,900 = 58\% > 50\%$ required





POSTER
MIRTO
McDONALD
ARCHITECTURE
PLANNING
PRESERVATION

DATE: October 11, 2019
TO: Nick Ross, Maria Gayosso, Koren Manning
City of Tucson Planning and Development Services
FROM: Corky Poster, Architect/Planner, Design Professional
RE: Hotel Congress, 311 East Congress Street, Tucson AZ
DP 19-0190
OWNER: 311 East Congress LLC

PHASE OF REVIEW:

Comment:

On Tuesday September 24, 2019, I met with a more formal Pre-Application meeting using the Pre-Application Design Standard Checklist.

MATERIAL REVIEWED:

INFILL INCENTIVE DISTRICT DESIGN PACKAGE FOR HOTEL CONGRESS, submittal from applicant, dated September 13, 2019. Materials as noted, following (8.5 x 11 Format):

- Infill Incentive District Application (1 page)
- Submittal Requirements
- Project Summary/Introduction to HOTEL CONGRESS, New Stage, Storage & Restrooms (1 Page)
- Permit Review Details (10 pages)
- Pima County Assessor's Record Parcel Detail & Map (9 pages)
- Existing Photo Study (5 pages)
- Development Package DP19-0018 – 1st Submittal (5 pages)
- Building Design Information (14 pages)

IID STANDARDS APPLICABLE TO PROJECT:

- UDC Section **5.12.8 General IID Zoning Option Design Standards**
- UDC Section **5.12.10 Downtown Core Sub-District (DCS)**
- UDC Section **5.12.2. Establishment**

C. Depending on the development choice of the owner, plans submitted for development of land in the IID must comply with the appropriate IID regulations and standards as follows:

1.b. If the property is located within the boundaries of RNA, all of the following regulations, standards, and review procedures apply:

- (1) The regulations and standards of the underlying zoning.
- (2) The RNA Standards in Section 5.12.7
- (3) **Section 5.12.6.E – IID Historic Preservation Review**

2. Projects not in an HPZ [this project is not]

a. The Tucson-Pima County Historical Commission Plans Review Sub-Committee reviews all projects listed below:

(2) Projects proposing new development using IID zoning option that are either adjacent to the boundaries of an HPZ [not applicable here] or adjacent to a structure meeting any one or more of the following characteristics:

- (a) Listed or eligible to be listed in the National Register of Historic Places, individually or as a contributing property.
- d. The TPCHC Plans Review Subcommittee reviews for compliance with the design requirements of the applicable sub-district and for design compatibility of a proposed development project.
 - (1) New development must be designed to complement and be compatible with the architecture of adjacent historic structures.
 - (2) Compatibility with adjacent historic structures is to be achieved through architectural elements such as building setbacks, building step-backs, textures, materials, forms, and landscaping.
 - (3) Exceptions. The PDSD Director may waive the compatibility requirement of this section under the following circumstances:
 - (a) Where the adjacent lot is vacant
 - (b) If the property owner of the adjacent historic property waives the requirement; or
 - (c) If the adjacent lot is developed with a non-residential building.

STANDARDS AND REVIEWER COMMENTS:

UDC Section 5.12.8. GENERAL IID ZONING OPTION DESIGN STANDARDS

An IID Plan under the IID zoning option design standards must demonstrate compliance with the following:

A. Streetscape Design- Streetscape design must comply with the street design standards in the Technical Manual and the Streetscape Design Policy.

1. Pedestrian-orientation: Projects shall be pedestrian-oriented and comply with all of the following standards:
 - a. New construction shall have architectural elements/details at the first two floor levels;
 - b. Buildings shall provide windows, window displays, or visible activity on the ground floor for at least 50 percent of frontage;
 - c. A single plane of façade shall be no longer than fifty feet without architectural detail;
 - d. Front doors shall be visible or identifiable from the street and visually highlighted by graphics, lighting, or similar features;
 - e. Uses, such as Commercial Services or Retail Trade uses that encourage street level pedestrian activity are preferred on the first floor of a structure of a multistory building;
 - f. Construction and maintenance of sidewalks must be done in compliance with the City's Streetscape Design Policy. Existing sidewalk widths shall be maintained so as to provide effective, accessible, connectivity to adjoining properties. Sidewalks may be widened to accommodate a project's design characteristics. Where no sidewalks exist, sidewalks shall be provided. Outdoor seating and dining areas and landscaping may be located in the sidewalk area where safe and effective sidewalk width around the design feature can be provided;
 - g. To the extent practicable, bus pull-outs shall be provided where bus stops are currently located; and
 - h. If drive-through service is proposed, it shall not interfere with pedestrian access to the site from the right-of-way.
2. Shade
 - a. Except as provided below, shade shall be provided for at least 50% of all sidewalks and pedestrian access paths as measured at 2:00 p.m. on June 21 when the sun is 82 degrees above the horizon. Shade may be provided by trees, arcades, canopies, or shade structures provided their location and design characteristics are compatible with the historic and design context of the street and the architectural integrity of the building. The use of plantings and shade structures in the City right-of-way is permitted to meet this standard with the approval of the Transportation Department. The shade provided by a building may serve to meet this standard.
 - b. Exception- The PDSD Director may approve an IID Plan providing less than 50% shade where compliance is not feasible due to a project site's location and/or building orientation and the applicant has made a reasonable attempt to comply with this standard.

B. Development Transition Standards

The purpose of the Development Transition Standards is to mitigate excessive visual, noise, odor, vibration intrusion, and other similar public health and safety concerns that may be created by the proposed project.

1. Applicability - Developing sites that abut an affected single family or duplex dwelling shall comply with this section. For purposes of the IID, the following terms and examples describe elements of applicable transitional areas:
 - a. "Affected residential property" refers to an existing detached single-family or duplex dwelling that is adjacent to a developing site;
 - b. "High density residential" refers to residential development that is neither existing single-family detached nor attached dwellings;
 - c. Examples of applicable transitional areas include a nonresidential developing site adjacent to existing single-family detached or attached dwellings within a subdivision, or a developing high-density residential site adjacent to existing single-family detached or attached dwellings within a subdivision; and,
 - d. For projects within the DCS, the Development Transition Standards apply only to those projects adjacent to affected residential properties outside the DCS boundaries.
2. Mitigation of Taller Structures: Compliance with the following standards is required where the developing site has taller buildings than adjacent affected residential properties:
 - a. Within the GIS and DCS, the maximum building height is 25 feet within 30 feet of the property line adjacent to an affected residential property. Proposed buildings may be developed to the maximum height permitted by the underlying zone or as permitted by the IID Subdistrict, whichever is applicable, when the building is 30 feet or more from the property line adjacent to an affected residential property;
 - b. Building Bulk Reduction
 - c. If a building façade faces a property line adjacent to a single family detached or duplex residential property, the PDSD Director may require bulk reduction. The Design Professional shall make a finding and recommendation, after consulting with the DRC and/or Historic Commission if applicable, that the proposed design provides an effective way of breaking up the mass, so the building mass of the façade is less imposing.
 - d. Windows at or above the second story of a structure shall be located or treated to reduce views into adjacent affected residential property's buildings and yard areas;
 - e. Balconies shall be oriented away from affected residential property or use a screening device to reduce views in to the rear or side yards of the affected residential property.
 - f. The developing site's buildings shall be oriented so as to reduce views onto an affected residential property; and
 - g. Buffers and/or screening consistent with the purpose of this section shall be provided between a developing site and affected residential properties and shall include features such as, but not limited to, landscaping, walls, and architecturally decorative features.
3. Mitigation of Service Areas- Potential nuisance or noisy areas shall be oriented away from affected residential property, such as by placing service areas for loading and garbage disposal between the developing site's buildings, behind opaque barriers, or by using architectural or landscaping treatments that effectively reduce nuisance impacts from service areas. The service area shall be mitigated to reduce the noise and view of the service features, reduce the emission of offensive odors to owners or occupants of adjacent properties or create a nuisance or hazard beyond the property lines of the project site, and prevent vibrations that are discernible beyond the property lines of the project site.
4. Mitigation of Parking Facilities and Other Areas- Where the site has parking areas or an area with noise and outdoor lighting features, the areas shall be screened from affected residential property by a combination of a wall or opaque non-chain link fence with a vegetative hedge or a row of trees that shall be dense enough to screen views onto the development site. An alternative treatment may be used, such as using architectural or landscaping treatments that effectively reduce nuisance impacts

from parking facilities and other areas. Where there is a finding that the vegetative screen will be opaque, the requirement of a masonry wall may be waived by the PDSD Director.

C. Alternative Compliance

1. The PDSD Director may approve an urban design best practice option for compliance with Section 5.12.8.A, Streetscape Design, and Section 5.12.8.B, Development Transition Standards.
 2. For purposes of this section, urban design best practices may include urban design studies approved for the City of Tucson, adopted urban design standards for a downtown area in an Arizona city of comparable size or a city in the Southwest of comparable size, books written by urban design experts or endorsed by a professional organization, such as the American Institute of Architects, addressing downtown development, or any comparable report, study, or standards recommended by the City's Design Professional and approved by the PDSD Director.
- D. Utilities-** Plans shall include information on the layout and demonstrate availability of utilities such as water, wastewater, natural gas, electric, and telecommunication utilities.
- E. Parking**
1. Parking spaces may be located as follows:
 - a. On site; or
 - b. Off-site within ¼ of a mile of the project site under a shared parking agreement that is approved by the City.
 2. Required vehicle and bicycle parking may be reduced pursuant to an IID Parking Plan in accordance with Section 7.4.5.A, except as modified as follows:
 - a. Section 7.4.5.A.3 in Permitted Uses and Types of Development does not apply. An IID Parking Plan may be used to reduce required residential parking.
 - b. Bike parking shall be provided when motor vehicle parking is provided. The PDSD Director may reduce the required number of bike parking spaces depending on the use, setting, and intensity of the proposal.
 - c. The neighborhood meeting that is required for under Section 7.4.5.A.6.a may be held concurrently with the neighborhood meeting required by Section 5.12.6.B.
 - d. Section 7.4.5.B, Downtown Parking District, does not apply.
 3. Where Parking is provided, the parking area must comply with the standards of Section 7.4.6.C and D.
 4. Parking must be in a parking structure with the ground floor of the parking structure screened from view.
 - a. Exception
 - b. Parking may be located on a surface parking lot if it is determined by the PDSD Director to be impracticable to be located elsewhere and other options are not available.
 - c. Parking may be located on a surface parking lot if it is determined by the PDSD Director to be impracticable to be located elsewhere and other options are not available. If located onsite, parking areas must be located at the rear or side of the building.
 - d. Changes of use and expansion of existing structures may use the site's current parking configuration.
 - e. Parking structures shall be designed so that parked vehicles are screened from view at street level through incorporation of design elements including, but not limited to, landscaping, pedestrian arcades, occupied space, or display space.
 5. Special IID Parking Agreement- Where a developer can demonstrate to the satisfaction of the PDSD that the parking options provided for in this Section are not feasible, and the City makes a specific finding that the project will have significant economic development value for the IID Sub-District in which it will be located, the following parking options are allowed as follows:
 - a. A percentage of long-term residential parking may be located in a City public parking garage by an agreement with Park Tucson if the project is of significant economic benefit to the City to allow this option.
 - b. The agreement must be reviewed by PDSD, the Design Professional, Park Tucson and approved by the City Manager.

F. Multi-zone Parcels- Where a development parcel contains more than one zoning district, uses and building massing may be distributed across the zoning districts on the parcel, provided that the development complies with the design standards in Section 5.12.8.B to mitigate the impact of the new development on existing, less intensely developed adjacent parcels.

UDC 5.12.10. DOWNTOWN CORE SUBDISTRICT (DCS)

- A. Permitted Uses** - With the exception of detached single-family dwellings, which are not allowed, permitted uses in the DCS are those uses listed for the GIS, Section 5.12.9.A.
- B. Standards** - The following apply to all development within the DCS:
1. Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the approved IID Plan's Development Transition Standards requires less.
 2. In the underlying I-1 and I-2 Zone, uses permitted in the DCS under Section 5.12.9.A above are limited to a maximum 75-foot building height.
 3. When provided, landscaping shall be in accordance with the City's drought-tolerant plant list;
 4. Bicycle parking shall be provided when motor vehicle parking is provided. The required number of bicycle parking spaces may be reduced pursuant to an IID Parking Plan, Section 5.12.6.M when bicycle parking is required per this section;
 5. Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation; and,
 6. All applications shall be in accordance with:
Section 5.12.7.C.6: Building façade design shall include pedestrian-scaled, down-shielded, and glare controlled exterior building and window lighting;
5.12.7.C.9: Buildings shall be designed to shield adjacent buildings and public rights-of-way from reflected heat and glare;
5.12.7.C.12: Colors may conform to the overall color palette and context of the Downtown area or may be used expressively to create visual interest, variety, and street rhythms. The rationale for an expressive or idiosyncratic use of color shall be described in the site plan submittal;
5.12.7.C.13: New buildings shall use materials, patterns, and elements that relate to the traditional context of the Downtown area;
5.12.7.C.14: Twenty-four-hour, street-level activity is encouraged by providing a mixture of retail, office, and residential uses within each building; and,
Section 5.12.7.D.3. Open space is defined in the DCS as stated in Section 5.12.11.B.6, Downtown Links Subdistrict. **Plazas and Open Space:** The fundamental objective of the design standards in this Section 5.12.7.D.3 is to encourage public and private investments to enhance the character and function of Downtown's pedestrian environment.
 - a. Five percent of the gross floor area of new construction shall be provided in public plazas or courtyards. Open space plazas, courtyards, and patios are landscaped outdoor areas designed to accommodate multiple uses, from large gatherings of the people for performing arts to smaller gatherings. The plazas and courtyards will be one of the ways that spaces and uses can be linked. The requirement of this section may be waived or reduced by the PDS Director upon a written finding during the review process that the development enhances the downtown pedestrian environment even with a smaller percent or elimination of the requirement.
 - b. Views of all historic properties and all-natural elements surrounding the Downtown should be considered during design. Plazas, courtyards, and open spaces shall be sited to include views to other public spaces, where feasible.
 - c. Neighborhood linkages shall be maintained throughout Downtown.
- C. Exemptions** - Except as provided in this section, development within the DCS is exempt from the following standards unless the PDS Director makes a finding that public safety and health would be jeopardized:
1. Section 5.4, Major Streets and Routes Setback Zone;
 2. Minimum perimeter yard standard as provided in Section 6.3, except when required by Section

5.12.8.B, Development Transition Standards

3. Maximum lot coverage standard as provided in Section 6.3;
 4. Minimum lot size standard as provided in Section 6.3,
 5. Section 7.4, Motor Vehicle and Bicycle Parking, except as provided in Section 5.12. 8.E;
 6. Section 7.5, Off-Street Loading;
 7. Section 7.6, Landscaping and Screening Standards, except as required by Section 5.12.8.B, Development Transition Standards; and,
 8. Section 7.7, Native Plant Preservation, except when the property includes a drainage corridor where native plants are present or when the property is adjacent to a drainage corridor and remnant native plants are present on the project site.
- D. Other Permitted Modifications**
1. Pedestrian Access
 2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalks may be allowed as long as no safety hazard is created. All pedestrian access shall conform to the City's adopted Building Code.
 3. Solid Waste Collection
 4. On-site refuse collection container standards governing access, type, and location may be modified if the Environmental Services Department determines that no public health or traffic safety issue is created.

Section 5.12.6.E – IID Historic Preservation Review

- d. The TPCHC Plans Review Subcommittee reviews for compliance with the design requirements of the applicable sub-district and for design compatibility of a proposed development project.
 - (1) New development must be designed to complement and be compatible with the architecture of adjacent historic structures.
 - (2) Compatibility with adjacent historic structures is to be achieved through architectural elements such as building setbacks, building step-backs, textures, materials, forms, and landscaping.

Reviewer Comments:

1. Perhaps use same brick but with stack-bond on the bathroom to avoid historic imitation.
2. Recommend raising current parking lot grade to match height of existing pedestrian paved area.
3. Maybe delineate historic 10th Street alignment in paving pattern.

INDIVIDUAL PARKING PLAN for HOTEL CONGRESS STAGE

JANUARY 2020

OWNER

311 East Congress Street, LLC
311 East Congress Street
Tucson, Arizona

PREPARED FOR

Repp + McLain Design and Construction
2502 North First Avenue
Tucson, Arizona



10 January 2020

City of Tucson Development Services
201 North Stone Avenue
Tucson, Arizona 85701

RE: Individual Parking Plan for the Hotel Congress Stage (DP19-0190)

The Hotel Congress Stage project area (hereinafter the "PROJECT") is located at 323 East Congress Street, and is currently developed with a single hotel building with retail. It is an existing development that is proposing the redevelopment of the northwest portion of the site with the construction of a permanent performance stage and restroom (see Attachment 1 – Site Plan). The project has been designed and will be constructed under the governance of the City of Tucson's Unified Development Code (UDC) and the Infill Incentive District (IID) standards. The Development Package (DP19-0190) was originally submitted on August 7, 2019 with an off-site parking agreement with a private party in place. The purpose of this Individual Parking Plan (IPP) request is to modify the parking requirements as they relate to the project's use, and reflect typical current parking demands for hotels in Tucson and other urban areas.

The PROJECT is zoned C-2 and OCR-2 and currently is developed with a single commercial building serving as a hotel and retail. Per the UDC Article 7.4.4 the required number of parking spaces is 1 space per rental unit with 39 rooms in total. Additionally 1 space per 300 square feet of indoor entertainment use and outdoor patio area (see Attachment 2 – Applicable Parking Codes). The PROJECT nets 10,512 sf of indoor entertainment area and 8,165 sf of outdoor patio space for a total of 18,677 sf of use area which results in a requirement to provide 101 (39 + 62) parking spaces on-site. Utilizing the Infill Incentive District Ordinance to receive a 25% reduction to reduce the required on-site parking results in a net requirement of 76 spaces. Further, the PROJECT proposes bicycle parking well beyond that required which provides for further reduction per Section 7.4.5.E.3 of the UDC. Specifically, the UDC requires 7 bicycle parking spaces for the PROJECT (5 short term and 2 long term) and the PROJECT proposes to provide 61 spaces (22 short term and 39 long term). The allowable reduction for this additional bike parking is 9 spaces thus equating to a total net vehicle parking space requirement of 67.

Currently the PROJECT has lease agreements (see Attachment 3 – Parking Lease Agreements) in place with the City of Tucson for approximately 45 (5 + 5 + 22 + 13) parking spaces. The previously mentioned parking spaces are located within the Depot Plaza garage, the Plaza Centro garage and the Historic Depot surface parking lot. The lease agreement includes 5 long-term and 5 month to month spaces within the Depot Plaza, 22 long-term spaces within the Plaza Centro and 13 spaces within the Historic Depot Parking. This equates to a 22 space shortage on-site (67 - 45).

Per UDC Article 7.4.5.A.3, this PROJECT meets one (1) of the development type/permitted use criteria's for an IPP request: -.b) Project is within 1,320 feet (one-fourth mile) of a transit stop.

The PROJECT is adjacent to multiple alternative transit opportunities, including the Sun Tran Link Street Car and Sun Tran Bus service. The Sun Link Street Car currently stops along Broadway Boulevard, Congress Street, 4th Avenue and Toole Avenue, all well within walking distance of the PROJECT. The Sun Tran Bus

services currently stops within a quarter mile radius of the project at the intersection of Broadway Boulevard and 6th Avenue; at Broadway Boulevard and 4th Avenue; at Congress Street and Toole Avenue; at Congress Street and Stone Avenue; at Stone Avenue and Pennington; at 6th Avenue and Toole Avenue; at 6th Avenue and Congress; at 9th Ave and 4th Ave and at the Sun Tran Downtown Ronstadt Center (see Attachment 4 – Street Car & Bus Station Proximity Map).

In addition, the PROJECT is also adjacent to other alternative transportation opportunities including the City of Tucson Bike Share Program (TUIGO) with a station being located adjacent to the PROJECT – at the southwest corner of North 5th Avenue and East Toole Avenue (in front of the MLK Apartments) (see Attachment 5 – Bike Share Map). In a 2015 Study done in Transit Reviews, it was noted that in Cities such as Washington D.C. and Minneapolis the bike share for car trips represented a substitution rate of 8% and 20% respectively.¹ This substitution rate indicates that not only does the Bike Share Program offer individuals the opportunity of an alternative mode of transportation, but a form of physical activity, which can be seen as an overall health benefit for the community.

In terms of additional public parking facilities, the PROJECT is located within less than 1,300 feet of three City of Tucson public parking garage facilities: the Pennington Street Garage located at the southeast corner of Pennington Street and Scott Avenue; the Centro Garage at 345 East Congress Street; and the Depot Plaza Garage located at 45 North 5th Avenue. The Pennington Street Garage contains 711 public spaces and is accessible 24/7/365. The Centro Garage contains 201 public spaces and is accessible 24/7/365. The Depot Plaza Garage contains 147 public spaces and is accessible 24/7/365. In addition the PROJECT is located within less than 1,300 feet of two City of Tucson public surface parking lots: the Toole Avenue Lot located east of the intersection of Toole Avenue and 6th Avenue, and the Triangle Lot located to the northeast of the intersection of 6th Avenue and Pennington Street. The Toole Avenue lot contains 4 public metered spaces accessible 24/7/365. The Triangle Lot contains 29 public spaces open to the public 6pm-3am M-F and all day on weekends (see Attachment 6 – Public Parking Facilities).

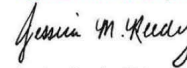
The PROJECT is also located adjacent to on-street metered parking spaces to include immediately adjacent to the PROJECT along 5th Avenue, Congress Street and Toole Avenue and along public right-of-ways surrounding the project. Within a quarter mile radius of the project there are approximately 338 on-street metered parking spaces.

Being an hotel/entertainment/bar use, the PROJECT experiences the highest parking demands during the evening. The available off-site public parking located within a quarter mile of the PROJECT have been deemed more than sufficient to handle demand per the PROJECT's owner/user. This is due in large part to the increase in efficient access to public transit and an increase in rideshare services. In addition the proposed stage is replacing an existing temporary stage and that all existing operations have functioned for years without any dedicated on-site parking. Lastly, the increased amount of bicycle parking provided, the placement of a ride-share (i.e. Uber, Lyft, etc.) loading/unloading zone in both the front and back of the building and the proximity to alternative modes of transportation downtown all reduce the need for a patron of the PROJECT to own a vehicle.

¹ Elliot Fishman (2015) Bikeshare: A Review of Recent Literature, Transport Reviews, 36:1, 92-113, DOI: [10.1080/01441647.2015.1033036](https://doi.org/10.1080/01441647.2015.1033036)

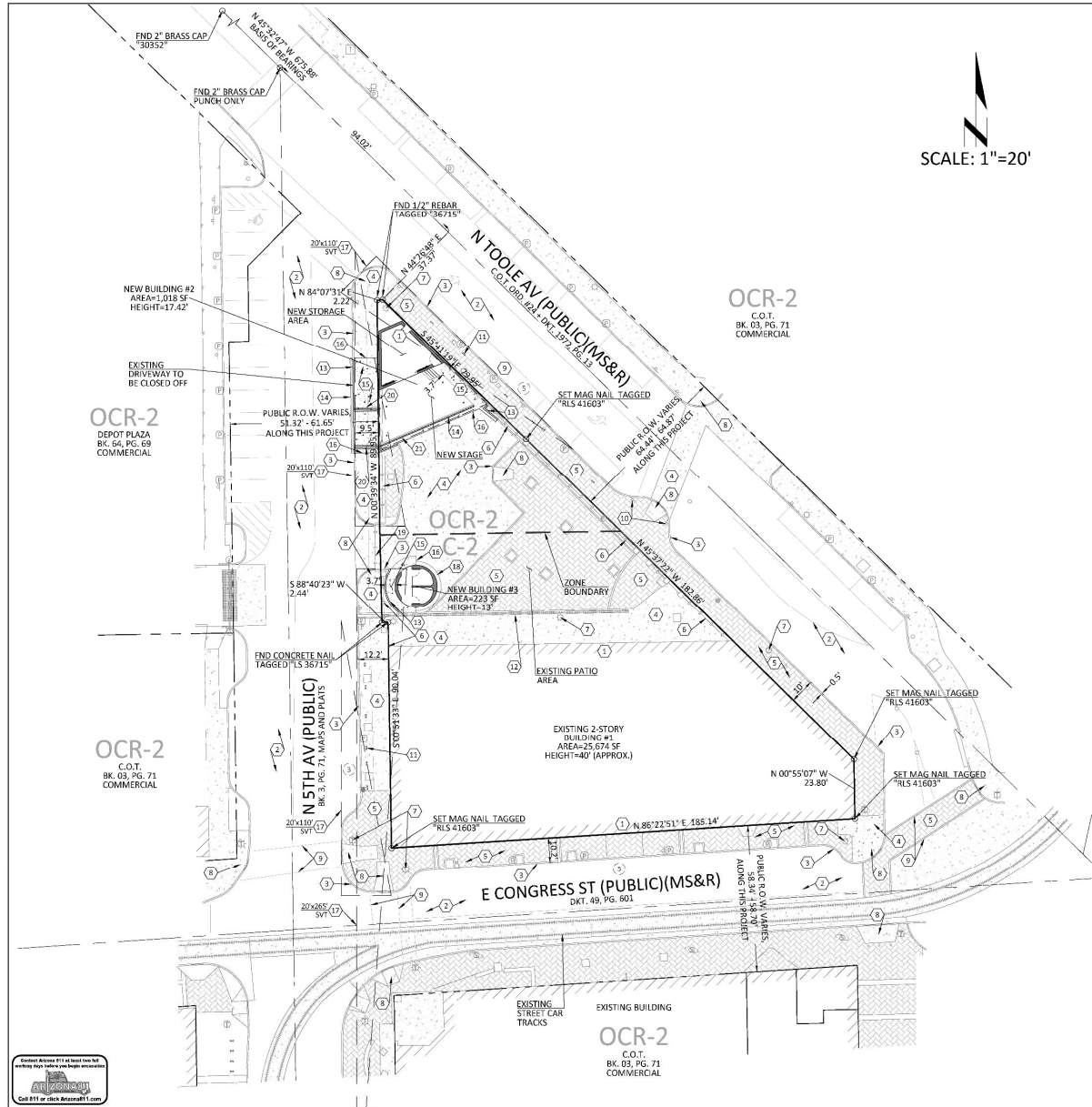
In conclusion, the fact that the proposed improvements to the site are a permanent stage in place of the existing temporary stage that is already in place, there is no expected increase demand for parking. The other available on-street parking in the immediate area, the publicly available multi-modal transportation offerings (Sun Tran, TuGo), leased parking spaces from the City, and public parking lots and garages all provide access and parking opportunities to meet the requirements and demand of the PROJECT and the shortage of 22 parking spaces from the required amount is not seen as a deterrent to the success of the PROJECT.

Sincerely,
Cypress Civil Development



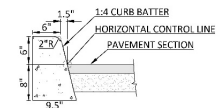
Jessica Reedy, EIT
jreedy@cypresscivil.com
520-499-2456

- Attachment 1 – Site Plan
- Attachment 2 – Applicable Parking Codes
- Attachment 3 – Parking Lease Agreements
- Attachment 4 – Street Car & Bus Station Proximity
- Attachment 5 – Bike Share Map
- Attachment 6 – Public Parking Facilities

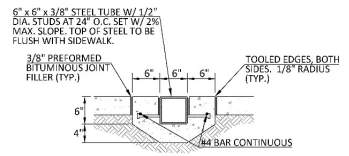


SCALE: 1"=20'

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 5 EXISTING BRICK/PAVERS TO REMAIN.
 - 6 EXISTING FENCE TO REMAIN.
 - 7 EXISTING LIGHT/ TRAFFIC LIGHT TO REMAIN.
 - 8 EXISTING CURB ACCESS RAMP TO REMAIN.
 - 9 EXISTING STRIPING TO REMAIN.
 - 10 EXISTING SIGN/POST TO REMAIN.
 - 11 EXISTING BIKE RACK TO REMAIN. (TYP.)
 - 12 EXISTING TRENCH DRAIN TO REMAIN (TYP.).
 - 13 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, THIS SHEET. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 14 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN. PAVEMENT SECTION TO MATCH EXISTING ADJACENT PAVEMENT SECTION.
 - 15 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 16 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 17 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 18 NEW PLANTER. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
 - 19 NEW FIRE DEPARTMENT ACCESS LOCKBOX. CONTRACTOR TO COORDINATE WITH TFD.
 - 20 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. SEE DETAIL B, THIS SHEET. CONNECT TO BUILDING DOWNSPOUT.
 - 21 NEW ACO TRENCH DRAIN PER PLAN NO. _____. CONTACT JOHN LEAF WITH ACO DRAIN FOR MORE INFORMATION. OFFICE: (520) 421-9968 X3445



A CONCRETE VERTICAL CURB
TYPE 2, H=6"
SCALE: 1"=1"
PAG DETAIL 209



B SIDEWALK SCUPPER
TYPE 1
SCALE: 1"=1"
PAG DTL 204

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				311 EAST CONGRESS, LLC 311 EAST CONGRESS STREET TUCSON, ARIZONA 85701 C/O TODD HANLEY PH: (520) 972-9126
				SITE ADDRESS 311 CONGRESS STREET TUCSON, ARIZONA 85701 A. P. N. 117-06-1668
				<p>DEVELOPMENT PACKAGE for HOTEL CONGRESS STAGE site plan</p>
<p>A PORTION OF BLOCKS 84 & 91, AND VACATED 5TH AVE. & 10TH ST. PER "CITY OF TUCSON" AS RECORDED IN BOOK 3, PAGE 71 OF MAPS & PLATS, IN THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 12, T. 14 S., R. 13 E., G. & S. R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA.</p>				

APPLICABLE PARKING CODES

7.4.4. REQUIRED NUMBER OF MOTOR VEHICLE PARKING SPACES

B. Minimum Number of Motor Vehicle Parking Spaces Required

The minimum number of required motor vehicle parking spaces is provided below in Table 7.4.4-1.

TABLE 7.4.4-1 : MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED

Land Use Group/Class	Motor Vehicle Spaces Required
Traveler's Accommodation Lodging	1 space per rental unit plus 1 space per 300 sq. ft. GFA of conference, restaurant, retail, bar and banquet space.

7.4.5.E.3 REDUCTION BASED ON PROVIDING ADDITIONAL BICYCLE PARKING

For every six non-required bicycle parking spaces that meet the short or long-term parking standards, the motor vehicle parking requirement may be reduced by one space. Motor vehicle parking spaces may be converted to bicycle parking spaces pursuant to Section 7.4.9.B.1.g.

ADOPTED BY THE
MAYOR AND COUNCIL

July 7, 2015

RESOLUTION NO. 22429

RELATING TO REAL ESTATE AND SETTLEMENT OF CLAIMS; AUTHORIZING AND APPROVING A FOURTH AMENDMENT TO THE LEASE WITH DEPOT PARTNERS, LLC FOR PROPERTY LOCATED AT 400 NORTH TOOLE AVENUE; AND APPROVING A MUTUAL SETTLEMENT AND RELEASE AGREEMENT WITH CONGRESS TAP ROOM, INC; AND DECLARING AN EMERGENCY.

BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF TUCSON, ARIZONA, AS FOLLOWS:

SECTION 1. The Agreement entitled Mutual Settlement and Release Agreement, by and between Richard and Janet Shana Oseran, Congress Tap Room, Inc., Hotel Congress, LLC, 311 East Congress, LLC, and the City of Tucson, including the Fourth Amendment to Lease by and between the City of Tucson and Depot Partners, LLC, attached to this Resolution as Exhibit 1, is authorized and approved.

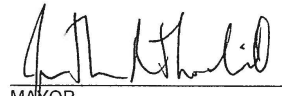
SECTION 2. The Mayor is authorized and directed to execute Exhibit 1 and any and all documents necessary to effectuate the above contemplated transaction for and on behalf of the City, and the City Clerk is authorized and directed to attest to the same.

SECTION 3. The various City officers and employees are authorized and directed to perform all acts necessary or desirable to give effect to this Resolution.


{A0090529.DOC/2}

SECTION 4. WHEREAS, it is necessary for the preservation of the peace, health and safety of the City of Tucson that this Resolution become immediately effective, an emergency is hereby declared to exist and this Resolution shall become effective immediately upon its passage and adoption.

PASSED, ADOPTED AND APPROVED BY THE MAYOR AND COUNCIL OF
THE CITY OF TUCSON, ARIZONA, July 7, 2015.


MAYOR


ATTEST:


CITY CLERK

APPROVED AS TO FORM:


CITY ATTORNEY

REVIEWED BY:


for CITY MANAGER

MR/dg
7/6/15

{A0090529.DOC/2}

2

MUTUAL SETTLEMENT AND RELEASE AGREEMENT

This Mutual Settlement and Release Agreement ("Agreement") is made between Richard Oseran and Janet Shana Oseran, Congress Tap Room, Inc., an Arizona corporation, Hotel Congress, LLC, an Arizona limited liability company, and 311 East Congress, LLC, an Arizona limited liability company, all hereinafter collectively referred to as "Hotel Congress," and the City of Tucson and its elected officials, officers, employees, agents and representatives, hereinafter collectively referred to as the "City," for and in consideration of the payments, promises, waivers, and other considerations set forth herein.

WHEREAS, Hotel Congress operates a business located at 311 East Congress Street in the City of Tucson and desires to provide parking for the benefit of its overnight guests; and

WHEREAS, Hotel Congress claims it has an enforceable agreement with the City to have use of certain parking spaces for its overnight guests at no cost for a period of years and at market rate thereafter; and

WHEREAS, the City denies an agreement exists that entitles Hotel Congress to the use of any City-owned parking spaces except on the same terms and conditions as such spaces are available to the general public; and

WHEREAS, the City has informed Hotel Congress it plans to make a demand on Hotel Congress to pay the fair market value for parking which has been previously provided to it without charge and Hotel Congress contends it is not required to do so; and

WHEREAS, Hotel Congress submitted notices of claims under A.R.S. § 12-821.01 to the City on June 12, 2014, and September 23, 2014, both of which are hereinafter referred to as the "Claims." The Claims allege the existence of a parking lease agreement and threaten that Hotel Congress will bring a lawsuit against the City seeking specific performance and money damages in excess of fourteen million dollars; and

WHEREAS, the City has denied the Claims; and

WHEREAS, the City and Hotel Congress desire to settle and resolve the dispute:

NOW THEREFORE, IT IS AGREED AS FOLLOWS:

1. **The Disputes.** The City and Hotel Congress agree to settle and resolve on the terms set forth herein the disputes and contentions raised in the Claims and all related matters, including but not limited to claims made by Hotel Congress that an agreement exists in fact or by implication or by estoppel between Hotel Congress and the City related to parking including but not limited to an agreement that entitles Hotel Congress to utilize parking spaces belonging to the City and

Exhibit 1 to Resolution 22429

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claims made by the City it is owed fair value for previously provided parking spaces. All such disputes and contentions are collectively referred to hereinafter as the "Disputes."

2. **Condition of Mayor and Council Approval.** This settlement is made upon the condition that it must be approved by Mayor and Council in a properly noticed public meeting at which it is listed as an agenda item for consideration.
3. **Parking Agreement.**
 - a) **Depot Plaza Long Term Parking:** The City will provide to Hotel Congress the use of five (5) parking spaces on the lower level of the Depot Plaza parking garage, with the first year following execution of this agreement at no cost and thereafter for 19 years subject to a lease to Hotel Congress at market rate.
 - b) **Depot Plaza Month to Month Parking:** The City will provide an additional five (5) parking spaces on lower level of the Depot Plaza garage on a month-to-month basis terminable at the will of the City, on the same terms and conditions that are made available to all other members of the public.
 - c) **Alternate Parking Availability:** In the event the five (5) month-to-month terminable at will parking spaces in the Depot Plaza parking garage provided for in ¶ 3(b) above become unavailable:
 - i) the City will provide five (5) month-to-month terminable at will parking spaces in the Plaza Centro parking garage on the same terms and conditions that are made available to all other members of the public, or, if Plaza Centro is unavailable, then
 - ii) the City will provide five (5) month-to-month terminable at will spaces in the Toole Avenue surface parking lot, located northwest of the Historic Depot, on the same terms and conditions that are made available to all other members of the public, or, if Toole Avenue is unavailable, then
 - iii) the City will provide five (5) month-to-month terminable at will spaces in the Pennington Street parking garage on the same terms and conditions that are made available to all other members of the public.
 - d) **Plaza Centro Long Term Parking:** The City will provide 22 parking spaces in the Plaza Centro garage for a term of 20 years. These spaces will be leased to Hotel Congress at the market rate. If Hotel Congress elects to lease fewer than 22 spaces in a given year, it must notify the City no later

than January 1 of the year in which it intends to reduce the number of leased spaces. The City may use the unleased spaces as it sees fit during that particular year, so long as the City makes up to 22 spaces available Hotel Congress to lease at the beginning of each year during the 20 year term.

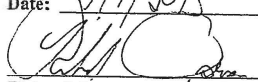
- e) **Historic Depot Parking:** The City will, by amendment of the existing lease to Depot Partners, LLC ("Maynards Lease"), attached hereto as Exhibit A, add the remaining unleased 13 parking spaces in that portion of the Historic Depot surface parking lot depicted on the attached Exhibit B under the existing Maynards Lease with no increase to the lease payment as provided under the Maynards Lease. Those 13 spaces may be utilized by guests of the Hotel Congress. In the event the Maynards Lease is terminated, Hotel Congress shall have the right to lease the 13 spaces at market rate for 20 years from the date of this Agreement, as long as Hotel Congress exercises that right within 60 days of the date of the termination of the Maynards Lease. As part of this lease amendment, Hotel Congress will agree that, as to the 20 spaces already included in the existing Maynards Lease, these 20 spaces will continue to be metered, and when available for public parking the current arrangement under which the City retains the meter revenue and authority to enforce will remain in place. The parties shall designate the 13 spaces leased pursuant to this Agreement and the City shall, if requested, remove meters from those spaces. The parties acknowledge that the amendment of the Maynards Lease called for under this Agreement does not relieve Depot Partners, LLC, or Hotel Congress from ensuring, that when open for public parking, access is provided, and not blocked, to the handicapped parking space located near the entrance to Maynards Market & Kitchen.
- f) **Terms of Month to Month Parking:** All month-to-month terminable at will parking spaces provided to Hotel Congress will be charged on the same terms and conditions that that apply to all other members of the public, commencing immediately upon execution of this Agreement.
- g) **Initial Market Rent and Subsequent Rent Adjustment.**
 - i) **Depot Plaza:** The initial monthly rate for parking spaces at the Depot Plaza garage is \$65.00 per month plus tax for each space, subject to periodic review and adjustment by the City in a manner consistent with the monthly rates for other spaces in the garage.
 - ii) **Plaza Centro:** The initial monthly rate for parking spaces in the Plaza Centro garage is \$55.00 plus tax for each space, subject to periodic review and adjustment by the City in a manner consistent with the monthly rates for other spaces in the garage.

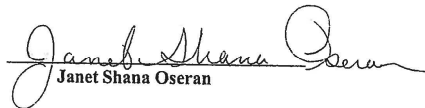
- h) **No Validations:** The City will no longer provide parking validations at no cost to Hotel Congress.
 - i) **Access Cards:** Access cards or other means or devices to obtain access to parking will be provided by the City to Hotel Congress for use in connection with parking authorized by this Agreement. Hotel Congress is responsible to pay lost card fees upon the same terms and conditions as other monthly parkers.
 - j) **Compliance with Parking Rule:** Parking rights granted by this Agreement are subject to the same rules, regulations and restrictions as apply to other persons parking in City parking facilities. Vehicles parked in violation of parking rules and regulations and restrictions will be subject to the same enforcement action as any other vehicle using City parking facilities.
 - k) **No Reserved Spaces:** No specific parking spaces may be reserved or designated by Hotel Congress, except to the extent the City in its sole discretion agrees to designate or reserve specific spaces for Hotel Congress' use in connection with the parking rights granted by this Agreement, however, the City will keep the designated number of spaces available for Hotel Congress as provided by this Agreement unless informed by Hotel Congress that it does not need the spaces.
 - l) **Term Expires in Twenty Years:** The term for the designation of long term parking spaces in Plaza Centro and Depot Plaza garages terminates no later than 20 years from the date this Agreement becomes effective, or sooner upon material breach or cancellation by Hotel Congress.
4. **Release by Congress Tap Room, Inc. dba the Hotel Congress, Hotel Congress, LLC, 311 East Congress, LLC, and Richard Oseran.**
- a) Hotel Congress hereby releases and forever discharges the City of all claims of any kind or nature whatsoever based upon the Disputes, including but not limited to claims which Congress Tap Room, Hotel Congress, LLC, or 311 East Congress, LLC, or Richard Oseran and or Janet Shana Oseran contend they may have based upon agreements, understandings or dealings with the Mayor and Council of the City of Tucson, or any employee, agent, officer, representative, or elected official of the City of Tucson, or any agency, board or entity associated with the City of Tucson.
 - b) By this release, Hotel Congress waives and releases all claims whether legal or equitable, arising from any source whatsoever related to the Disputes, including an entitlement of parking spaces from the City of Tucson and including but not limited to claims based upon a tort,

- agreement, promise, contract, statute, or any other theory of recovery and for all forms of damages, including but not limited to lost profits, costs, expenses, property damage, and including damages which presently exist but which are at this time unknown.
- c) Hotel Congress accepts the terms of this Agreement as a full and complete compromise of all matters set forth or alleged in connection with the Disputes and the Claims.
5. **Release by City:** The City hereby releases and forever discharges Hotel Congress of any and all claims, whether legal or equitable arising from any source whatsoever, related to the Disputes, including but not limited to claims for parking charges which may presently exist.
6. **Tour Buses:** The City retains authority to manage the street parking resources for the benefit of the general public including tour buses and performers. However, the City does not anticipate any change to its existing policy of accommodating tour buses or permitting a loading zone by the back door of Club Congress for freight loading and tour bus parking. The City will not allow double-parking. Hotel Congress shall give the City advance notice in the event additional tour bus parking is required. The City will seek to accommodate such additional tour bus parking in its discretion consistent with other parking requirements of the general public.
7. **Representations and Warranties.** Hotel Congress represents and warrants that:
- a) Upon execution of this Agreement, neither Hotel Congress nor any related entity or person will have a claim against the City to or for additional parking rights of any nature whatsoever in connection with the operation of Hotel Congress or a related business, including but not limited to parking spaces for tour buses, employees, performers, or visitors.
 - b) Hotel Congress has full authority to enter into this Agreement, and has not transferred, sold, assigned, conveyed, subleased, encumbered, promised or loaned to any other person or entity any of the claims it has asserted against the City in connection with the Disputes, including the rights set forth in the Claims, or any of the rights acquired by this Agreement;
 - c) No other person or entity has or has had any interest or lien in the rights related to the Disputes, asserted in the Claims or subject to this Agreement;
 - d) No person or entity other than Hotel Congress will have the right to enforce this Agreement, except to the extent an assignment has made to a purchaser of Hotel Congress as permitted in this Agreement.

- e) Richard Oseran has full and complete authority to accept the promises set forth herein and to execute this Agreement on behalf of Congress Tap Room, Inc., Hotel Congress, LLC and 311 East Congress, LLC, and himself. Except as otherwise described herein, no further consent, approval, authorization, registration, qualification, designation, declaration, or filing is required in connection with Hotel Congress' execution and delivery of this Agreement and performance of the obligations set forth herein.
8. **No Assignment:** The rights provided by this Agreement are personal to Hotel Congress and Maynards, and may only be used for the benefit of patrons, guests, customers and employees of Hotel Congress and Maynards. The rights may not be transferred, sold, assigned, conveyed, subleased, encumbered, promised or loaned to any other person or organization. Notwithstanding this provision, this Agreement may be assigned to a purchaser or assignee of the ownership interests of Congress Tap Room, Inc., Hotel Congress, LLC, and 311 East Congress, LLC, and Exhibit A may be assigned to a purchaser of Maynards.
9. **Successors and Assigns:** This Agreement contains the entire agreement with regard to the matters described herein and shall be binding upon and inure to the benefit of the executors, administrators, heirs, successors, and assigns of Hotel Congress.
10. **Additional documents and Agreements:** The City and Hotel Congress agree to complete and sign such additional documents as may be required in order to implement the parking rights granted by this Agreement, including an amendment to the Maynards Lease attached as Exhibit A to add the 13 spaces. This Agreement is subject to approval by Mayor and Council of such additional documents as may be required in order to implement the parking rights granted by this Agreement which may be presented to Mayor and Council at the time it considers approval of this Agreement pursuant to Section 2 above.
11. **Arizona Law:** This Agreement is entered into in the State of Arizona and shall be construed and interpreted in accordance with Arizona law.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the day and year set forth opposite the signatures below.

Date: 7/7/2015

 Richard Oseran:



 Janet Shana Oseran

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- 6 -


Congress Tap Room, Inc. an Arizona Corporation:

Date: 7/7/2015

By: 
 Name: Richard Oseran
 Its: President


Hotel Congress, LLC, an Arizona Limited Liability Company:

Date: 7/7/2015

By: 
 Name: Richard Oseran
 Its: Manager


311 East Congress, LLC:

Date: 7/7/2015


By: 
 Name: Richard Oseran
 Its: MANAGER

City of Tucson:

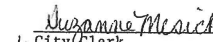
Date: July 7, 2015

By: 
 Name: Jonathan Rothschild
 Its: Mayor

APPROVED AS TO FORM:

 7/10/15
 City Attorney

ATTEST:


 for City Clerk July 7, 2015

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- 7 -

FOURTH AMENDMENT TO LEASE

THIS AMENDMENT (the "Fourth Amendment") is made this 7 day July, 2015, by and between Depot Partners, LLC, an Arizona Limited Liability Company ("Lessee"), and the City of Tucson ("Lessor").

RECITALS:

A. Economou Restaurant, LLC, an Arizona limited liability company, ("Assignor") and the City of Tucson (the "Lessor"), entered into that certain Lease dated June 8, 2005 in Ordinance #10161 dated June 7, 2005 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on June 10, 2005 (the "Lease") pursuant to which Assignor leased from Lessor approximately four thousand thirty-one square feet (4,031 s.f.) of the Historic Train Depot located at 400 North Toole Avenue, Suites 104, 105, and 202 (the "Premises") for the expressed purpose of opening a restaurant establishment.

B. Assignor and Lessee entered into as Assignment and Assumption Agreement concerning Assignor's lessee interest in the Lease, in Ordinance #10471 dated October 23, 2007 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on October 23, 2007 (the "Agreement").

C. Lessor and Lessee entered into a First Amendment to Lease ("First Amendment") in Ordinance #10471 dated October 23, 2007 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on October 23, 2007.

D. Lessor and Lessee entered into a Second Amendment to Lease ("Second Amendment") in Ordinance #10517 dated April 8, 2008 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on April 11, 2008.

E. Lessor and Lessee entered into a Third Amendment to Lease ("Third Amendment") in Ordinance #10708 dated September 9, 2009 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on September 9, 2009.

F. Pursuant to paragraph 21 of the Lease, twenty (20) parking spaces are designated for use only by Lessee and Lessee's invitees.

G. Those twenty (20) spaces are located east of the leased property. Thirty-three (33) total parking spaces exist in that location ("Parking Area").

H. In the First Amendment to the Lease dated October 23, 2007, the parties agreed to a partial modification in paragraph 21, allowing Lessor the right to permit public parking during those hours that the Lessee is not open or otherwise using the designated spaces. Lessor has placed metered parking on those twenty (20) spaces.

I. Lessor and the Hotel Congress, LLC, an Arizona Limited Liability Company, Congress Tap Room, Inc., an Arizona Corporation and 311 East Congress, LLC, an Arizona Limited Liability Company (collectively the "Hotel Congress") have resolved certain disputes between the Lessor and the Hotel Congress regarding parking spaces for the Hotel Congress' overnight guests.

J. The Parking Area is depicted in Exhibit D to the Mutual Settlement and Release Agreement.

K. Lessee and the Hotel Congress have common ownership.

L. The Lessor intends to lease to Lessee those additional thirteen (13) spaces in the Parking Area for the benefit of the Lessee and the Hotel Congress, pursuant to the terms and conditions of this Fourth Amendment.

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency which are hereby acknowledged, it is agreed as follows.

AMENDMENT TO THE ORIGINAL LEASE AGREEMENT,
THE FIRST AMENDMENT, THE SECOND AMENDMENT
AND THE THIRD AMENDMENT

1. Lessor and Lessee agree that Paragraph 21 of the Lease and Paragraph 10 of the First Amendment are partially modified hereby and to add the following language at the end of Paragraph 21 of the Lease: "In addition to the twenty (20) dedicated parking spaces, Lessee shall have the exclusive right to the additional thirteen (13) parking spaces located in the Parking Area. The parties acknowledge that the lease payments required under the Lease constitute consideration for the Lease and its amendment entitling Lessee to exclusive use of an additional 13 parking spaces in the Parking Area. It is specifically intended that those thirteen (13) parking spaces will be utilized by the Hotel Congress for its business use. If requested, Lessor shall remove parking meters from those thirteen (13) spaces. As to the 20 spaces already included in the existing Lease, Lessee agrees that those 20 spaces will continue to be metered, and when available for public parking the current arrangement under which the City retains the meter revenue and authority to enforce will remain in place. In the event the Maynards Lease is terminated, the Hotel Congress shall have the right to lease the thirteen (13) spaces at market rate for twenty (20) years from the date of the Settlement Agreement between the Lessor and the Hotel Congress, as long as Hotel Congress exercises that right within 60 days of the date of the termination of the Lease. The Hotel Congress parking rights shall survive the termination or expiration of this Lease. Invitees of the Hotel Congress may use the twenty (20) dedicated parking spaces when not required for Lessee's business use and Lessee shall have the right to control parking lot access when (a) needed for special events; (b) Lessee is using valet parking; or (c) Lessee requires exclusive use of its parking spaces. The Hotel Congress is expressly made a third party beneficiary of the foregoing rights.

2. All other terms, conditions and covenants of each Lease, the First Amendment, the Second Amendment and the Third Amendment, unless herein amended, shall apply through the expiration of the each Lease, First Amendment, Second Amendment, Third Amendment and this Fourth Amendment.

LESSEE:

Depot Partners, LLC, and Arizona limited liability company

By: *Richard Oseran*
Richard Oseran, Manager

Date: 7/7/2015

LESSEE:

City of Tucson, an Arizona municipal corporation

By: *John K. H. [Signature]*
Mayor, on behalf of Mayor and Council

Date: 7/7/2015

ATTEST:

Assume Maish
City Clerk July 7, 2015

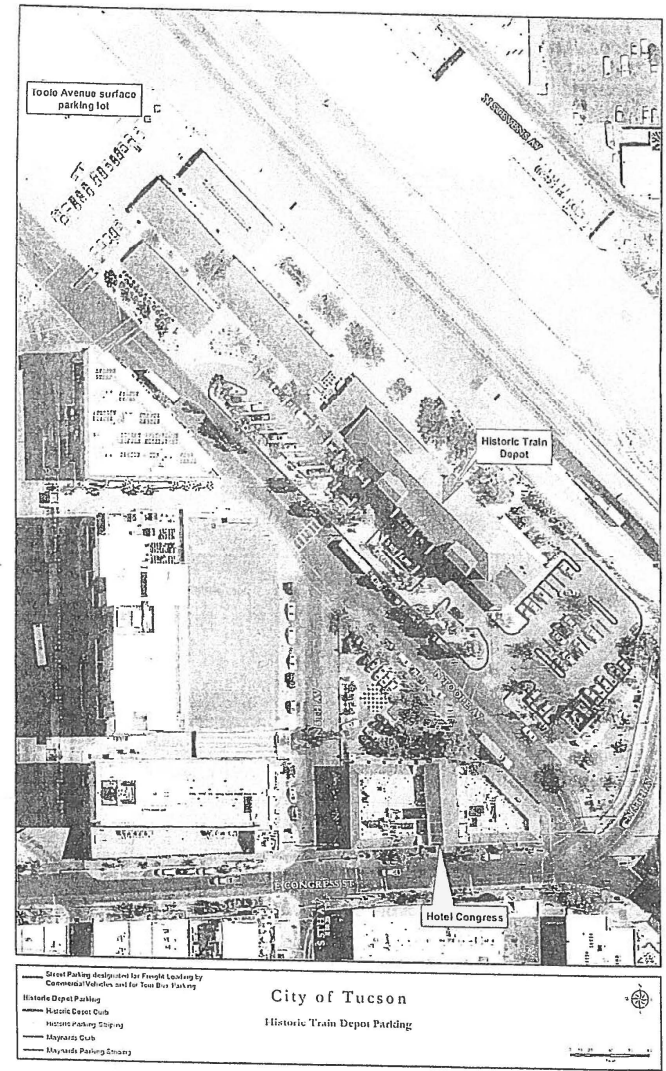


Exhibit B to Exhibit 1 to Resolution 22429

FOURTH AMENDMENT TO LEASE

THIS AMENDMENT (the "Fourth Amendment") is made this 7 day of July, 2015, by and between Depot Partners, LLC, an Arizona Limited Liability Company ("Lessee"), and the City of Tucson ("Lessor").

RECITALS:

A. Economou Restaurant, LLC, an Arizona limited liability company, ("Assignor") and the City of Tucson (the "Lessor"), entered into that certain Lease dated June 8, 2005 in Ordinance #10161 dated June 7, 2005 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on June 10, 2005 (the "Lease") pursuant to which Assignor leased from Lessor approximately four thousand thirty-one square feet (4,031 s.f.) of the Historic Train Depot located at 400 North Toole Avenue, Suites 104, 105, and 202 (the "Premises") for the expressed purpose of opening a restaurant establishment.

B. Assignor and Lessee entered into an Assignment and Assumption Agreement concerning Assignor's lessee interest in the Lease, in Ordinance #10471 dated October 23, 2007 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on October 23, 2007 (the "Agreement").

C. Lessor and Lessee entered into a First Amendment to Lease ("First Amendment") in Ordinance #10471 dated October 23, 2007 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on October 23, 2007.

D. Lessor and Lessee entered into a Second Amendment to Lease ("Second Amendment") in Ordinance #10517 dated April 8, 2008 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on April 11, 2008.

E. Lessor and Lessee entered into a Third Amendment to Lease ("Third Amendment") in Ordinance #10708 dated September 9, 2009 and accepted and signed by the City of Tucson Clerk's Office on behalf of the Mayor and Council on September 9, 2009.

F. Pursuant to paragraph 21 of the Lease, twenty (20) parking spaces are designated for use only by Lessee and Lessee's invitees.

G. Those twenty (20) spaces are located east of the leased property. Thirty-three (33) total parking spaces exist in that location ("Parking Area").

H. In the First Amendment to the Lease dated October 23, 2007, the parties agreed to a partial modification in paragraph 21, allowing Lessor the right to permit public parking during those hours that the Lessee is not open or otherwise using the designated spaces. Lessor has placed metered parking on those twenty (20) spaces.

Exhibit A to Exhibit 1 to Resolution
22429

I. Lessor and the Hotel Congress, LLC, an Arizona Limited Liability Company, Congress Tap Room, Inc., an Arizona Corporation and 311 East Congress, LLC, an Arizona Limited Liability Company (collectively the "Hotel Congress") have resolved certain disputes between the Lessor and the Hotel Congress regarding parking spaces for the Hotel Congress' overnight guests.

J. The Parking Area is depicted in Exhibit D to the Mutual Settlement and Release Agreement.

K. Lessee and the Hotel Congress have common ownership.

L. The Lessor intends to lease to Lessee those additional thirteen (13) spaces in the Parking Area for the benefit of the Lessee and the Hotel Congress, pursuant to the terms and conditions of this Fourth Amendment.

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency which are hereby acknowledged, it is agreed as follows.

**AMENDMENT TO THE ORIGINAL LEASE AGREEMENT,
THE FIRST AMENDMENT, THE SECOND AMENDMENT
AND THE THIRD AMENDMENT**

I. Lessor and Lessee agree that Paragraph 21 of the Lease and Paragraph 10 of the First Amendment are partially modified hereby and to add the following language at the end of Paragraph 21 of the Lease: "In addition to the twenty (20) dedicated parking spaces, Lessee shall have the exclusive right to the additional thirteen (13) parking spaces located in the Parking Area. The parties acknowledge that the lease payments required under the Lease constitute consideration for the Lease and its amendment entitling Lessee to exclusive use of an additional 13 parking spaces in the Parking Area. It is specifically intended that those thirteen (13) parking spaces will be utilized by the Hotel Congress for its business use. If requested, Lessor shall remove parking meters from those thirteen (13) spaces. As to the 20 spaces already included in the existing Lease, Lessee agrees that those 20 spaces will continue to be metered, and when available for public parking the current arrangement under which the City retains the meter revenue and authority to enforce will remain in place. In the event the Maynard's Lease is terminated, the Hotel Congress shall have the right to lease the thirteen (13) spaces at market rate for twenty (20) years from the date of the Settlement Agreement between the Lessor and the Hotel Congress, as long as Hotel Congress exercises that right within 60 days of the date of the termination of the Lease. The Hotel Congress parking rights shall survive the termination or expiration of this Lease. Invitees of the Hotel Congress may use the twenty (20) dedicated parking spaces when not required for Lessee's business use and Lessee shall have the right to control parking lot access when (a) needed for special events; (b) Lessee is using valet parking; or (c) Lessee requires exclusive use of its parking spaces. The Hotel Congress is expressly made a third party beneficiary of the foregoing rights.

2. All other terms, conditions and covenants of each Lease, the First Amendment, the Second Amendment and the Third Amendment, unless herein amended, shall apply through the expiration of the each Lease, First Amendment, Second Amendment, Third Amendment and this Fourth Amendment.

LESSEE:

Depot Partners, L.L.C. and Arizona limited liability company

By: [Signature]
Richard Cseran, Manager

Date: 7/7/2015

LESSEE:

City of Tucson, an Arizona municipal corporation

By: [Signature]
Mayor, on behalf of Mayor and Council

Date: 7/7/2015

ATTEST:

[Signature]
City Clerk July 7, 2015

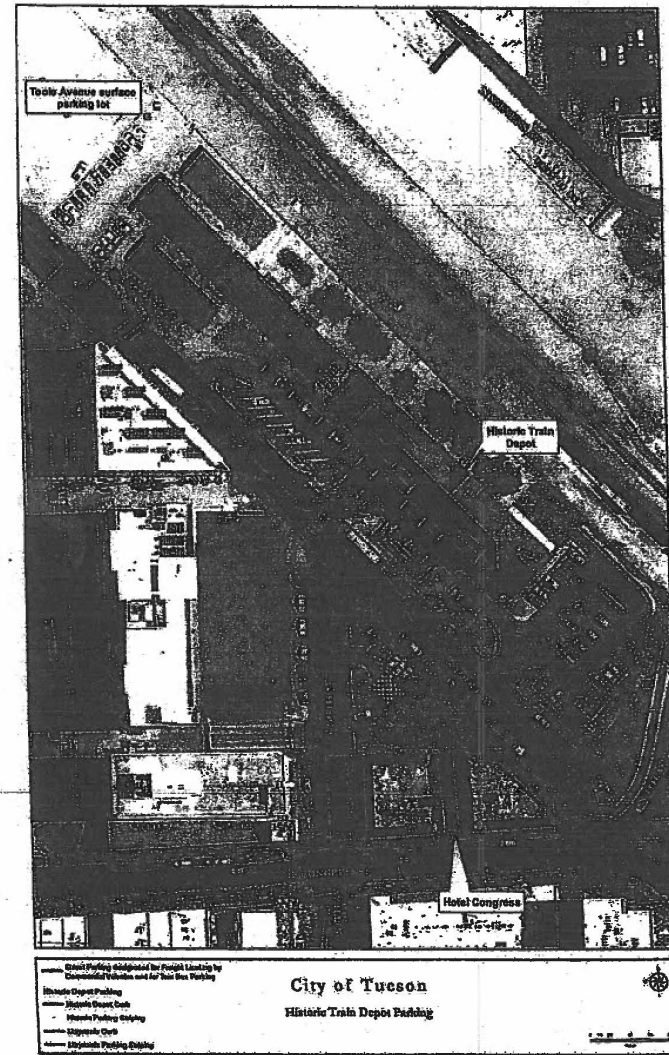
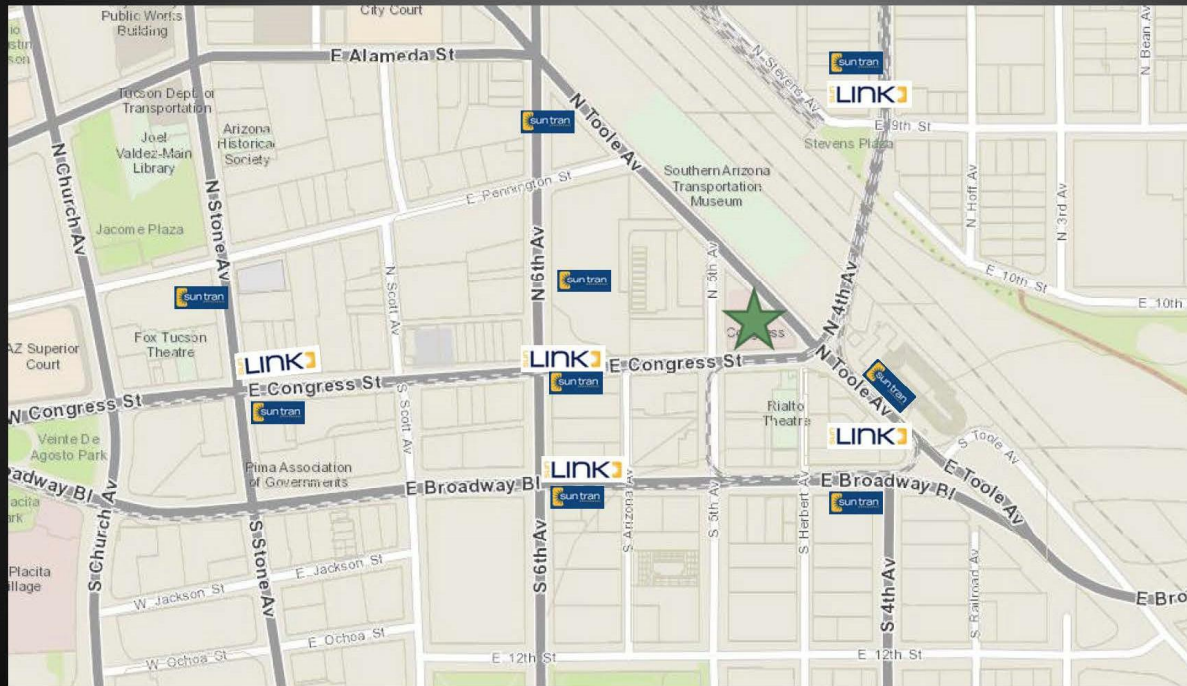


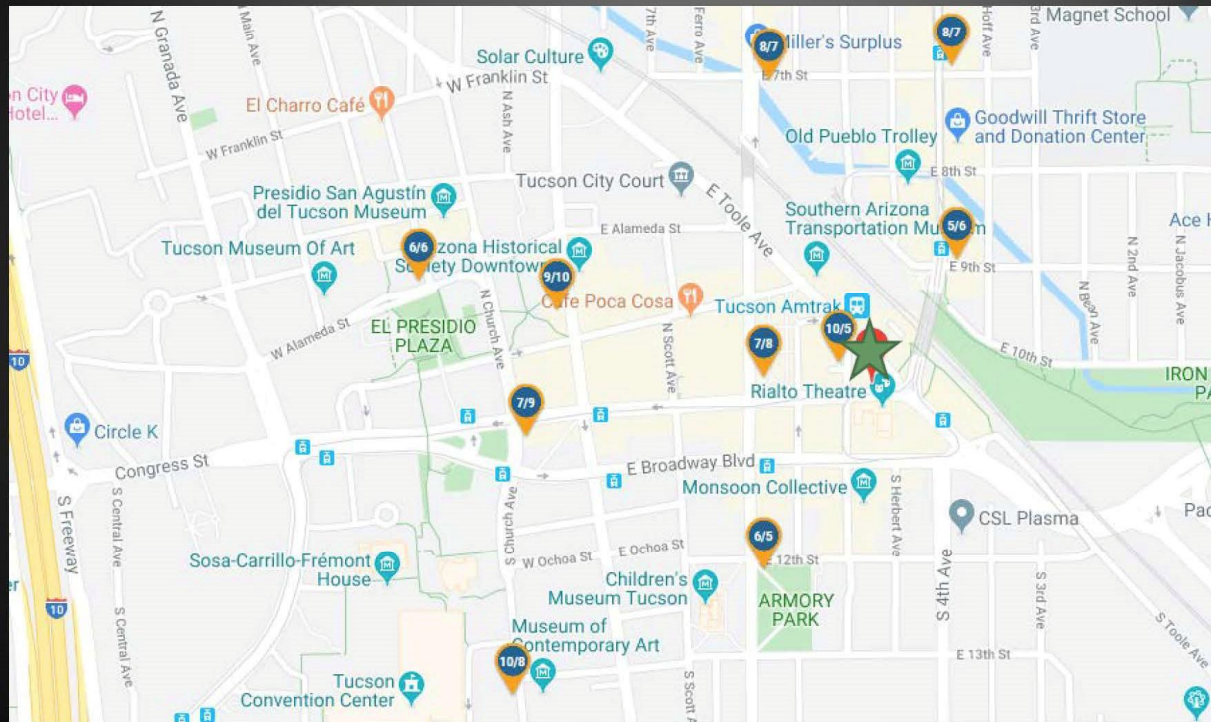
Exhibit B to Exhibit 1 to Resolution 22429

STREET CAR & BUS STATION PROXIMITY

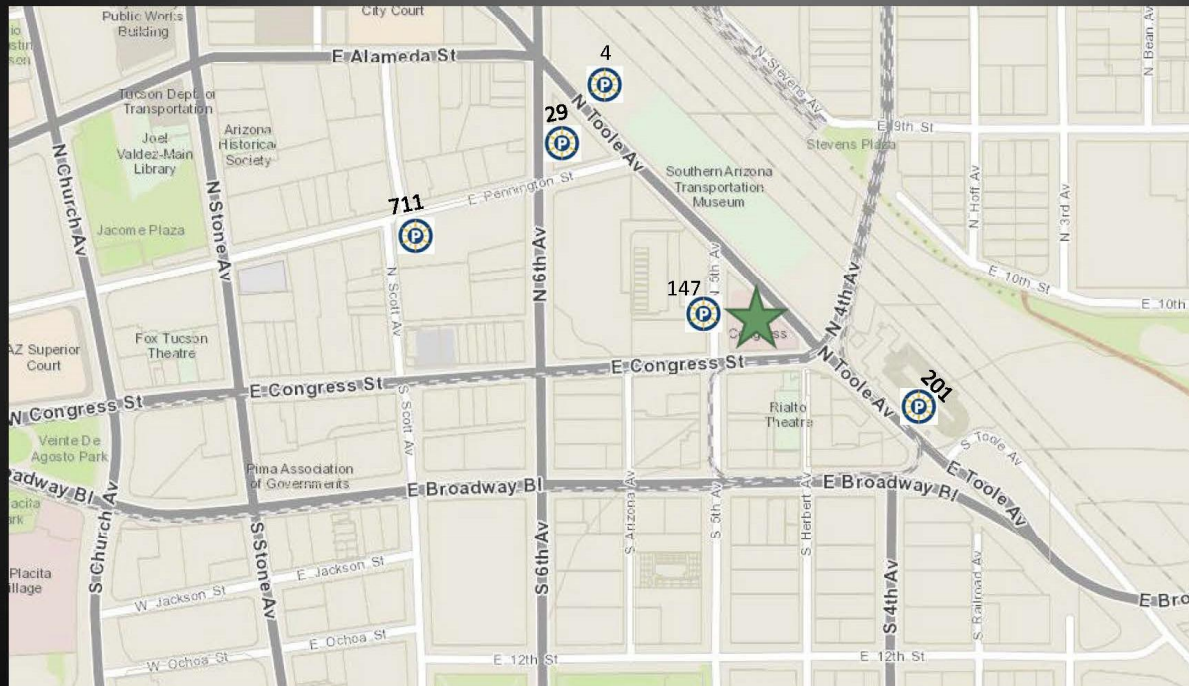


CYPRESS

BIKE SHARE MAP



PUBLIC PARKING FACILITIES



Invitation to Neighborhood Meeting



10 OCTOBER 2019

Re: Hotel Congress / 311 E Congress, Parcel 117-06-166B, Activity #DP19-0190, IID-19-08

Date: Tuesday, October 29th
Time: 5:30pm
Meeting Location: 311 E Congress
Project Location: 311 E Congress
Proposal: A Outdoor Stage & associated Storage & Restrooms
Infill Incentive District zoning options and Individual Parking Plan

This IID application is intended to provide the proposed tenant, Hotel Congress, with relief from the current requirements for building setbacks, landscape, trash / solid waste recycling, and parking for their tenant improvement and site work located at 311 E Congress. We will further discuss parking as it relates to the Individual Parking Plan (IPP). The purpose of the IPP is to review the existing and potential parking impacts of the development on the surrounding parking facilities.

Hotel Congress is a locally owned and operated business that has anchored the east end of downtown Tucson for decades and is an asset to the local community. It's past success and future flourishing is partly due to the hotel's ability to adapt and evolve with the community. Several years ago, a temporary stage structure was placed on the north end of the hotel's courtyard. This has provided guests and the community with live outdoor entertainment on a regular basis and the success has prompted the ownership to pursue a permanent stage structure & storage room in its place.

Meeting Agenda

1. Introductions
2. Discussion Points
 - Project Overview
 - IID Modifications:
 - + Building Setback
 - + Trash / Recycling
 - + Parking / Individual Parking Plan (IPP)
3. Questions and Answers

For questions regarding this invitation or the neighborhood meeting contact Rick McLain 520.791.7035 or email at rick@reppmclain.com. Comments on this application may also be submitted directly to Planning and Development Services through Maria Gayosso at maria.gayosso@tucsonaz.gov or 520-837-6972.

Sincerely,
Rick McLain

Invitation to Neighborhood Meeting



Location Map



NEIGHBORHOOD MEETING SUMMARY



29 OCTOBER 2020

HOTEL CONGRESS – NEW STAGE

311 East Congress Street

Tucson AZ 85701

Meeting Date: 29 October 2019

Meeting Duration: 5:30PM

Location: 311 East Congress Street

Parcel 117-06-166B, Development Plan DP19-0190, IID-19-08

IID + IPP NEIGHBRHOOD MEETING SUMMARY

Repp McInain Design and Construction, Cypress Civil Engineering, and the Hotel Congress Ownership were the only people in attendance. Please reference the sign-in sheet.

INDIVIDUAL PARKING PLAN

- REQUIRED # OF SPACES (ON-SITE)
 - UDC
 - 1 Space per Hotel Room (39 Hotel Rooms)
 - 1 Space per 300 square feet of indoor entertainment use (10,512 sq ft)
 - 1 Space per 300 square feet of outdoor patio use (8,165 sq ft)
 - Total Required = 101 Spaces (without IID)
 - IID 25% Reduction = 25 spaces
 - Total Required = 76 Spaces (with IID)

- EXISTING # OF SPACES (ON-SITE)
 - Total Existing = 12 Spaces – not utilized for parking

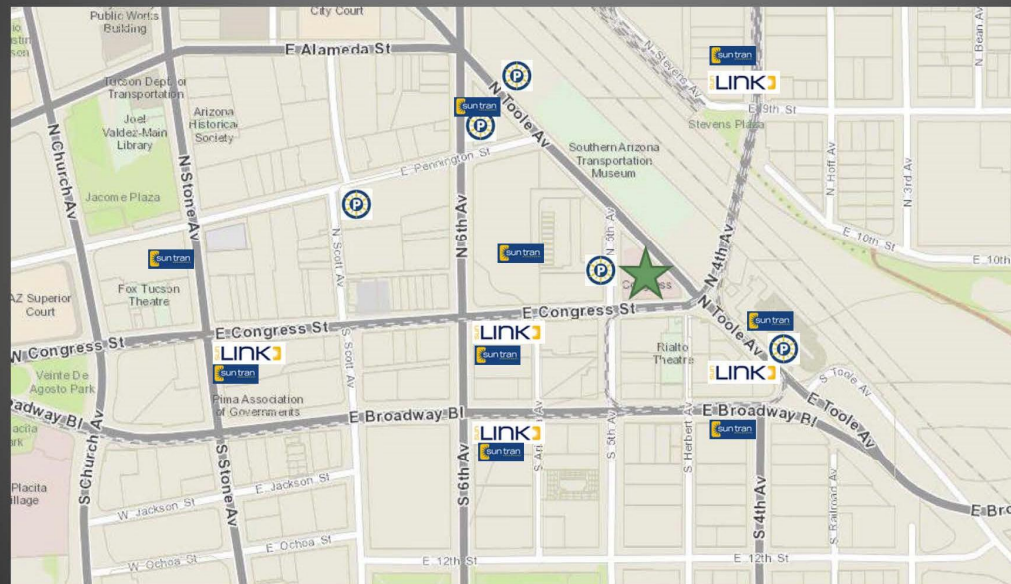
CYPRESS

INDIVIDUAL PARKING PLAN

- PROVIDED # OF SPACES (ON-SITE)
 - Total Provided = 0 Spaces
 - IPP Relief Request = 76 Spaces
- PUBLIC TRANSIT/PUBLIC GARAGES/PUBLIC PARKING/BIKE SHARE
 - 3 Public Garages within approximately one-quarter mile
 - 5 Light Rail Stops within approximately one-quarter mile
 - 9 Bus Stops within approximately one-quarter mile
 - 338 Metered Parking Spaces within approximately one-quarter mile
 - 2 Public Surface Parking Lots within approximately one-quarter mile
 - 4 TUGO Bike Stations within approximately one-quarter mile

CYPRESS

PUBLIC PARKING AND TRANSIT MAP



CYPRESS



CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on 10/10/2019
(date of mailing)

for the neighborhood meeting to be held on 10/29/2019
(date of neighborhood meeting)

Clara-Jane Johnston
(signature of applicant/applicant's agent)

10/16/2019
(date signed)

Documentation if available (such as receipt)

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 Mike McGary
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 Jonathan Rothschild
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 255 N Alameda St
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 Columbus OH 43215-1061
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Sent To
 Street and Apt. No., or PO Box No.
 21 East Congress
 31 E Congress St
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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Lenor Glover
 PO Box 42825
 Tucson AZ 85733
 City, State, ZIP+4®

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Diana Left
 1309 N 1st Ave
 Tucson AZ 85719
 City, State, ZIP+4®

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 City of Tucson Attn Tucson Power Res LLC
 402 of Ace Park Dr Ste 199
 Mountain View AZ 85723-2435
 City, State, ZIP+4®

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 City of Tucson Real Estate div Attn Chevi Fund
 2814 Maple Ave
 Dallas TX 75219-3913
 City, State, ZIP+4®

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Mac Arthur-Tucson LLC
 415 E Poole Ave
 Tucson AZ 85701-1823
 City, State, ZIP+4®

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Angela Quinoz
 415 E 22nd St
 Tucson AZ 85713
 City, State, ZIP+4®

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Mike Delich
 702 N Cortzen Ave
 City, State, ZIP+4®
 Tucson AZ 85705

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Erika Mithik
 121 N Euclid
 City, State, ZIP+4®
 Tucson AZ 85719

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 City of Tucson Real Estate div Attn: Chiriac
 3819 Maple Ave
 City, State, ZIP+4®
 Dallas TX 75219-3913

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 City of Tucson Real Estate div Attn: Werner
 5727 N 7th St Ste 407
 City, State, ZIP+4®
 Phoenix AZ 85014-5818

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Yolanda Quiroz
 410 E 22nd St
 City, State, ZIP+4®
 Tucson AZ 85713

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Scott Egan
 1409 N Niagara St
 City, State, ZIP+4®
 Tucson AZ 85745

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Roger Becksted
 1010 E 20th St
 City, State, ZIP+4®
 Tucson AZ 85719

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Letta Gonzales
 473 S Elias
 City, State, ZIP+4®
 Tucson AZ 85707

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 City of Tucson Real Estate div Attn: Gibson
 5211 N Calle La Cima
 City, State, ZIP+4®
 Tucson AZ 85718-4808

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Paul Horwith
 1025 S Santa Rita Ave
 City, State, ZIP+4®
 Tucson AZ 85719

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Sky Jacobs
 PO Box 508
 City, State, ZIP+4®
 Tucson AZ 85702

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To
 Street and Apt. No., or PO Box No.
 Paul Durham
 1510 East Gram
 City, State, ZIP+4®
 Tucson AZ 85719

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Steve Kozachuk**
 Street and Apt. No., or PO Box No. **5202 E 1st St**
 City, State, ZIP+4® **Tucson AZ 85716**

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Josefina Gardens**
 Street and Apt. No., or PO Box No. **902 W 2nd St**
 City, State, ZIP+4® **Tucson AZ 85745**

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Tod Santee**
 Street and Apt. No., or PO Box No. **101 S 2nd Ave**
 City, State, ZIP+4® **Tucson AZ 85701**

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Richard Fimbres**
 Street and Apt. No., or PO Box No. **4300 S Park Ave**
 City, State, ZIP+4® **Tucson AZ 85714**

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Maria Cadava**
 Street and Apt. No., or PO Box No. **416 N 1st Ave**
 City, State, ZIP+4® **Tucson AZ 85705**

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Nicole Gonzales**
 Street and Apt. No., or PO Box No. **323 W 19th St**
 City, State, ZIP+4® **Tucson AZ 85701**

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Certified Mail Fee \$
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **John Burr**
 Street and Apt. No., or PO Box No. **PO Box 2132**
 City, State, ZIP+4® **Tucson AZ 85702**

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Kathy Bell**
 Street and Apt. No., or PO Box No. **1322 N 4th Ave**
 City, State, ZIP+4® **Tucson AZ 85705**

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **City of Tucson**
 Street and Apt. No., or PO Box No. **PO Box 27210**
 City, State, ZIP+4® **Tucson AZ 85726-7210**

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **George Kall**
 Street and Apt. No., or PO Box No. **101 W Highland**
 City, State, ZIP+4® **Tucson AZ 85719**

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Raul Ramirez**
 Street and Apt. No., or PO Box No. **193 N Brighton Dr**
 City, State, ZIP+4® **Tucson AZ 85745**

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 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$
 Total Postage and Fees \$

Sent To: **Matthew Bautista**
 Street and Apt. No., or PO Box No. **530 S Star Av**
 City, State, ZIP+4® **Tucson AZ 85711**

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7019 0700 0001 1412 8614

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Yolanda Gonzales
 Street and Apt. No., or PO Box No.
 826 S Alamo
 Tucson AZ 85710
 City, State, ZIP+4®
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7019 0700 0001 1412 8614

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 One North Fifth LLC
 Street and Apt. No., or PO Box No.
 240 W Moore Rd
 Tucson AZ 85755-8390
 City, State, ZIP+4®
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7019 0700 0001 1412 8614

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Judy Sensibar
 Street and Apt. No., or PO Box No.
 PO Box 42825
 Tucson AZ 85733
 City, State, ZIP+4®
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7019 0700 0001 1412 8935

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Liza Grant
 Street and Apt. No., or PO Box No.
 616 N Congress St
 Tucson AZ 85745
 City, State, ZIP+4®
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7019 0700 0001 1412 8463

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Pat Homan
 Street and Apt. No., or PO Box No.
 850 E 7th St
 Tucson AZ 85714
 City, State, ZIP+4®
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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For delivery information, visit our website at www.usps.com™.

7019 0700 0001 1412 8973

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Regina Romero
 Street and Apt. No., or PO Box No.
 440 N Alameda St
 Tucson AZ 85745
 City, State, ZIP+4®
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For delivery information, visit our website at www.usps.com™.

7019 0700 0001 1412 8997

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Congress St Partners LLC
 Street and Apt. No., or PO Box No.
 405 E Potters Wheel Ct
 Tucson AZ 85704-6942
 City, State, ZIP+4®
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For delivery information, visit our website at www.usps.com™.

7019 0700 0001 1412 8980

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Anne Cooper
 Street and Apt. No., or PO Box No.
 PO Box 2132
 Tucson AZ 85712
 City, State, ZIP+4®
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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For delivery information, visit our website at www.usps.com™.

7019 0700 0001 1412 8898

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To
 Margaret Bly
 Street and Apt. No., or PO Box No.
 PO Box 42825
 Tucson AZ 85733
 City, State, ZIP+4®
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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7019 0700 0001 1412 8880

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

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 Jenne Mullins
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10/11/2019

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10/11/2019

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DESIGN AND CONSTRUCTION

USPS eReceipt
1 message

DoNotReply@ereceipt.usps.gov <DoNotReply@ereceipt.usps.gov>
To: CJ@reppmcclain.com



Product	Qty	Unit Price	Price
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Certified (USPS Certified Mail #) (7019070000114128904)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85714) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (7019070000114128904)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85701) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (7019070000114128744)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85705) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (7019070000114128737)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85719) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (7019070000114128652)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85705) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (7019070000114128629)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85745) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (7019070000114128645)			\$3.50

First-Class Mail® Letter (Domestic) (TUCSON, AZ 85702) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (7019070000114128621)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85716) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219295)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85702) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219202)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85713) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219219)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85719) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219226)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85719) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219301)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85702) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219097)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85701) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219110)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85718) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified (USPS Certified Mail #) (70190160000116219318)			\$3.50
First-Class Mail® Letter (Domestic) (TUCSON, AZ 85701) (Weight: 0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019)	1	\$0.55	\$0.55
Certified			\$3.50

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

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Total Postage and Fees \$

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City of Tucson AltH Tucson Properties LLC
Street and Apt. No., or PO Box No.
401 Office Park Dr Ste 199
City, State, ZIP+4®
Mountain Brk AZ 85223-2435

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1400 Douglas St Stop 1640
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Total Postage and Fees \$

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Rahway NJ 07065-0101

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(Domestic) (TUCSON, AZ 85704) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190700000114128997)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85701) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190160000116219028)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85719) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190700000114128942)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85701) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190700000114129017)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85733) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190700000114128986)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85713) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190700000114128881)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85719) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190700000114128874)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (BIRMINGHAM, AL 35223) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Tuesday 10/15/2019) Certified (USPS Certified Mail #) (70190160000116219073)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85701) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190160000116219059)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85701) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190160000116219042)		\$3.50	

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First-Class Mail® (Domestic) (TUCSON, AZ 85701) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190160000116219035)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (TUCSON, AZ 85745) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Saturday 10/12/2019) Certified (USPS Certified Mail #) (70190700000114129048)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (DALLAS, TX 75219) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Tuesday 10/15/2019) Certified (USPS Certified Mail #) (70190160000116219196)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (OMAHA, NE 68179) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Tuesday 10/15/2019) Certified (USPS Certified Mail #) (70190160000116219165)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (RANDSBURG, CA 93554) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Tuesday 10/15/2019) Certified (USPS Certified Mail #) (70190160000116219189)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (COLUMBUS, OH 43215) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Tuesday 10/15/2019) Certified (USPS Certified Mail #) (70190700000114128577)	1	\$0.55	\$0.55
First-Class Mail® (Domestic) (BIRMINGHAM, AL 35223) (Weight:0 Lb 0.50 Oz) (Estimated Delivery Date) (Tuesday 10/15/2019) Certified (USPS Certified Mail #) (70190160000116219288)	1	\$0.55	\$0.55
Total:		\$259.20	
Credit Card Remitd (Card Name:VISA) (Account #XXXXXX9315) (Approval #09435G) (Transaction #656) (AID:A000000031010 Chip) (AL:VISA CREDIT) (PIN:Not Required)		\$259.20	
Text your tracking number to 28777 (2USPS) to get the latest status. Standard Message and Data rates may apply. You may also visit www.usps.com			

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Clerk ID: 29
Receipt #: 840-58520168-3-3226893-2
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HISTORIC DESIGN REVIEW (HPZ or HL) FACT SHEET

Introduction – Historic design review is required for all projects involving exterior changes (front, side or rear) to properties with Historic Preservation Zone (HPZ) or Historic Landmark (HL) zoning. This review is intended to ensure that any changes are compatible with the historic character of the property and/or surrounding historic district.

Design Review Process Overview – Permits for exterior work within HPZ or HL properties will not be issued without an approval letter from the Director of Planning and Development Services (PDSD). Work that does not require a permit, but that will alter the appearance of a property, also requires an approval letter from the PDSD Director. Historic design review is intended to be conducted early in the planning process, prior to the completion of final project plans. Only exterior drawings and photographs are required at this stage. Allow for review time of up to 45 working days for Minor review or up to 60 working days for Full review.

All projects are required to follow the city's HPZ process outlined in the Unified Development Code (UDC), Section 5.8. Projects are also evaluated using applicable historic design guidelines for the HPZ or HL to determine the project's effect on the historic character of the property and/or district.

Pre-Application Meeting – In order to obtain a historic review, contact PDSD staff to schedule a pre-application meeting with one of the historic preservation planners. At this meeting, the planner will discuss the proposed project with you, explain the historic design review process, provide instructions for filing an application, and inform you of any necessary submittal materials. Applicants are encouraged to ask questions about design, materials, placement or other details with the goal of meeting all UDC requirements for historic properties. At this meeting the planner will also determine whether your project requires a Full or Minor historic design review.

Minor HPZ Review - A Minor HPZ review is conducted for projects such as electrical box repairs/upgrades, solar panels, walls, fences, gates and window and door repair/restoration work (UDC Section 8.8.8.C). Your historic preservation planner will organize a meeting with a member of the Tucson-Pima County Historic Plans Review Subcommittee and a member from the applicable Historic Preservation Zone Advisory Board (if applicable). A review is conducted on-site with the applicant present, and recommendations are forwarded to the PDSD Director. The Director issues a decision letter to the applicant in approval or denial of the project. Total fees for this process are \$126.50.

Full HPZ Review - A Full HPZ Review is required for grading or erection of a new structure, construction or enlargement of a parking lot, and any alteration involving the modification, addition, or moving of any part of the existing structure (including signs) that would affect the exterior appearance (UDC Section 5.8.8.B). Full review requires that the applicant attend a meeting with the appropriate Historic Preservation Zone Association Advisory Board and present the proposal. The applicant then attends a second meeting to present the case to the Tucson-Pima County Historical Commission Plans Review Subcommittee. Recommendations from both review boards are then forwarded to the PDSD Director for consideration and decision. Total fees for this process are \$192.50.

Resident Artisans Retail in HPZ's - Retail sales by resident artisans may be permitted notwithstanding limitations of the underlying zoning standards. A proposed resident artisan use is reviewed and considered for approval in accordance with Section 3.3.4, 50' Notice Procedure. A resident artisan use may be allowed as an accessory use to a principal residential in accordance with the following standards listed in UDC Section 5.8.4.B. Total fees for this process are \$99.50.

TIPS FOR HISTORIC DESIGN REVIEW APPLICANTS:

1. Review all applicable historic design standards in UDC 5.8 and TSM 9-02 prior to submitting an application.

<https://www.tucsonaz.gov/pdsd/all-codes-plans-determinations>

2. Review all Design Guidelines for the applicable Historic Preservation Zone.

<https://www.tucsonaz.gov/preservation/city-historic-designations-and-design-review>

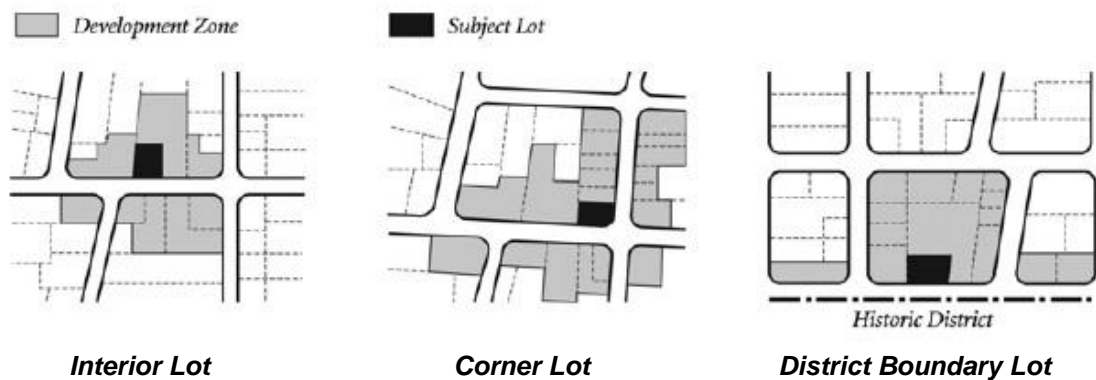
3. Review the Secretary of Interior Standards for Rehabilitation of Historic Buildings (for modifications or additions to historic buildings).

<https://www.nps.gov/tps/standards/rehabilitation.htm>

4. Ask about Historic Advisory Board or Plans Review Subcommittee courtesy reviews for projects prior to submission of a permit application.

5. Submit plans as hard copies and digital (PDF) files.

6. Know your Development Zone.



7. Prepare to explain how the proposed construction is compatible with contributing properties within the Development Zone in regards to the Design Standards listed below. Provide addresses, measurements (i.e. dimensions of buildings, setbacks,) and photos of precedent contributing structures.

- Building Height Compatibility
- Building Form
- Setbacks
- Rhythm
- Proportion
- Color
- Roof Type
- Landscaping
- Surface Texture
- Enclosures
- Site Utilization
- Utilities
- Projections and Recessions
- Details



HISTORIC PRESERVATION REVIEW APPLICATION

Date Submitted: 2020.01.03

PDS Activity Number: DP19-0190

HPZ Case Number: _____

Property Development Name: Hotel Congress - new stage

Property Address: 311 East Congress Street

Pima County Assessor Parcel Number(s): 117 - 06 - 166B

HPZ: Armory Park Barrio Historico El Presidio Fort Lowell West University

Applicant Name: repp mclain design + construction Owner Architect/Designer Other

Applicant Address: 2501 NORTH 1ST AVENUE

City/State/Zip: TUCSON / ARIZONA / 85719

Phone: 520.791.7035 Email: jenni@reppmclain.com


Property Owner Name: Todd Hanley

Property Owner Phone: (520) 622-8848

Property Owner Email: todd@hotelcongress.com

Description of Use (if Resident Artisan): Hotel use with entertainment use

Signature of Owner: _____

Signature of Applicant (if not owner):  _____ 2020.01.03

PROPOSED NEW CONSTRUCTION or ALTERATION

Existing Site including existing Hotel Congress 12,810 SF (building footprint) and existing Courtyard 6,455 SF. New Stage 1,040 SF and New Restroom Building 223 SF over existing courtyard area, no additional courtyard square footage proposed.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



HISTORIC PRESERVATION REVIEW APPLICATION

Site Plan and Elevations

- Plans must be dated.
- Include the proposed layout of all structures and other improvements including: driveway, pedestrian ways, existing landscape features, proposed landscape areas, walls and fences, off-street parking and loading areas.
- Indicate the location of property lines, public right-of-ways, property entrances and exits, direction of traffic flow in and out of the off-street parking and loading areas, location of each parking space, each loading berth, and areas for turning and maneuvering vehicles.
- Plans and elevations must be drawn or sketched to scale with relevant dimensions labeled.
- Include specifications as to type, color and texture of exterior of proposed structures.
- Interior floor plans are not required for historic design review unless they show features that will be visible from the exterior.

Development Zone

- On aerial photograph, label subject parcel and all outline all parcels within development zone.

Signs

- Include a sign plan, drawn to scale showing the location, size design, materials, color, lettering and methods of attachment and illumination.

All projects must **FIRST** be submitted for site review at the PDSD, 1st floor Zoning Review counter, 201 North Stone Avenue (791-5550). PDSD staff will review the application and identify all portions of the UDC with which compliance is required. The applicant will be provided with a written report identifying any additional requirements.

If historic design review is required, contact Lead Planner Michael Taku (520-837-4963) to initiate the process.

I HAVE RECEIVED ALL RELATED DOCUMENTATION TO THIS "HISTORIC PRESERVATION ZONE" APPLICATION, SEC 5.8 OF THE CITY OF TUCSON UNIFIED DEVELOPMENT CODE, TECHNICAL STANDARD 9-02 0.0 AND DESIGN REVIEW GUIDELINES FOR THE HPZ TO WHICH THIS APPLICATION APPLIES.

Applicant: _____

Date: 2020.01.03

HPZ Application Cover Sheet and Checklist

Planning & Development Services Department, City of Tucson

HPZ Case No. _____ Date Accepted: _____

Activity No. DP19-0190 Site Address: 311 East Congress Street

HPZ: Armory Park Barrio Historico El Presidio Fort Lowell West University

Historic Status: Contributing Non-Contributing Vacant

Applicant Name: repp mclain design + construction Owner Architect/Designer Other:

Owner (if different): Todd Hanley

Brief Description of Proposed Work: Proposed new exterior stage and new restroom building within exiting courtyard.

Type of Review: Full Minor Rio Nuevo Area Infill Incentive District

Development Zone: Interior Lot Corner Lot Historic District Boundary Lot

HZAB and/or PRS courtesy review(s) conducted prior to application submission? Yes No

HZAB Review Date(s): _____

PRS Review Date(s): _____

Minor	Major	Required Materials
<input type="checkbox"/>	<input type="checkbox"/>	Fee
<input type="checkbox"/>	<input type="checkbox"/>	Completed and signed HPZ Application form
<input type="checkbox"/>	<input type="checkbox"/>	Final UDC Compliance Review Zoning comments as issued by PDSD staff
<input type="checkbox"/>	<input type="checkbox"/>	Description and photographs* of type, color and texture of proposed materials
<input type="checkbox"/>	<input type="checkbox"/>	Brief statement of proposal on separate 8½" x 11" pages, outlining scope of work subject to design guidelines in UDC 5.8.9
<input type="checkbox"/>	<input type="checkbox"/>	Dated site plan and elevations, large size, drawn to scale and folded to city standard*
<input type="checkbox"/> 3 hard copies & <input type="checkbox"/> 1 PDF	<input type="checkbox"/> 10 hard copies & <input type="checkbox"/> 1 PDF	Dated site plan and elevations (same as above) at 11" x 17"
<input type="checkbox"/> 1 hard copy & <input type="checkbox"/> 1 PDF	<input type="checkbox"/> 10 hard copies & <input type="checkbox"/> 1 PDF	Aerial photograph* of property with development zone drawn and labeled, printed on 8½" x 11" page. All buildings footprints within the development zone must be shown and labeled to indicate contributing/non-contributing historic status.
<input type="checkbox"/>	<input type="checkbox"/>	Arizona Historic Property Inventory Form (if available)
<input type="checkbox"/>	<input type="checkbox"/>	Photographs* of the project site and surrounding area
<input type="checkbox"/>	<input type="checkbox"/>	Photographs* of building elevations (north, south, east, west) <input type="checkbox"/> Not applicable

*All photographs must be in color and at least 4" x 6" in size with the address and captions explaining relevance to project.

Artisan HPZ Review

- 50' Notice Procedure
- Fee for Notice Procedure

Incomplete or illegible applications will not be accepted.



repp+mclain
DESIGN AND CONSTRUCTION

NEW STAGE & STORAGE BUILDING
HOTEL CONGRESS
311 E CONGRESS TUCSON AZ 85701



13 September 2019

Hotel Congress New Stage, Storage & Restroom

311 E Congress
Tucson, AZ 85701

Hotel Congress is a locally owned and operated business that has anchored the east end of downtown Tucson for decades and is an asset to the local community. It's past success and future flourishing is partly due to the hotel's ability to adapt and evolve with the community. Several years ago, a temporary stage structure was placed on the north end of the hotel's courtyard. This has provided guests and the community with live outdoor entertainment on a regular basis and the success has prompted the ownership to pursue a permanent stage structure & storage room in its place.

Though the City of Tucson IID process we are requesting relief for the following requirements:

1. Total numbers of motor vehicle parking spaces required. 52 total spaces are required / 0 on-site spaces are provided
2. Solid Waste – The development is seeking to manage solid waste in the same manner it currently does with the existing trash enclosure located across Toole Ave.
3. The project is seeking a partial exemption to the landscape screening requirements. This will help maintain uniformity to the existing building setback footprint within the area.
4. Building setback reductions are being requested for the new stage / storage building in order to maintain uniformity to the existing building setback footprint within the area.

The proposed upgrade from a temporary stage to a permanent stage has received positive feedback from the surrounding building and business owners. In our opinion, this investment will continue to further the economic growth, vibrancy and community space of downtown Tucson.

Sincerely

Rick McLain, AIA
architect
repp+mclain design & construction

THE HISTORIC DEPOT
400 N TOOLE AVE
CONTRIBUTING
PROPERTY

MAC ARTHUR
345 E TOOLE AVE
INELEGIBLE PROPERTY

MLK APARTMENTS
55 N 5TH AVE
INELEGIBLE PROPERTY

ONE NORTH FIFTH
1 N 5TH AVE
INELEGIBLE PROPERTY

PLAYGROUND BAR
278 E CONGRESS ST
ELIGIBLE PROPERTY

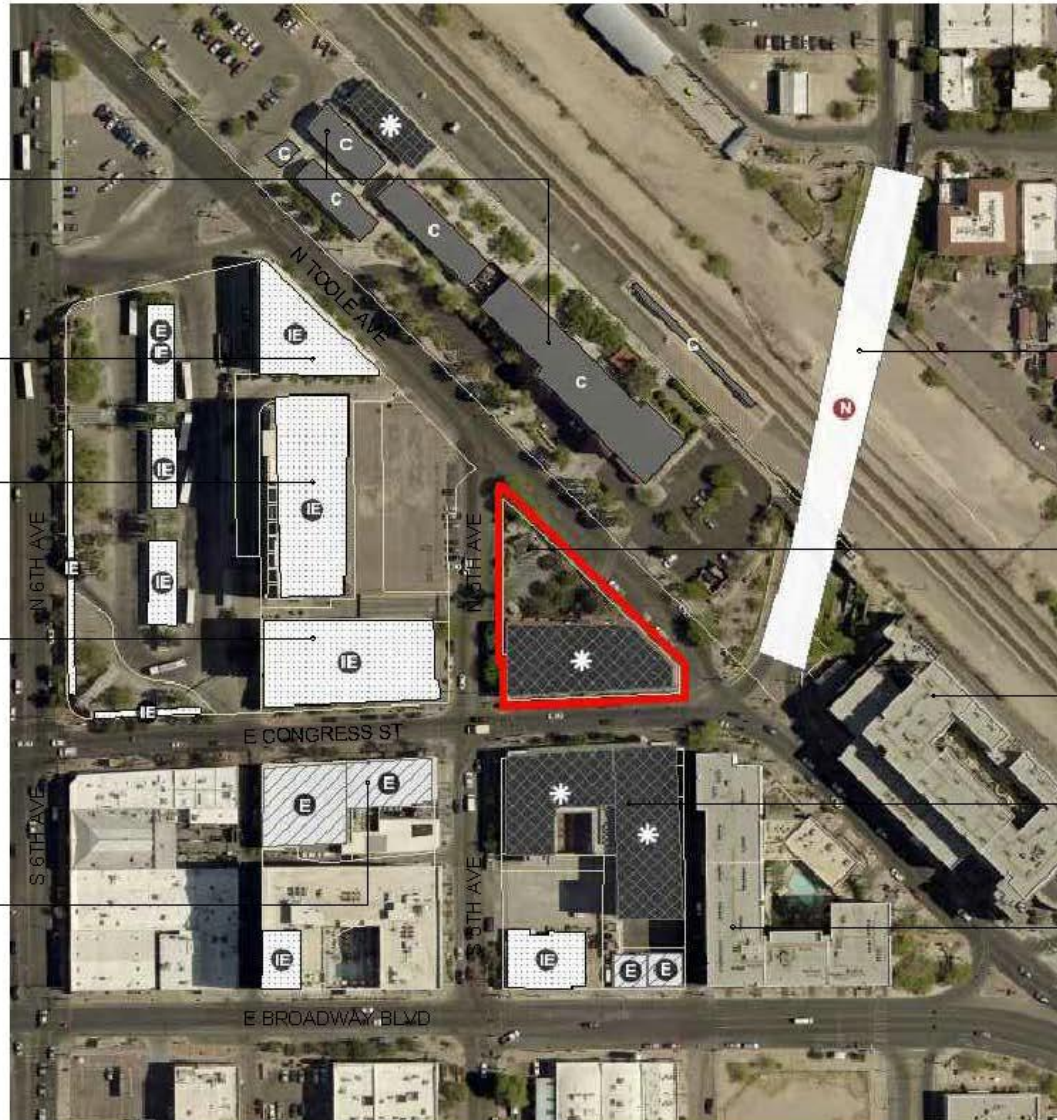
4TH AVE UNDERPASS
NON-CONTRIBUTING

SUBJECT PROPERTY
HOTEL CONGRESS
311 E CONGRESS ST
INDIVIDUALLY LISTED
PROPERTY

PLAZA CENTRO
345 E CONGRESS ST
NOT HISTORIC

THE RIALTO THEATRE
318 E CONGRESS ST
INDIVIDUALLY LISTED
PROPERTY

THE CADENCE
350 E CONGRESS ST
NOT HISTORIC





AERIAL & PHOTO KEY



01 North Fifth Avenue Elevations



02 North Toole Avenue Elevations



03 E Congress St. Elevations



04 Site looking northeast – Congress / Fifth



08 Site looking east– Congress / Fifth



07 Site looking north - Fifth



05 Site looking southeast – Toole / Fifth

SITE PHOTOS



06 Site looking south - Toole



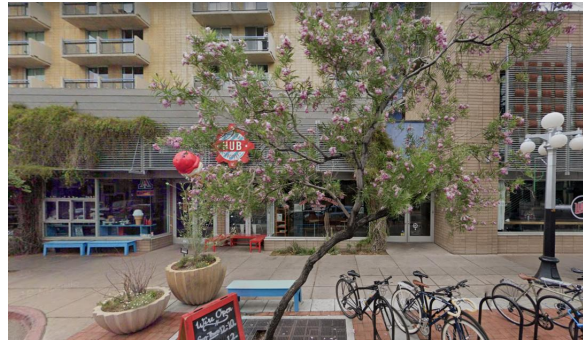
09 Site looking northwest – Toole / Congress



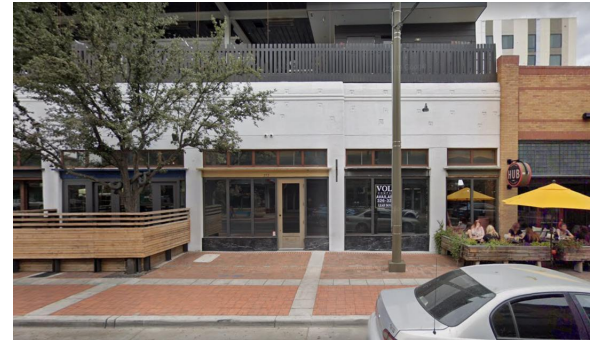
01



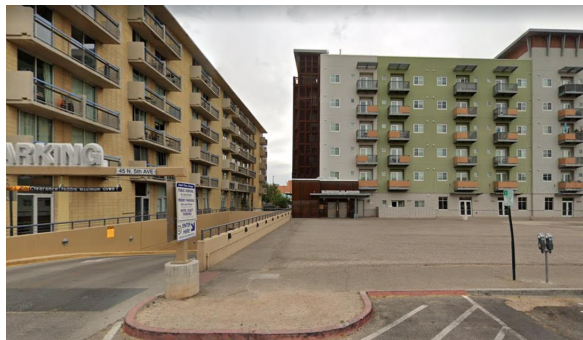
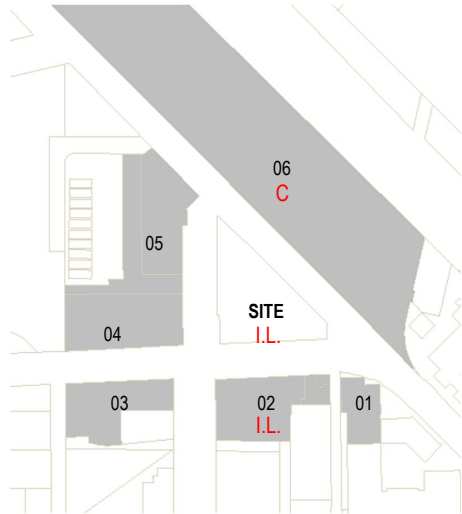
02



03



04

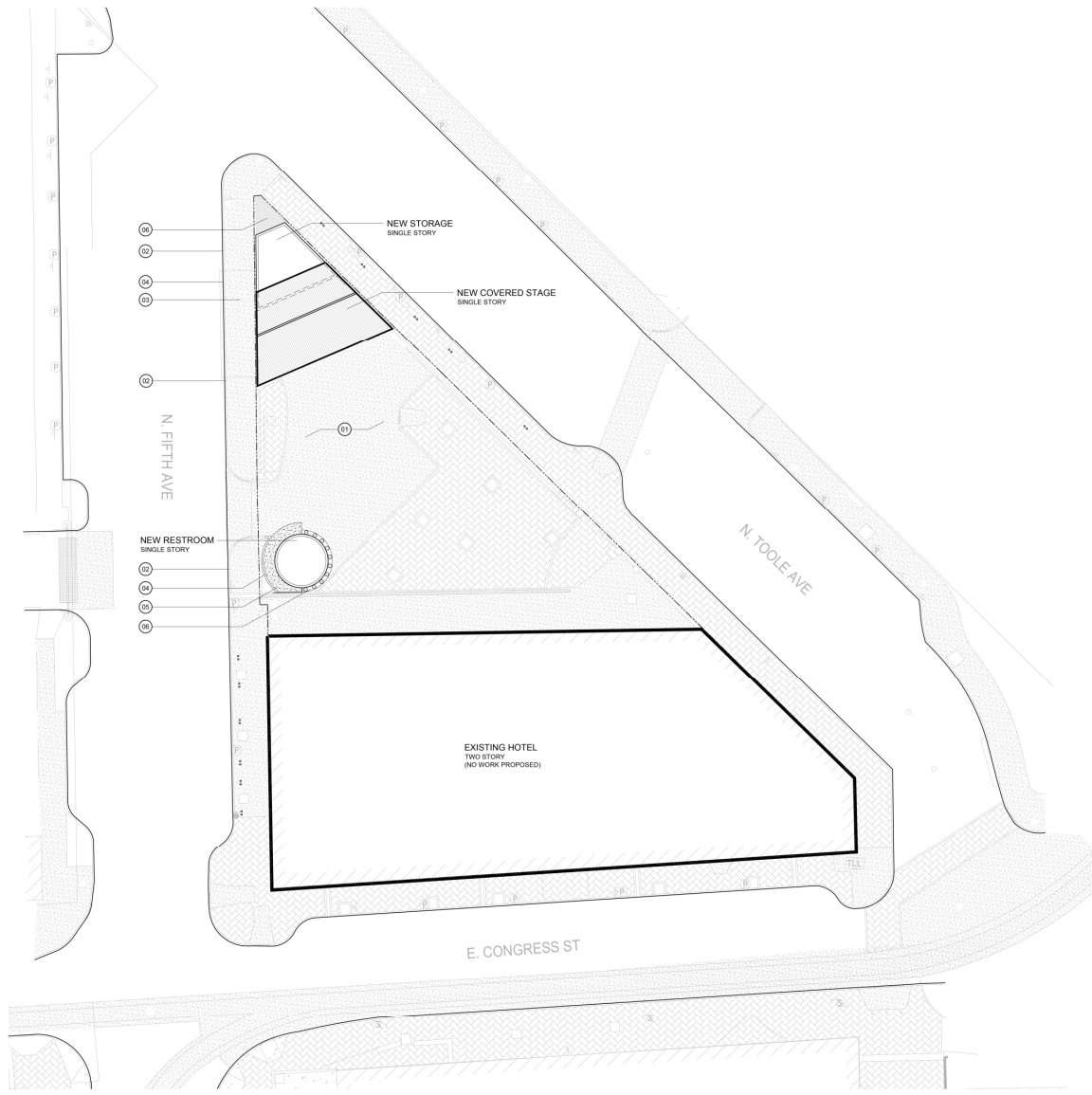


05



06

DEVELOPMENT ZONE



1 SITE PLAN
1/16" = 1'-0"

SITE PLAN GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING NEW WORK. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.
2. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS FROM EXISTING WALLS ARE FROM FACE OF EXISTING DRYWALL.
3. COORDINATE WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ROOF PENETRATIONS.

SITE PLAN KEYNOTES

- (S1) EXISTING COURTYARD SURFACE
- (C1) EXISTING CURB
- (S2) NEW SIDEWALK, REFER TO DEVELOPMENT PLAN
- (C2) NEW CURB
- (S3) NEW SIDEWALK
- (L1) NEW LANDSCAPE AREA

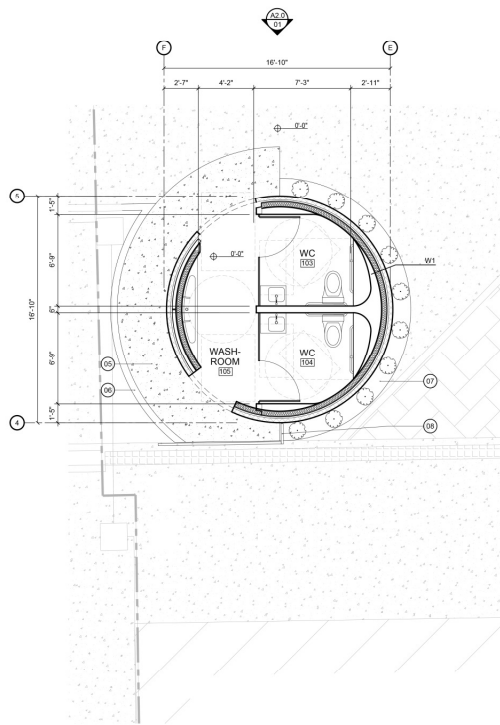


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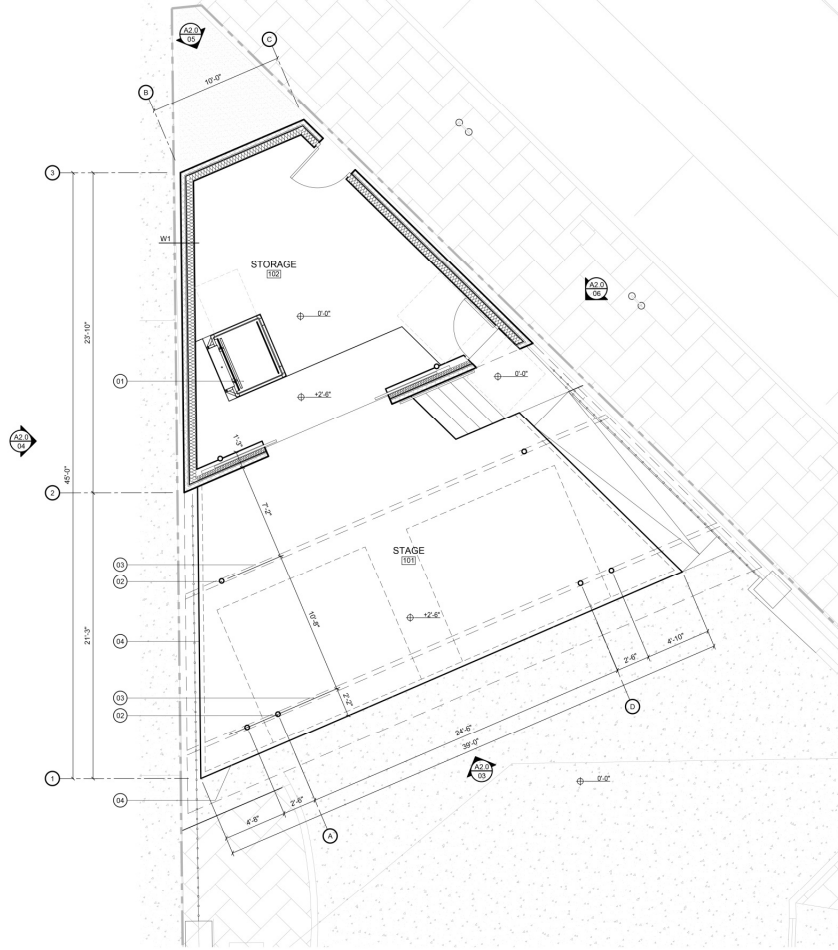
ISSUE DATE	09.13.2019
PROJ. #	611
DRAWN BY	JJR
CHECKED BY	JRM

REVISIONS	

A1.0



1 FLOOR PLAN (RESTROOM)
1/4" = 1'-0"



1 FLOOR PLAN (STAGE)
1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING NEW WORK. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.
2. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS FROM EXISTING WALLS ARE FROM FACE OF EXISTING DRYWALL.
3. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ROOF PENETRATIONS.

FLOOR PLAN KEYNOTES

- (01) PLATFORM LIFT
- (02) STEEL COLUMN, REFER TO STRUCTURAL
- (03) STEEL BEAM, ABOVE
- (04) EDGE OF CONCRETE STAGE
- (05) NEW SIDEWALK
- (06) NEW CURB
- (07) NEW LANDSCAPING AREA
- (08) NEW PAINTED STEEL HANDRAIL

WALL TYPES

- W1 XX BRICK WITH LADDER TIES @32" O.C. OI
1" AIR GAP OI
W8B OI
5/8" PLYWOOD OI
2X6 STUDS @ 16" O.C. W/ R-19 BATT INSULATION OI
5/8" TYPE X GWB W/ IMPERFECT SMOOTH FINISH



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PROJ. #: 611
DRAWN BY: JLR
CHECKED BY: JRM

REVISIONS



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 PROJ. #: 611
 DRAWN BY: JVB
 CHECKED BY: JRM

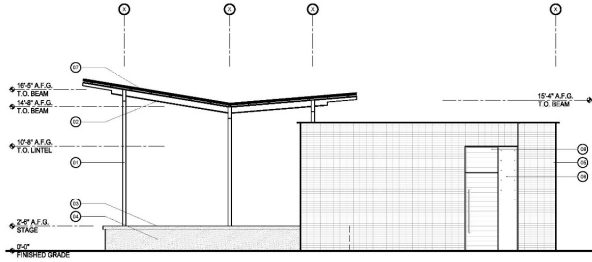
REVISIONS

ELEVATION GENERAL NOTES

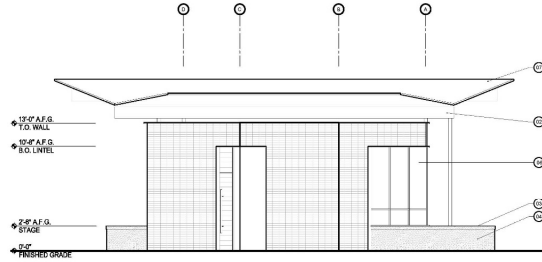
1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING NEW WORK. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.
2. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS FROM EXISTING WALLS ARE FROM FACE OF EXISTING DRYWALL.
3. COORDINATE WITH PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ROOF PENETRATIONS.

ELEVATION KEYNOTES

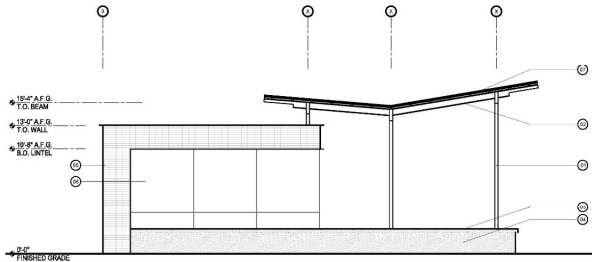
- (SC) STEEL COLUMN, REFER TO STRUCTURAL
- (SB) STEEL BEAM, REFER TO STRUCTURAL
- (CS) CONCRETE SLAB
- (CSW) CONCRETE STEM WALL
- (BM) BRICK MASONRY, REFER TO WALL TYPE
- (FPC) FLAT PANEL STEEL CLADDING W/ 1/2" X 1" STEEL TRIM SURROUND
- (NPM) NARROW PROFILE U-CHANNEL METAL ROOFING
- (CL) CLADDING AT SPANDREL



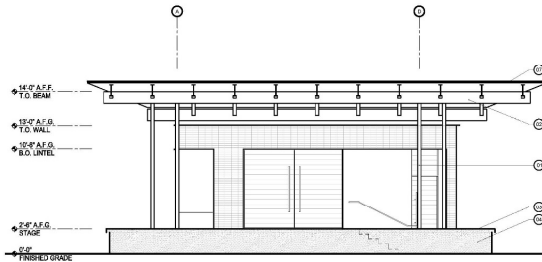
6 EAST BUILDING ELEVATION
 3/16" = 1'-0"



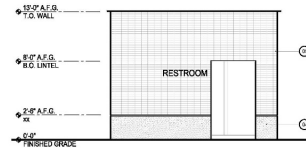
5 NORTH BUILDING ELEVATION
 3/16" = 1'-0"



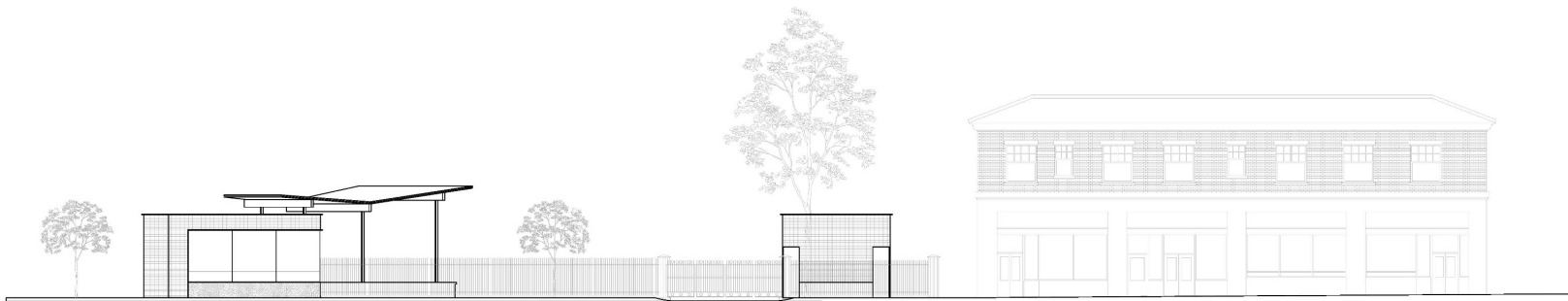
4 WEST BUILDING ELEVATION
 3/16" = 1'-0"



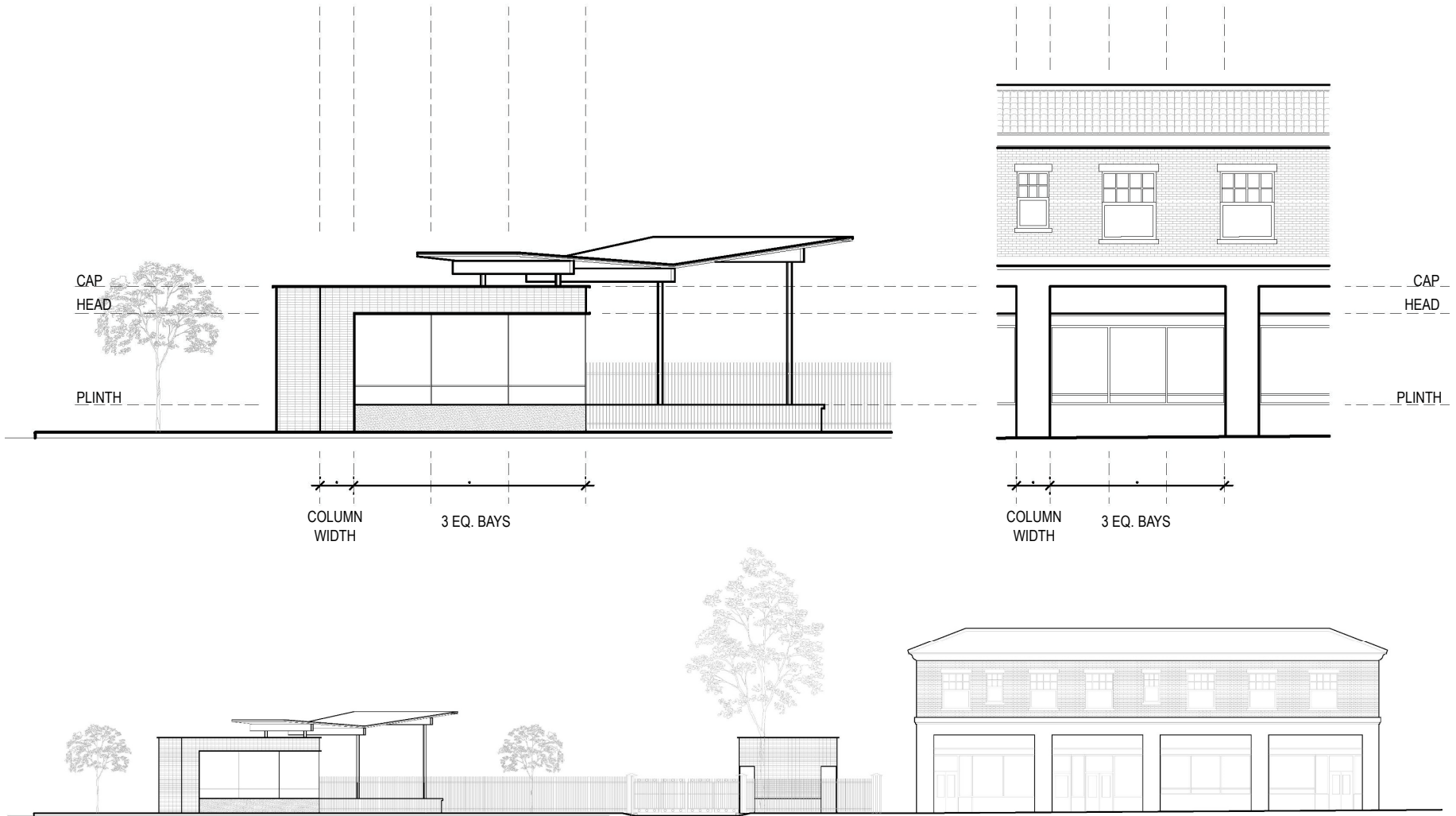
3 SOUTH BUILDING ELEVATION
 3/16" = 1'-0"



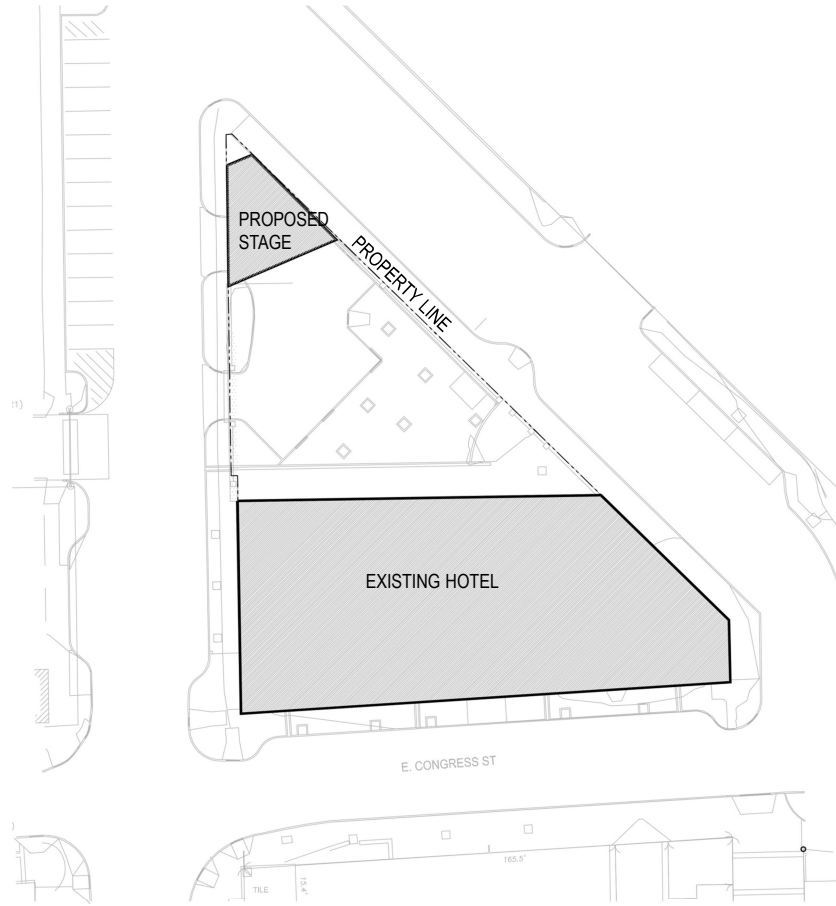
2 WC ELEVATION
 3/16" = 1'-0"



1 WEST SITE ELEVATION
 1/4" = 1'-0"



SCALE, PROPORTION & RHYTHM





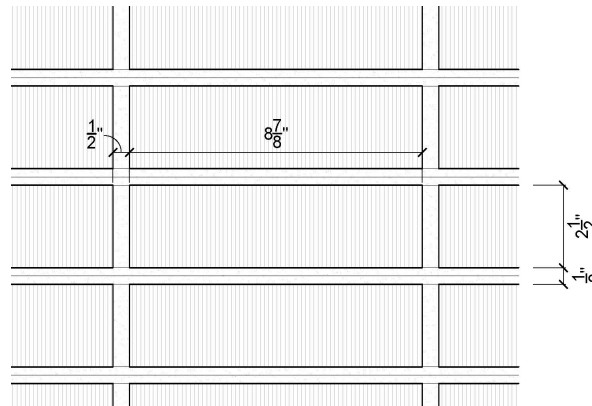
DESIGN CONCEPT - EXAMPLE OF BLACK PAINTED, EXPRESSED STRUCTURAL STEEL W/ LIGHTING



EXISTING HOTEL CONGRESS PORTICO. BLACK PAINTED METAL, EXPRESSED STRUCTURE & LIGHTING



EXISTING HOTEL CONGRESS BRICK
RUNNING BOND



BRICK DIMENSIONS & MATCHING MORTAR JOINTS
STACK BOND AT NEW WORK – DIFFERENTIATED
FROM EXISTING HOTEL CONGRESS RUNNING BOND



CUSTOM WIRE FACE BRICK & COLOR FROM SUMMIT BRICK
(WIRE FACE NO SHOWN)

MATERIALS & STRUCTURE









BLACK PAINTED STEEL
STRUCTURE

CUSTOM COLOR
WIRE FACE BRICK

WOOD CEILING

FLAT PANEL PANTED
STEEL WITH 1" TRIM

BLACK PAINTED STEEL
STRUCTURE

WOOD CEILING



CUSTOM COLOR
WIRE FACE BRICK

FLAT PANEL PANTED
STEEL WITH 1" TRIM

HEAVY AGGREGATE
CONCRETE PLATFORM

BLACK PAINTED STEEL
STRUCTURE

CUSTOM COLOR
WIRE FACE BRICK

HEAVY AGGREGATE
CONCRETE PLATFORM







United States Department of the Interior
National Park Service

FINAL
JUNE 2011
FROM SHPO

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being nominated, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property Hotel Congress

historic name Hotel Congress
PART OF: Downtown Tucson, Arizona MPS

other name/site number Inventory No. 146

2. Location

street & number: 303-311 E. Congress Street

publication _____ not for

city/town: Tucson

state: Arizona code: AZ county: Pima code: 019 zip code: 85701 vicinity

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments).

James W. Gorman ARSHPD 24 JULY 2003
Signature of certifying official Date

ARIZONA STATE PARKS
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments).

Signature of commenting or other official Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that this property is: Signature of the Keeper Date of Action

entered in the National Register
 See continuation sheet

determined eligible for the National Register
 See continuation sheet

determined not eligible for the National Register.

removed from the National Register.

other (explain): _____

United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

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1. Name of Property Hotel Congress

historic name Hotel Congress

other name/site number Inventory No. 146

2. Location

street & number: 303-311 E. Congress Street _____ not for

publication _____

city/town: Tucson _____ vicinity

state: Arizona code: AZ county: Pima code: 019 zip code: 85701

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Signature of certifying official _____ Date _____

State or Federal agency and bureau _____

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments).

Signature of commenting or other official _____ Date _____

State or Federal agency and bureau _____

4. National Park Service Certification

I hereby certify that this property is: _____ Signature of the Keeper _____ Date of Action _____

entered in the National Register
 See continuation sheet

determined eligible for the National Register
 See continuation sheet

determined not eligible for the National Register.

removed from the National Register.

other (explain): _____

Hotel Congress

Pima County, Arizona

5. Classification

Ownership of Property
(Check as many boxes as apply)
 private
 public-local
 public-State
 public-Federal

Category of Property
(Check only one box)
 building (s)
 district
 site
 structure
 object

Number of Resources within Property
(Do not include previously listed resources in the count)
Contributing Noncontributing
One _____ buildings
_____ sites
_____ structures
_____ objects
One _____ Total

Name of related multiple property listing
(Enter "N/A" if property is not part of a multiple property listing).

Number of contributing resources previously listed in the National Register

HISTORIC AND ARCHITECTURAL
RESOURCES OF DOWNTOWN TUCSON
ARIZONA

N/A

6. Function or Use

Historic Functions
(Enter categories from instructions)
DOMESTIC / hotel
COMMERCE/TRADE / specialty store;
business; restaurant

Current Functions
(Enter categories from instructions)
DOMESTIC / hotel
COMMERCE/TRADE / specialty store;
business; restaurant

7. Description

Architectural Classification

Late 19th & Early 20th Century Revival; Spanish
Colonial Revival-influenced; Two-Part Commercial
Block

Materials (Enter categories from instructions)

foundation Concrete
walls Brick
roof Laid composition
other _____

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

Hotel Congress

Pima County, Arizona

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- √ A Property is associated with events that have made a significant contribution to the broad patterns of our history.
□ B Property is associated with the lives of persons significant in our past.
√ C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
□ D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations (Mark "x" in all the boxes that apply.)

- Property is:
□ A owned by a religious institution or used for religious purposes.
□ B removed from its original location.
□ C a birthplace or a grave.
□ D a cemetery.
□ E a reconstructed building, object, or structure.
□ F a commemorative property.
□ G less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested.
□ previously listed in the National Register
□ previously determined eligible by the National Register
□ designated a National Historic Landmark
□ recorded by Historic American Buildings Survey #
□ recorded by Historic American Engineering Record #

Areas of Significance

(Enter categories from instructions)

Community Development/Planning

Architecture

Period of Significance

1919-1934

Significant Dates

1919; 1934

Significant Person

(Complete if Criterion B is marked above)

N/A

Cultural Affiliation

N/A

Architect/Builder

Alexander Curlett of William Curlett & Son (architect)

Hotel Congress

Pima County, Arizona

10. Geographical Data

Acreage of Property Less than one acre

UTM References

(Place additional UTM references on a continuation sheet)

Table with 7 columns: Zone, Easting, Northing, Zone, Easting, Northing. Row 1: 1, 12, 503130, 3565090, 3, -, -. Row 2: 2, -, -, -, 4, -, -.

□ See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet)

11. Form Prepared By

name/title Melissa Rees and Goran Radovanovich

organization University of Arizona Preservation Studies Class date May 10, 2002

street & number College of Architecture, Planning and Landscape Architecture, University of Arizona, P.O. Box 210075

city or town Tucson state: AZ zip code 85721-0075

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A USGS map (7.5 or 15 minute series) indicating the property's location.

A sketch map for historic districts and properties having large acreage or numerous resources.

Photographs

Representative Black and White photographs of the property.

Additional items (Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of the SHPO or FPO)

name Congress Tap Room, Inc.

street & number 303 E. Congress

city or town Tucson

state AZ

telephone

zip code 85701

Paperwork Reduction Act Statement: This information is being collected for applications to the National register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instruction, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief Administrative Services Division, National Park Service, P. O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section Number 7 Page 1

Hotel Congress
Pima County, Arizona

NARRATIVE DESCRIPTION

The Hotel Congress is a two story, detached, two-part commercial block with Spanish Colonial Revival Style influence. It was designed by William Cullett and Sons Architects and built in 1919 as a three-story building occupying the large isolated, northwest lot in split Block 91, bounded by Congress Street, Tenth Street, Fifth Avenue and Toole Avenue, directly south of the Southern Pacific Railroad Depot. Fire destroyed the top story in 1934, which was never reconstructed; instead a roof with a penthouse was built. The building shape is influenced by its odd sized lot and consists of a lobby and commercial spaces on the main floor with hotel rooms occupying the upper floors.

The north façade faces the Southern Pacific Railroad Depot on Toole Avenue. It is composed of a canopied entrance flanked by two bays to the east and five bays divided by concrete columns to the west. A false balcony extends across the east window piercing the second bay in from the east. The entry consists of double leaf wood framed doors and a glass transom flanked by elongated sidelights. The doorway is trimmed with copper. A marquee is suspended by a chain from leonine gargoyle brackets and has scalloped edging and bottom. The words "Hotel Congress" are lit by cat eye lights on the front side of the marquee above the scalloping. Ornate wrought iron bracketing supports the marquee from the bottom.

The south façade along Congress Street faces the Rialto Building. This facade is composed asymmetrically with its center bay flanked by five bays to the west and four bays to the east. The entrance on the south façade is identical in appearance to the entrance on the north. However, the southwest corner of the first floor is beveled to create a corner entrance with a structural pier in front supporting the floor above.

On the exterior façades, a cornice belt band divides the second floor from the first. The ground level structural concrete piers are covered by white-plaster with copper framed large sheet glass windows between them, creating a curtain wall. The transoms above the shop windows consist of small, squared translucent prismatic glass panes. Roll out canopies are located between transoms and shop windows. Below the storefront windows is a base of white marble.

An illuminated sign displaying the words "Hotel Congress" is located on top of the penthouse roof, facing west and is supported by a trussed system. The skeleton of the penthouse is a pitched roof covered by shingles. Remains of the penthouse consist of the structural skeleton including stretcher bond variegated wire cut brick walls on the north and east sides and carved wood posts with brackets above on the east and west sides, which support the roof above. The north wall is pierced by three large arched openings where casement windows once existed. The south wall still has the original three arched casement windows. The remaining six arched casement windows in the penthouse contain their original wrought iron balustrades. The upper story and penthouse is of stretcher bond variegated wire cut brick and has wood framed eight over one, double hung windows with cast concrete lintels and brick sills. Spanish mission tiles cover the parapets of the building's remaining flat roof.

The lobby has approximately 1800 square feet. The floors are padre brick, the walls and ceiling are plastered with decorative Mission style post and lintel ceiling beams. The pillars and corbelled entablatures are smooth, painted stucco finish. The murals of Native American design throughout the lobby and second story were painted between 1985 and 1990 by the well-known American artist Larry Boyce. Boyce's works can be seen at the Metropolitan Museum of Art and the White House (Gary, 1989). To the west of the lobby were originally fourteen retail and office rooms, which formed a horseshoe shape around a central hallway and restrooms that connected to the hotel lobby.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section Number 7 Page 2

Hotel Congress
Pima County, Arizona

The northwest corner of the former shop area is now a restaurant and the southwestern portion of the building is now one large banquet facility. From the south lobby entrance, one can enter the banquet room on the west or a barbershop on the east. On the northeast corner of the building is the original Taproom, which still contains its collection of drawings and paintings by the cowboy-artist, Pete Martinez (Allen, 1985). The elevator located near the Taproom was taken out to ease access to the facility. To the southeast is the location of the original kitchen. One section of it still exists in its original condition and the other section was later replaced in order to house part of the Club Congress nightclub that has also taken over the original dining room. The original mahogany and walnut paneling still exists in the former dining room. A new restroom facility was also added in the club area.

The L-shaped staircase leading to the second floor is wood and has a wrought iron balustrade along its outer edge. On the second floor there were originally forty-three guest rooms but only forty rooms remain today. These rooms are connected by a U-shaped hallway that creates an island at the center of the second floor. The rooms within the island are illuminated by the light from the two light wells leading to the roof. All rooms are provided with their own Art Deco Style bathrooms, that still possess their original black and white tile. At the top of the second floor staircase is a lounge. The entire second story has pine floors and plastered walls and ceilings.

The partial basement extends under the eastern portion of the building and has concrete foundation. All the ceilings and three of the basement rooms are plastered and the floors are exposed concrete. The basement contains a furnace room, a coal chute and a pantry with small, square, translucent glass panes in the ceiling that illuminate the space by means of light from the sidewalk above. This pantry, that originally contained showers for the railroad workers, is found along the north wall. The space also provided three toilet stalls for workers. Wood stairs lead from the basement to the lobby floor and the original dumb waiter connecting the ground floor and the basement still exists.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section Number 8 Page 3

Hotel Congress
Pima County, Arizona

NARRATIVE STATEMENT OF SIGNIFICANCE

Hotel Congress is eligible under both Criteria A and C. Under Criterion A, it is significant as an extant example of a two-part commercial block hotel building, related to the context of Planning and Development of Downtown Tucson. Under Criterion C, Hotel Congress is significant for its Late 19th and Early 20th Century Spanish Colonial Revival influences and association with the prominent California architectural firm, William Curlett and Son. The period of the building's significance begins with the date of its construction, 1919, during the third period of Tucson's central business district development (1896-1935) and continues through the fourth period of downtown development (1935-1970) to the current time period. An additional date of significance, 1934, has been added recognizing the year a fire destroyed the third floor that was never rebuilt.

Prior to the construction of the Hotel Congress, the property was the site of the Thomas Wilson & Company Lumber Yard (Sanborn Map, 1886). The Hotel Congress was originally designed in 1919 by the California architectural firm William Curlett & Son (Plans for Hotel Congress, 1918). The building was commissioned by prominent businessmen, Monte Mansfield, Leo Goldschmidt, and Mose Drachman of the Congress Realty Company, who took advantage of the property's close proximity to Tucson's point of arrival, the Southern Pacific Railroad Depot ("Telephone Girl..."). The Hotel Congress of the 1920's was a place for travelers and high rollers from The East. For several others, the hotel was their permanent residence and was also the venue for specialty shops on the ground floor commercial bays. The Hotel Congress was one of the first buildings in Tucson to have an evaporative cooler.

On January 22, 1934 a fire destroyed the third story of the building, housing twenty rooms, that was never rebuilt. During the fire four men had to be rescued from the third floor. These guests insisted that firemen return to the burning building to retrieve their expensive luggage. Several days later a photo in *True Detective* magazine exposed these guests as the Dillinger Gang. The Tucson Police caught the four men and in searching their luggage they found handcuffs, bulletproof vests, machine guns, and a flour sack containing six thousand dollars in currency ("Telephone Girl", 1934; "Tucson's Hotel Congress", 1991).

Soon after the 1934 fire, the Congress Realty Company sold the hotel to Richard Kent, who had restored many hotels in the Southwest. Kent became famous for his tradition on holidays to cook large dinners and give presents to guests. In 1985 Kent sold the building to the Hotel Congress Associates, which included Charley Byxbee, Tom Knox and William O'Seran. Currently, only the O'Seran Family owns the hotel, who, beginning in 1985, have been restoring the building to its 1920's-1930's appearance, including antique and reproduction furniture in the lobby and rooms. The original hotel phone system is also still in use as well as the original wood telephone booths. Architect Evan Eglin of Eglin, Cohen & Associates, developed the renovation plans that included updating electrical, mechanical and life safety systems, replacing the aluminum doorways with wood, and reconstructing the leaded glass transoms and white marble facades (Allen).

The building retains a high degree of integrity considering its continued use throughout its history and the 1934 fire that forced the removal of its third floor. Its location, design, workmanship, and materials have all been maintained providing a strong association with its significance as an example of a two-part commercial block hotel building and for its Late 19th and Early 20th Century Spanish Colonial Revival influences and association with the prominent California architectural firm, William Curlett and Son.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section Number 9 Page 4

Hotel Congress
Pima County, Arizona

BIBLIOGRAPHY

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- Allen, Howard. "A Downtown Landmark Lives on-Hotel Congress to be Restored to Original Glory as Lodging Place." 6 February 1985.
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- "Theater Building." *Southwest Builder & Contractor*. 4 June 1920: 13.
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- "William Curlett, FAIA." *The Architect and Engineer*. V.36, no 1. February 1914: 78-79.
- Withey, Henry F. *Bibliographical Dictionary of American Architects*. Los Angeles: Hennessey & Ingalls, Inc., 1970.
- See also Section I: Major Bibliographic References of the Multiple Property Documentation Form for Historic and Architectural Resources of Downtown Tucson, Arizona.*

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section Number 10 Page 5

Hotel Congress
Pima County, Arizona

GEOGRAPHICAL DATA

VERBAL BOUNDARY DESCRIPTION

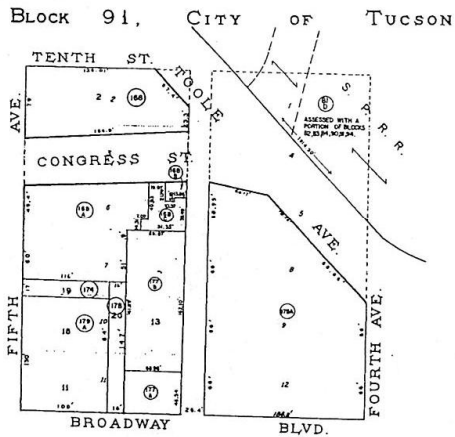
Part of Lots 2 and 3, Block 91, City of Tucson. As shown on the current assessor's map, this description refers to a 5-sided irregular plot on the northwest corner of Block 91, surrounded by Congress Street, Fifth Avenue, Tenth Street, O'Toole Avenue and an alley to the east. This lot is 134.01 feet long on the north, 67.4 feet long on the northeast diagonal, 23.3 feet long on the east, 104.9 feet on the south and 79 feet on the west boundaries.

BOUNDARY JUSTIFICATION

The boundary of the nominated property corresponds with the current ownership of the property and contains the building walls of the building; assessor's parcel no. 117-06-1660.

ASSESSOR'S RECORD MAP

117-06
6/25



2002-1

S12 T14S, R1E
SHE. BOOK 3, PAGE 71 M & P.

665 (2)

2002 Map
C.O.T.
117-06-1660

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 6

Hotel Congress
Pima County, Arizona

NOTE: Archival pen used to label all original photos.

PHOTOGRAPHER:	Goran Radovanovich
DATE:	April 13, 2002
NEGATIVE NUMBER:	DTT-B-10A
LOCATION OF ORIGINAL NEGATIVES:	Arizona Architectural Archives College of Architecture Planning and Landscape Architecture P.O. Box 210075 The University of Arizona Tucson, Arizona 85721-0075

PHOTO #1: Three-quarter view of west and south facades from Congress Street; looking NE



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National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 7

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Goran Radovanovich
DATE: April 13, 2002
NEGATIVE NUMBER: DTT-B-8A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
Tucson, Arizona 85721-0075

PHOTO #2: Congress Street façade detail of entry, looking NW



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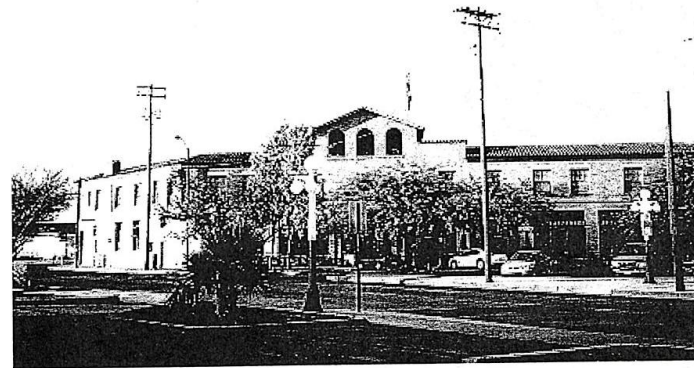
National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 8

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Janet H. Parkhurst
DATE: July 15, 2002
NEGATIVE NUMBER: DT-6-19A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
Tucson, Arizona 85721-0075

PHOTO #3: North façade from Southern Pacific Depot; looking south



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National Park Service

National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 9

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER:	Goran Radovanovich
DATE:	April 13, 2002
NEGATIVE NUMBER:	DTT-C-9A
LOCATION OF ORIGINAL NEGATIVES:	Arizona Architectural Archives College of Architecture Planning and Landscape Architecture P.O. Box 210075 The University of Arizona Tucson, Arizona 85721-0075

PHOTO #4: Partial view of north facade looking SW



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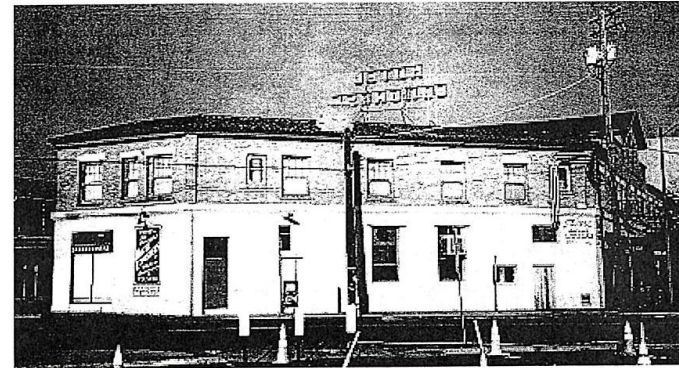
National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 10

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER:	Janet H. Parkhurst
DATE:	July 15, 2002
NEGATIVE NUMBER:	DTT-6-22A
LOCATION OF ORIGINAL NEGATIVES:	Arizona Architectural Archives College of Architecture Planning and Landscape Architecture P.O. Box 210075 The University of Arizona Tucson, Arizona 85721-0075

PHOTO #5: Northeast façade; looking SW



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National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 11

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Janet H. Parkhurst
DATE: July 15, 2002
NEGATIVE NUMBER: DTT-6-21A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
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PHOTO #6: Chamfered east facade; looking NW



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National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 12

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Janet H. Parkhurst
DATE: July 15, 2002
NEGATIVE NUMBER: DTT-6-28A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
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PHOTO #7: Detail of north facade showing ground floor storefront and second-floor facade zones; looking SW



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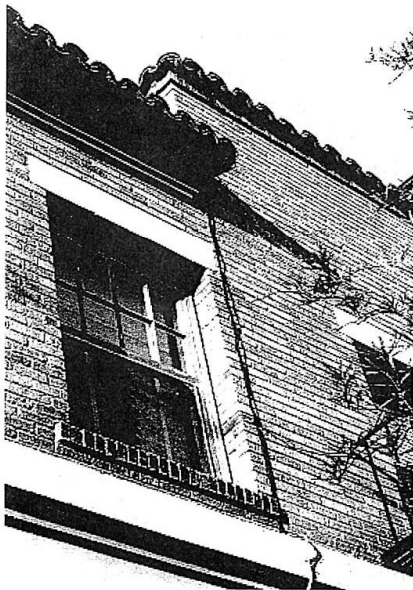
National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 13

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Janet H. Parkhurst
DATE: July 15, 2002
NEGATIVE NUMBER: DTT-6-26A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
Tucson, Arizona 85721-0075

PHOTO #8: Detail of north façade showing double-hung windows, cornice treatment and Spanish tile; looking SW



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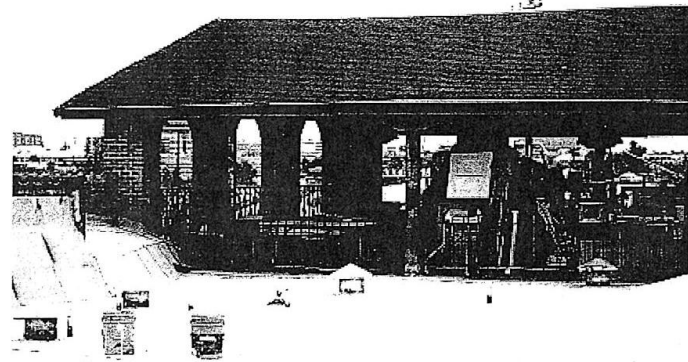
National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 14

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Goran Radovanovich
DATE: April 13, 2002
NEGATIVE NUMBER: DTT-B-34A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
Tucson, Arizona 85721-0075

PHOTO #9: View of former roof garden, looking NE



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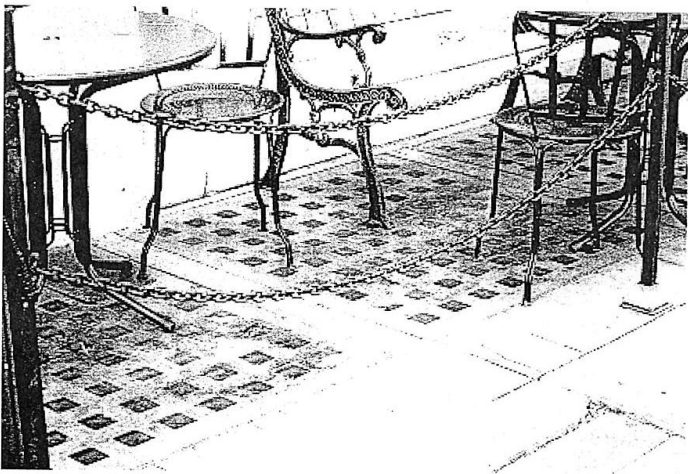
National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 15

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER:	Goran Radovanovich
DATE:	April 13, 2002
NEGATIVE NUMBER:	DTT-B-18A
LOCATION OF ORIGINAL NEGATIVES:	Arizona Architectural Archives College of Architecture Planning and Landscape Architecture P.O. Box 210075 The University of Arizona Tucson, Arizona 85721-0075

PHOTO #10: Detail of sidewalk glass block skylight to basement below



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National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 16

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER:	Goran Radovanovich
DATE:	April 13, 2002
NEGATIVE NUMBER:	DTT-B-20A
LOCATION OF ORIGINAL NEGATIVES:	Arizona Architectural Archives College of Architecture Planning and Landscape Architecture P.O. Box 210075 The University of Arizona Tucson, Arizona 85721-0075

PHOTO #11: Interior view of entry lobby, looking south toward Congress Street



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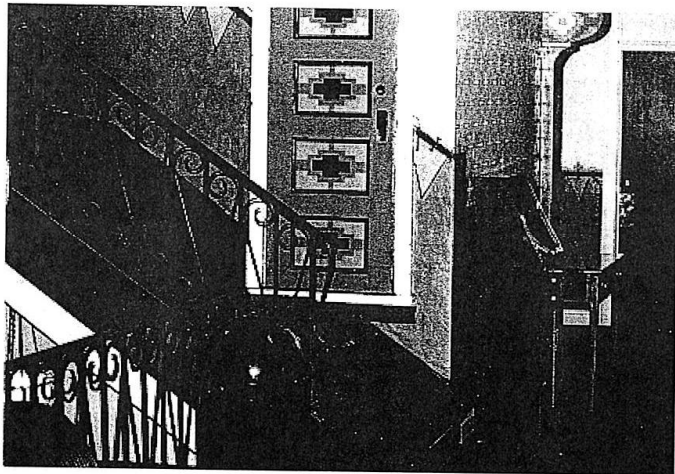
National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 17

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Goran Radovanovich
DATE: April 13, 2002
NEGATIVE NUMBER: DTT-B-23A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
Tucson, Arizona 85721-0075

PHOTO #12: Interior view of lobby stairway with wrought-iron hand railing



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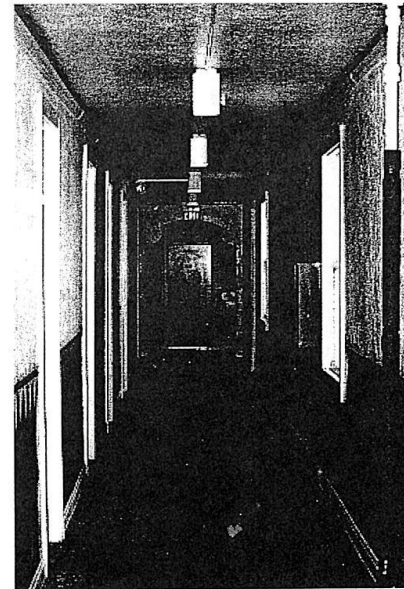
National Register of Historic Places Continuation Sheet

Section Number PHOTOS Page 18

Hotel Congress
Pima County, Arizona

PHOTOGRAPHER: Goran Radovanovich
DATE: April 13, 2002
NEGATIVE NUMBER: DTT-B-25A
LOCATION OF ORIGINAL NEGATIVES: Arizona Architectural Archives
College of Architecture Planning and Landscape Architecture
P.O. Box 210075
The University of Arizona
Tucson, Arizona 85721-0075

PHOTO #13: Interior view of upper floor hallway





DATE: October 11, 2019

TO: Nick Ross, Maria Gayosso, Koren Manning
City of Tucson Planning and Development Services

FROM: Corky Poster, Architect/Planner, Design Professional

RE: Hotel Congress, 311 East Congress Street, Tucson AZ
DP 19-0190

OWNER: 311 East Congress LLC

PHASE OF REVIEW:

Comment:

On Tuesday September 24, 2019, I met with a more formal Pre-Application meeting using the Pre-Application Design Standard Checklist.

MATERIAL REVIEWED:

INFILL INCENTIVE DISTRICT DESIGN PACKAGE FOR HOTEL CONGRESS, submittal from applicant, dated September 13, 2019. Materials as noted, following (8.5 x 11 Format):

- Infill Incentive District Application (1 page)
- Submittal Requirements
- Project Summary/Introduction to HOTEL CONGRESS, New Stage, Storage & Restrooms (1 Page)
- Permit Review Details (10 pages)
- Pima County Assessor's Record Parcel Detail & Map (9 pages)
- Existing Photo Study (5 pages)
- Development Package DP19-0018 – 1st Submittal (5 pages)
- Building Design Information (14 pages)

IID STANDARDS APPLICABLE TO PROJECT:

- UDC Section **5.12.8 General IID Zoning Option Design Standards**
- UDC Section **5.12.10 Downtown Core Sub-District (DCS)**
- UDC Section **5.12.2. Establishment**

C. Depending on the development choice of the owner, plans submitted for development of land in the IID must comply with the appropriate IID regulations and standards as follows:

1.b. If the property is located within the boundaries of RNA, all of the following regulations, standards, and review procedures apply:

- (1) The regulations and standards of the underlying zoning.
- (2) The RNA Standards in Section 5.12.7
- (3) **Section 5.12.6.E – IID Historic Preservation Review**

2. Projects not in an HPZ [this project is not]

a. The Tucson-Pima County Historical Commission Plans Review Sub-Committee reviews all projects listed below:

- (2) Projects proposing new development using IID zoning option that are either adjacent to the boundaries of an HPZ [not applicable here] or adjacent to a structure meeting any one or more of the following characteristics:

- (a) Listed or eligible to be listed in the National Register of Historic Places, individually or as a contributing property.
- d. The TPCHC Plans Review Subcommittee reviews for compliance with the design requirements of the applicable sub-district and for design compatibility of a proposed development project.
 - (1) New development must be designed to complement and be compatible with the architecture of adjacent historic structures.
 - (2) Compatibility with adjacent historic structures is to be achieved through architectural elements such as building setbacks, building step-backs, textures, materials, forms, and landscaping.
 - (3) Exceptions. The PDSD Director may waive the compatibility requirement of this section under the following circumstances:
 - (a) Where the adjacent lot is vacant
 - (b) If the property owner of the adjacent historic property waives the requirement; or
 - (c) If the adjacent lot is developed with a non-residential building.

STANDARDS AND REVIEWER COMMENTS:

UDC Section 5.12.8. GENERAL IID ZONING OPTION DESIGN STANDARDS

An IID Plan under the IID zoning option design standards must demonstrate compliance with the following:

A. Streetscape Design- Streetscape design must comply with the street design standards in the Technical Manual and the Streetscape Design Policy.

1. Pedestrian-orientation: Projects shall be pedestrian-oriented and comply with all of the following standards:
 - a. New construction shall have architectural elements/details at the first two floor levels;
 - b. Buildings shall provide windows, window displays, or visible activity on the ground floor for at least 50 percent of frontage;
 - c. A single plane of façade shall be no longer than fifty feet without architectural detail;
 - d. Front doors shall be visible or identifiable from the street and visually highlighted by graphics, lighting, or similar features;
 - e. Uses, such as Commercial Services or Retail Trade uses that encourage street level pedestrian activity are preferred on the first floor of a structure of a multistory building;
 - f. Construction and maintenance of sidewalks must be done in compliance with the City's Streetscape Design Policy. Existing sidewalk widths shall be maintained so as to provide effective, accessible, connectivity to adjoining properties. Sidewalks may be widened to accommodate a project's design characteristics. Where no sidewalks exist, sidewalks shall be provided. Outdoor seating and dining areas and landscaping may be located in the sidewalk area where safe and effective sidewalk width around the design feature can be provided;
 - g. To the extent practicable, bus pull-outs shall be provided where bus stops are currently located; and
 - h. If drive-through service is proposed, it shall not interfere with pedestrian access to the site from the right-of-way.
2. Shade
 - a. Except as provided below, shade shall be provided for at least 50% of all sidewalks and pedestrian access paths as measured at 2:00 p.m. on June 21 when the sun is 82 degrees above the horizon. Shade may be provided by trees, arcades, canopies, or shade structures provided their location and design characteristics are compatible with the historic and design context of the street and the architectural integrity of the building. The use of plantings and shade structures in the City right-of-way is permitted to meet this standard with the approval of the Transportation Department. The shade provided by a building may serve to meet this standard.
 - b. Exception- The PDSD Director may approve an IID Plan providing less than 50% shade where compliance is not feasible due to a project site's location and/or building orientation and the applicant has made a reasonable attempt to comply with this standard.

B. Development Transition Standards

The purpose of the Development Transition Standards is to mitigate excessive visual, noise, odor, vibration intrusion, and other similar public health and safety concerns that may be created by the proposed project.

1. Applicability - Developing sites that abut an affected single family or duplex dwelling shall comply with this section. For purposes of the IID, the following terms and examples describe elements of applicable transitional areas:

a. "Affected residential property" refers to an existing detached single-family or duplex dwelling that is adjacent to a developing site;

b. "High density residential" refers to residential development that is neither existing single-family detached nor attached dwellings;

c. Examples of applicable transitional areas include a nonresidential developing site adjacent to existing single-family detached or attached dwellings within a subdivision, or a developing high-density residential site adjacent to existing single-family detached or attached dwellings within a subdivision; and,

d. For projects within the DCS, the Development Transition Standards apply only to those projects adjacent to affected residential properties outside the DCS boundaries.

2. Mitigation of Taller Structures: Compliance with the following standards is required where the developing site has taller buildings than adjacent affected residential properties:

a. Within the GIS and DCS, the maximum building height is 25 feet within 30 feet of the property line adjacent to an affected residential property. Proposed buildings may be developed to the maximum height permitted by the underlying zone or as permitted by the IID Subdistrict, whichever is applicable, when the building is 30 feet or more from the property line adjacent to an affected residential property;

b. Building Bulk Reduction

c. If a building façade faces a property line adjacent to a single-family detached or duplex residential property, the PDS Director may require bulk reduction. The Design Professional shall make a finding and recommendation, after consulting with the DRC and/or Historic Commission if applicable, that the proposed design provides an effective way of breaking up the mass, so the building mass of the façade is less imposing.

d. Windows at or above the second story of a structure shall be located or treated to reduce views into adjacent affected residential property's buildings and yard areas;

e. Balconies shall be oriented away from affected residential property or use a screening device to reduce views in to the rear or side yards of the affected residential property.

f. The developing site's buildings shall be oriented so as to reduce views onto an affected residential property; and

g. Buffers and/or screening consistent with the purpose of this section shall be provided between a developing site and affected residential properties and shall include features such as, but not limited to, landscaping, walls, and architecturally decorative features.

3. Mitigation of Service Areas- Potential nuisance or noisy areas shall be oriented away from affected residential property, such as by placing service areas for loading and garbage disposal between the developing site's buildings, behind opaque barriers, or by using architectural or landscaping treatments that effectively reduce nuisance impacts from service areas. The service area shall be mitigated to reduce the noise and view of the service features, reduce the emission of offensive odors to owners or occupants of adjacent

properties or create a nuisance or hazard beyond the property lines of the project site, and prevent vibrations that are discernible beyond the property lines of the project site.

4. Mitigation of Parking Facilities and Other Areas- Where the site has parking areas or an area with noise and outdoor lighting features, the areas shall be screened from affected residential property by a combination of a wall or opaque non-chain link fence with a vegetative hedge or a row of trees that shall be dense enough to screen views onto the development site. An alternative treatment may be used, such as using architectural or landscaping treatments that effectively reduce nuisance impacts

from parking facilities and other areas. Where there is a finding that the vegetative screen will be opaque, the requirement of a masonry wall may be waived by the PDSO Director.

C. Alternative Compliance

1. The PDSO Director may approve an urban design best practice option for compliance with Section 5.12.8.A, Streetscape Design, and Section 5.12.8.B, Development Transition Standards.
2. For purposes of this section, urban design best practices may include urban design studies approved for the City of Tucson, adopted urban design standards for a downtown area in an Arizona city of comparable size or a city in the Southwest of comparable size, books written by urban design experts or endorsed by a professional organization, such as the American Institute of Architects, addressing downtown development, or any comparable report, study, or standards recommended by the City's Design Professional and approved by the PDSO Director.

D. Utilities- Plans shall include information on the layout and demonstrate availability of utilities such as water, wastewater, natural gas, electric, and telecommunication utilities.

E. Parking

1. Parking spaces may be located as follows:
 - a. On site; or
 - b. Off-site within ¼ of a mile of the project site under a shared parking agreement that is approved by the City.
2. Required vehicle and bicycle parking may be reduced pursuant to an IID Parking Plan in accordance with Section 7.4.5.A, except as modified as follows:
 - a. Section 7.4.5.A.3 in Permitted Uses and Types of Development does not apply. An IID Parking Plan may be used to reduce required residential parking.
 - b. Bike parking shall be provided when motor vehicle parking is provided. The PDSO Director may reduce the required number of bike parking spaces depending on the use, setting, and intensity of the proposal.
 - c. The neighborhood meeting that is required for under Section 7.4.5.A.6.a may be held concurrently with the neighborhood meeting required by Section 5.12.6.B.
 - d. Section 7.4.5.B, Downtown Parking District, does not apply.
3. Where Parking is provided, the parking area must comply with the standards of Section 7.4.6.C and D.
4. Parking must be in a parking structure with the ground floor of the parking structure screened from view.
 - a. Exception
 - b. Parking may be located on a surface parking lot if it is determined by the PDSO Director to be impracticable to be located elsewhere and other options are not available.
 - c. Parking may be located on a surface parking lot if it is determined by the PDSO Director to be impracticable to be located elsewhere and other options are not available. If located onsite, parking areas must be located at the rear or side of the building.
 - d. Changes of use and expansion of existing structures may use the site's current parking configuration.
 - e. Parking structures shall be designed so that parked vehicles are screened from view at street level through incorporation of design elements including, but not limited to, landscaping, pedestrian arcades, occupied space, or display space.
5. Special IID Parking Agreement- Where a developer can demonstrate to the satisfaction of the PDSO that the parking options provided for in this Section are not feasible, and the City makes a specific finding that the project will have significant economic development value for the IID Sub-District in which it will be located, the following parking options are allowed as follows:
 - a. A percentage of long-term residential parking may be located in a City public parking garage by an agreement with Park Tucson if the project is of significant economic benefit to the City to allow this option.
 - b. The agreement must be reviewed by PDSO, the Design Professional, Park Tucson and approved by the City Manager.

F. Multi-zone Parcels- Where a development parcel contains more than one zoning district, uses and building massing may be distributed across the zoning districts on the parcel , provided that the development complies with the design standards in Section 5.12.8.B to mitigate the impact of the new development on existing, less intensely developed adjacent parcels.

UDC 5.12.10. DOWNTOWN CORE SUBDISTRICT (DCS)

A. Permitted Uses - With the exception of detached single-family dwellings, which are not allowed, permitted uses in the DCS are those uses listed for the GIIS, Section 5.12.9.A.

B. Standards - The following apply to all development within the DCS:

1. Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the approved IID Plan's Development Transition Standards requires less.

2. In the underlying I-1 and I-2 Zone, uses permitted in the DCS under Section 5.12.9.A above are limited to a maximum 75-foot building height.

3. When provided, landscaping shall be in accordance with the City's drought-tolerant plant list;

4. Bicycle parking shall be provided when motor vehicle parking is provided. The required number of bicycle parking spaces may be reduced pursuant to an IID Parking Plan, Section 5.12.6.M when bicycle parking is required per this section;

5. Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation; and,

6. All applications shall be in accordance with:

Section 5.12.7.C.6: Building façade design shall include pedestrian-scaled, down-shielded, and glare controlled exterior building and window lighting;

5.12.7.C.9: Buildings shall be designed to shield adjacent buildings and public rights-of-way from reflected heat and glare;

5.12.7.C.12: Colors may conform to the overall color palette and context of the Downtown area or may be used expressively to create visual interest, variety, and street rhythms. The rationale for an expressive or idiosyncratic use of color shall be described in the site plan submittal;

5.12.7.C.13: New buildings shall use materials, patterns, and elements that relate to the traditional context of the Downtown area;

5.12.7.C.14: Twenty-four-hour, street-level activity is encouraged by providing a mixture of retail, office, and residential uses within each building; and,

Section 5.12.7.D.3. Open space is defined in the DCS as stated in Section 5.12.11.B.6, Downtown Links Subdistrict.

Plazas and Open Space: The fundamental objective of the design standards in this Section 5.12.7.D.3 is to encourage public and private investments to enhance the character and function of Downtown's pedestrian environment.

a. Five percent of the gross floor area of new construction shall be provided in public plazas or courtyards. Open space plazas, courtyards, and patios are landscaped outdoor areas designed to accommodate multiple uses, from large gatherings of the people for performing arts to smaller gatherings. The plazas and courtyards will be one of the ways that spaces and uses can be linked. The requirement of this section may be waived or reduced by the PDSO Director upon a written finding during the review process that the development enhances the downtown pedestrian environment even with a smaller percent or elimination of the requirement.

b. Views of all historic properties and all-natural elements surrounding the Downtown should be considered during design. Plazas, courtyards, and open spaces shall be sited to include views to other public spaces, where feasible.

c. Neighborhood linkages shall be maintained throughout Downtown.

C. Exemptions - Except as provided in this section, development within the DCS is exempt from the following standards unless the PDSO Director makes a finding that public safety and health would be jeopardized:

1. Section 5.4, Major Streets and Routes Setback Zone;

2. Minimum perimeter yard standard as provided in Section 6.3, except when required by Section

5.12.8.B, Development Transition Standards

3. Maximum lot coverage standard as provided in Section 6.3;
4. Minimum lot size standard as provided in Section 6.3,
5. Section 7.4, Motor Vehicle and Bicycle Parking, except as provided in Section 5.12. 8.E;
6. Section 7.5, Off-Street Loading;
7. Section 7.6, Landscaping and Screening Standards, except as required by Section 5.12.8.B, Development Transition Standards; and,
8. Section 7.7, Native Plant Preservation, except when the property includes a drainage corridor where native plants are present or when the property is adjacent to a drainage corridor and remnant native plants are present on the project site.

D. Other Permitted Modifications

1. Pedestrian Access
2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalks may be allowed as long as no safety hazard is created. All pedestrian access shall conform to the City's adopted Building Code.
3. Solid Waste Collection
4. On-site refuse collection container standards governing access, type, and location may be modified if the Environmental Services Department determines that no public health or traffic safety issue is created.

Section 5.12.6.E – IID Historic Preservation Review

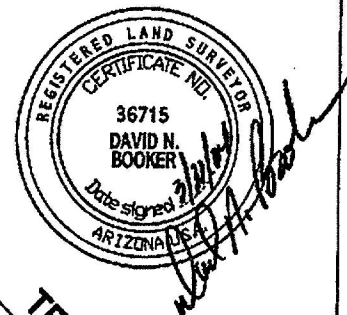
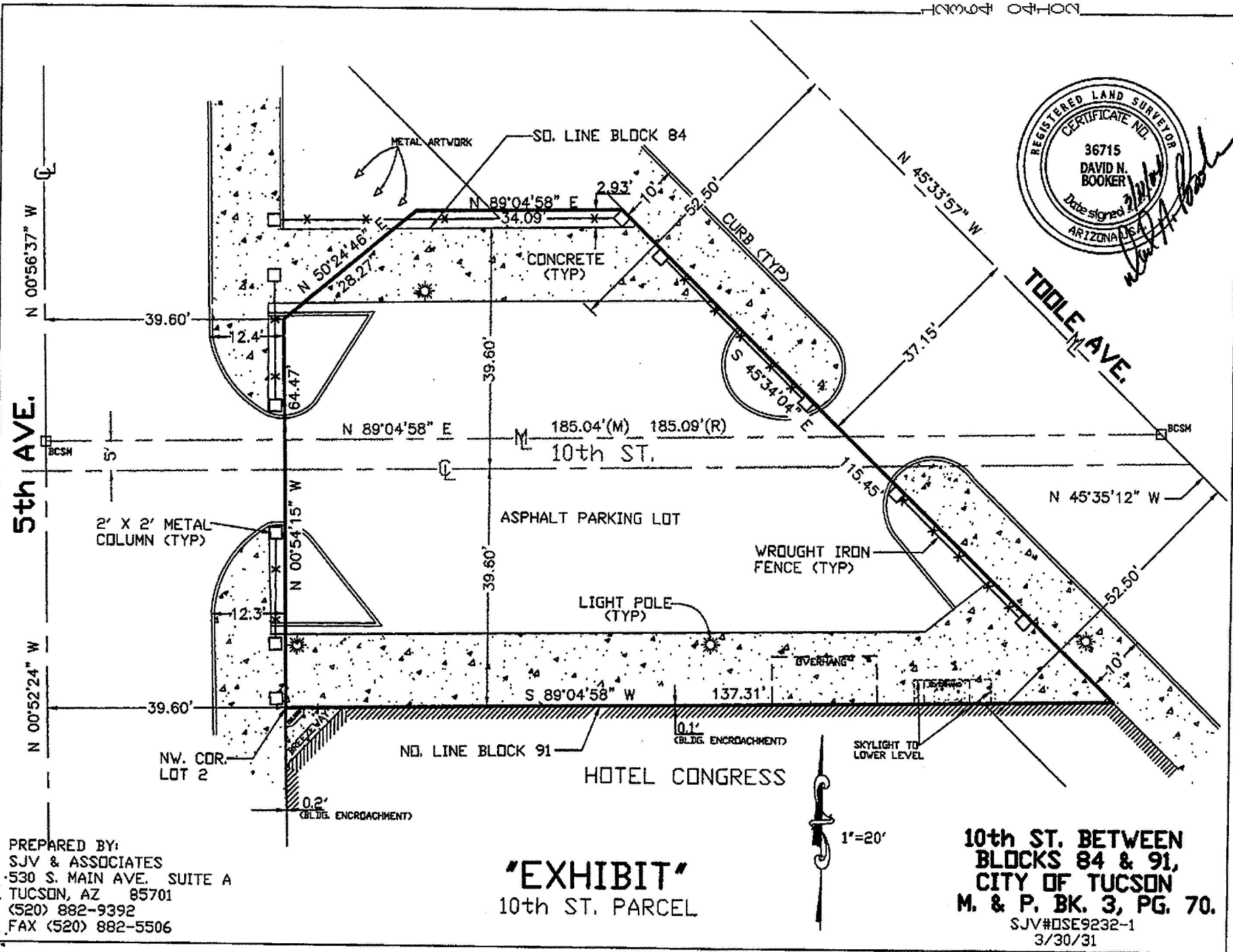
d. The TPCHC Plans Review Subcommittee reviews for compliance with the design requirements of the applicable sub-district and for design compatibility of a proposed development project.

(1) New development must be designed to complement and be compatible with the architecture of adjacent historic structures.

(2) Compatibility with adjacent historic structures is to be achieved through architectural elements such as building setbacks, building step-backs, textures, materials, forms, and landscaping.

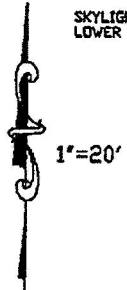
Reviewer Comments:

- 1. Perhaps use same brick but with stack-bond on the bathroom to avoid historic imitation.**
- 2. Recommend raising current parking lot grade to match height of existing pedestrian paved area.**
- 3. Maybe delineate historic 10th Street alignment in paving pattern.**



PREPARED BY:
 SJV & ASSOCIATES
 530 S. MAIN AVE. SUITE A
 TUCSON, AZ 85701
 (520) 882-9392
 FAX (520) 882-5506

'EXHIBIT'
 10th ST. PARCEL



**10th ST. BETWEEN
 BLOCKS 84 & 91,
 CITY OF TUCSON
 M. & P. BK. 3, PG. 70.**
 SJV#DSE9232-1
 3/30/31

Permit Review Details

Permit: T19PRE0107
Parcel: 11706166B

Addresses:
323 E CONGRESS ST

Review Details

Review Status: Active

Show entries
Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/10/2019	ANY	ZONING-DECISION LETTER	WRITE DECISION LETTER	Active	None
6/11/2019	ANDREW CONNOR	LANDSCAPE	REVIEW	Completed	<p>The site is within the following overlay zone:</p> <p>5.12.10. DOWNTOWN CORE SUBDISTRICT (DCS)</p> <p>A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDSO Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers in accordance Section 5.12.6.A.2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalk is allowed if no safety hazard is created. All pedestrian access must conform to the accessibility standards of the City's Building Code.</p>
6/12/2019	GDAURIA1	COT NON-DSD	FIRE	Completed	Show exiting plan on final plans please.

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/14/2019	JOHN VAN WINKLE	ENGINEERING	REVIEW	Completed	T19PRE0107 1) Currently it appears that there is some onsite parking. Proposed plan says there is zero onsite parking. If that is the case, then the second driveway entrance off of N 5th av should be closed John Van Winkle, P.E. John.VanWinkle@tucsonaz.gov 520-837-5007
6/17/2019	GDAURIA1	COT NON-DSD	TRAFFIC	Completed	Show exiting plan on final plans please.
6/17/2019	GDAURIA1	COT NON-DSD	TRAFFIC	Completed	Standard improvements in the right of way will be required.
6/20/2019	SBEASLE1	TUCSON WATER NEW AREA DEVELOPMENT	REVIEW	Completed	Please contact Tucson Water New Services Section for any water service needs for this development. Thanks. Paul Baughman, PE, CFM Civil Engineer Tucson Water, 310 W Alameda St., Tucson, AZ 85701 520-837-2048
6/20/2019	ELISA HAMBLIN	ZONING	REVIEW	Completed	CDRC Thursday Pre-Submittal Transmittal PDSZ Zoning Review FROM: Elisa Hamblin, AICP; Principal Planner PROJECT: Thursday Pre-submittal meeting T19PRE0107 Address: 323 E Congress St Parcel(s): 11706166B Zoning: C-2/OCR-2 Existing Use: Commercial - Traveler's Accommodation, Lodging Proposed Use: Same TRANSMITTAL DATE: June 19, 2019 COMMENTS: 1. Development must comply with the Administrative Manual Section 2-06 - Development Package. 2. The proposal is for an expansion at the Hotel Congress, including redevelopment of the northern portion of the site for a new storage building, seating area and stage. Traveler's Accommodation, Lodging is a permitted use in the C-2 and the OCR-2 zone. Food Service is a permitted accessory use. Entertainment is a permitted accessory use, subject to use-specific standards 4.9.4.K.1, .2, .3, .4, 4.9.4.C.3, and 4.9.13.E and 4.9.13.P.

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>3. The site is located within the RNA area of the Downtown Infill Incentive District (Downtown Core). The site is also located on two major streets, Toole Av and Congress St.</p> <p>4. As noted in the application materials, modifications and exceptions to development standards can be requested through the IID process, including:</p> <ul style="list-style-type: none"> a. Major Streets and Routes Setback Zone b. Perimeter Yard Standard c. Motor Vehicle and Bicycle Parking d. Off-Street Loading e. Landscaping and Screening Standards f. Native Plant Preservation g. Solid Waste Collection <p>5. During the review of the development package, comments will be made regarding requirements and the requested modifications.</p> <p>6. Clarification is needed regarding parking provided on site and what is proposed to change with this expansion.</p> <p>7. The comments provided are preliminary and are not to be assumed as a complete review of the proposal. During the Development Package review process, a full review will be made by Zoning to assure compliance with the applicable UDC development criteria and Technical Standards.</p> <p>If you have any questions please contact me at elisa.hamblin@tucsonaz.gov or (520) 837-4966.</p>

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Permit Review Details

Permit: DP19-0190

Parcel: 11706166B

Addresses:

311 E CONGRESS ST

Review Status: **Active**

Review Details

Show entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
8/12/2019	ANY	COT NON-DSD	REAL ESTATE	Active	None
8/12/2019	GARY WITTWER	COT NON-DSD	TDOT	Active	None
8/12/2019	TOM MARTINEZ	OTHER AGENCIES	AZ DEPT TRANSPORTATION	Active	None
8/12/2019	ANY	ZONING-DECISION LETTER	REVIEW	Active	None

Permit Review Details

Permit: DP19-0190
Parcel: 11706166B

Addresses:
311 E CONGRESS ST

Review Status: **Active**

Review Details

Show entries

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Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
8/13/2019	MGAYOSS1	DESIGN PROFESSIONAL	REVIEW	Denied	8/13/2019- Project will need to go through the Rio Nuevo Area (RNA) review process, and perhaps the Downtown Infill Incentive District (IID) process.
8/16/2019	MARTIN BROWN	COT NON-DSD	FIRE	Approved	None
8/28/2019	ZELIN CANCHOLA	COT NON-DSD	TRAFFIC	Approved	None
8/28/2019	DAVID RIVERA	ZONING HC	REVIEW	Approved	None

8/28/2019 Task End Date	DAVID RIVERA Reviewer's Name	ZONING Type of Review	REVIEW Description	Reqs Change Status	Comment
					<p>CDRC TRANSMITTAL</p> <p>TO: Development Services Department Plans Coordination Office</p> <p>FROM: David Rivera PDSZ Zoning Review Section</p> <p>PROJECT: Hotel Congress Stage - Commercial Use Group / Traveler's Accommodation Use Proposed accessory uses - Detached Stage and bathrooms Development Package (1st Review) - 311 E. Congress Street DP19-0190 - OCR-2 Zoning (proposal is to be reviewed utilizing the Downtown Core IID)</p> <p>TRANSMITTAL DATE: Aug28, 2019 DUE DATE: September 10, 2019</p> <p>COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.</p> <p>Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is August 8, 2020.</p> <p>SECTION 2-06.0.0: DEVELOPMENT PACKAGE (TENTATIVE PLATS AND SITE PLANS)</p> <p>CONTENT REQUIREMENTS</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>2-06.4.3 - The administrative street address and relevant case numbers (development package document, subdivision, rezoning, board of adjustment, DDO, MDR, DSMR, overlay, etc.) shall be provided adjacent to the title block on each sheet.</p> <p>1. COMMENT: 2-06.4.3 - Provide the development package case number, DP19-0190, adjacent to the title block on each sheet.</p> <p>2. COMMENT: 2-06.4.4.B - Label the following street names on the location map: 6th Ave, Stone Ave, Church Ave, Broadway Blvd., 6th St. Alameda St., and Euclid Avenue.</p> <p>2-06.4.7 - General Notes The following general notes are required. Additional notes specific to each plan are required where applicable.</p> <p>Zoning and Land Use Notes</p> <p>3. COMMENT: 2-06.4.7.A.6 - The project site is within the Rio Nuevo - Downtown and in the Downtown Core, Downtown Infill Incentive District. It is acknowledged that the applicant intends to pursue modifications of parking per an IPP application process. List the IPP case number, date of approval and any conditions of the approval under general note 18. The IPP case number shall also be listed next to the title block of all plan sheets.</p> <p>4. COMMENT: 2-06.4.7.A.6.a - If it is determined by the Planning Staff that this project must be reviewed by the DRB, assure that any recommendations related to that review are addressed on the DP. If any additional applications such as Historic are necessary list as a general note the case number, date of approval and any conditions associated with the application. Include the case number(s) next to the tile block of all plan sheets.</p> <p>2-06.4.7.A.8 - For development package documents provide:</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>5. COMMENT: 2-06.4.7.A.8.c - It does not appear that the square footage for building 3 was included in the expansion calculation. Revise the expansion calculation accordingly.</p> <p>***For additional information on the any standard presented in this memo, please refer to the City of Tucson "Unified Development Code" - Administrative Manual Section 2-06 or Technical Standards noted in the comments. https://www.tucsonaz.gov/pdsd/all-codes-plans-determinations</p> <p>If you have any questions about this transmittal, Contact David Rivera on Tuesday, or Wednesday at (520) 837-4957 or by email David.Rivera@tucsonaz.gov or contact Steve Shields any time during the week at (520) 837-4956 or email Steve.Shields@tucsonaz.gov</p>
					RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package
8/29/2019	ROBERT SHERRY	PLUMBING-COMMERCIAL	REVIEW	Reqs Change	The rim elevation of the next upstream sanitary manhole (9885-22, 2392.68') is higher than the first floor elevation of building #3 (2391.73'). Provide a note on the plans requiring the installation of a backwater valve when future plumbing activities take place. Reference: Section 714.1, IPC 2018, as amended by the City of Tucson.
9/5/2019	SBEASLE1	COT NON-DSD	PARKS & RECREATION	Approved	No existing or proposed Tucson Parks and Recreation facilities are affected by this development. Howard B. Dutt, RLA Landscape Architect Tucson Parks & Recreation, (520) 837-8040 Howard.Dutt@tucsonaz.gov

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
9/6/2019	SBEASLE1	PIMA COUNTY	ADDRESSING	Reqs Change	<p>DP19-0190 / Hotel Congress / 1st Submittal is Conditionally Approved by Pima County Addressing subject to correcting the Site Address in the Title Block and acknowledging that this site will be addressed as 311 E Congress St Buildings #1, 2, and 3 and that all additional addresses will be retired.</p> <p>Please let me know if you have any questions. Thank you, Robin Freiman, Addressing Official Pima County Development Services Department 201 N Stone AV - 4th Floor Tucson, AZ 85701 (520) 724-7570</p>
9/9/2019	LOREN MAKUS	ENGINEERING	REVIEW	Approved	None

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
9/9/2019	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	<p>The development package will contain the following identification in the lower right corner of each sheet:</p> <p>Any relevant case numbers for reviews or modifications that affect the site.</p> <p>Provide the development package case number, DP19-0190. Including any other case numbers and conditions that are attached to the site.</p> <p>The site is located within the RNA area of the Downtown Infill Incentive District (Downtown Core).</p> <p>The following applies:</p> <p>5.12.10. DOWNTOWN CORE SUBDISTRICT (DCS)</p> <p>A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDS Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers in accordance Section 5.12.6.A.2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalk is allowed if no safety hazard is created. All pedestrian access must conform to the accessibility standards of the City's Building Code.</p> <p>Additional comments may apply upon subsequent reviews.</p>

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Parcel Number: 117-06-166B

Property Address			
Street Number	Street Direction	Street Name	Location
306	E	10TH ST	Tucson
310	E	10TH ST	Tucson
308	E	10TH ST	Tucson
4	N	5TH AV	Tucson
6	N	5TH AV	Tucson
309	E	CONGRESS ST	Tucson
307	E	CONGRESS ST	Tucson
311	E	CONGRESS ST	Tucson
315	E	CONGRESS ST	Tucson
317	E	CONGRESS ST	Tucson
319	E	CONGRESS ST	Tucson
321	E	CONGRESS ST	Tucson
323	E	CONGRESS ST	Tucson
303	E	CONGRESS ST	Tucson
305	E	CONGRESS ST	Tucson

Contact Information	
Property Owner Information:	Property Description:
311 EAST CONGRESS LLC 311 E CONGRESS ST TUCSON AZ 85701-1811	TUCSON WLY PTN LOT 11 BLK 84 & PTN LOTS 2 & 3 BLK 91 & PTN ABAND RD ADJ TO BLK 84 & 91

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2019	COMMERCIAL (1)	18.0	\$468,720	\$1,631,280	\$2,100,000	\$1,684,663	\$303,239
2020	COMMERCIAL (1)	18.0	\$468,720	\$1,912,098	\$2,380,818	\$1,768,896	\$318,401

Property Information					
Township:	14.0	Section:	12	Range:	13.0E
Map:	3	Plat:	71	Block:	091
Tract:		Land Measure:	23,436.00F	Lot:	00002
Census Tract:	100	File Id:	1	Group Code:	
Use Code:	0411 (HOTEL 2 TO 4 STORIES)			Date of Last Change:	8/27/2012

Valuation Area

District Supervisor: RICHARD ELIAS District No: 5

DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	03071 DEL	30

Recording Information (4)

Sequence No.	Docket	Page	Date Recorded	Type
20100180677	13734	2675	1/28/2010	DEED
20060010034	12712	195	1/3/2006	
20041560998	12364	4099	8/12/2004	
0	7812	1893	6/24/1986	

Commercial Characteristics

Property Appraiser: Mark Baudendistel Phone: (520) 724-7458

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	28,079	\$1,232,104	\$0	\$1,912,098

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1954	043/3	0000000	28,079	\$3,136,116	\$1,179,180	HOTEL FULL SERVICE
001-002	1954	041/3	0000000	0	\$115,522	\$43,436	HOTEL
002-001	1990	290/3	0000000	0	\$25,431	\$9,488	PARKING LOT

Permits (8)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T00CM05667	CALT ~ FINAL	02/26/2001	06/14/2001	TUC	\$90,000	6,480					
Description: REMODEL RESTAURANT : 1492 SF - KITCHEN/DINING											
T98CM03232	CALT ~ FINAL	09/03/1998	10/22/1998	TUC	\$40,000	0					
Description: TI:HOTEL											
T98EL01155	COTH ~ FINAL	06/25/1998	06/29/1998	TUC	\$0	0					
Description: RECONNECT:ELECTRIC:RESTAURANT STORAGE											
T17CM03724	COTH ~ FINAL	07/26/2017	09/14/2017	TUC	\$150,000	0	3/*				
Description: REPL & IMPROVE HVAC											
T16BU00043	COTH ~ FINAL	01/22/2016	08/24/2016	TUC	\$7,800	0	3/*				
Description: New Retrofit Wireless Fire Alarm System											
T10BU01930	COTH ~ FINAL	12/30/2010	05/13/2011	TUC	\$1,061	0	3/*	01/05/2011	01/05/2011		0
Description: TENTS:30X30 & 20 x 20 NEW YEARS PARTY											
T10CM00880	COTH ~ FINAL	06/04/2010	10/18/2010	TUC	\$110,000	0		06/14/2010	06/14/2010		0
Description: NEW AC IN ALL OF 2ND FLOOR; HOTEL CONGRESS											
T05CM05766	CADD ~ FINAL	01/06/2006	04/20/2006	TUC	\$0	0					
Description: NEW FENCE 6FT H X 150LF & DUMPSTER ENCLOSURE											

Notes (5)

Created: 5/26/2010 Modified: 5/26/2010	2010 COMBO/ABAND: NO CHANGE
Created: 5/19/2010 Modified: 5/19/2010	2010Combo/Aband. - No change to use code at 0411. No change to Lnd/Imp class at 1/0(100%Comm). PCL 102A & PCL 166A become PCL 166B. Moved Imps(Seq002-Sect001&Sect002 and Seq003-Sect001) from PCL166A to new PCL 166B. No Imps on PCL 102A.
Created: 3/31/2010 Modified: 3/31/2010	RD. ABAND. 13734/2675
Created: 3/31/2010 Modified: 3/31/2010	PER AERIAL IMPROVEMENTS ON THIS PARCEL AND PER TREASURER TAXES ARE CURRENT.
Created: 3/31/2010 Modified: 3/31/2010	2010 COMBO OF 117-06-102A AND 117-06-166A AND ABANDONMENT OF RD FROM CITY OF TUCSON PER 13734/2675. AREA CALC. BY ADDING APIQ LAND MEAS. FROM PARENT 117-06-166A (21,320 SF.) AND W:\TRAVCAD\13734V2675.DWG (2,116 SF)=23,436.



Pima County Geographic Information Systems

Parcel 117-06-166B

Read the [Disclaimer](#). Information on this page is **unofficial**.

Mail name and address

117-06-166B
311 EAST CONGRESS LLC
311 E CONGRESS ST
TUCSON AZ 85701-1811

Legal description

TUCSON WLY PTN LOT 11 BLK 84 & PTN LOTS 2 & 3
BLK 91 & PTN ABAND RD ADJ TO BLK 84 & 91

Situs (property) address

[\(About situs addresses\)](#)

Street Address	Jurisdiction	Postal City	Zip Code	
306 E 10TH ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
308 E 10TH ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
310 E 10TH ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
4 N 5TH AV	TUCSON	TUCSON	85701	ZIP+4 Lookup
6 N 5TH AV	TUCSON	TUCSON	85701	ZIP+4 Lookup
303 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
305 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
307 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
309 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
311 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
315 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
317 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
319 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
321 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup
323 E CONGRESS ST	TUCSON	TUCSON	85701	ZIP+4 Lookup

Information for this parcel

- **For Assessor parcel details**, copy and paste Parcel ID **11706166B** into the [Pima County Assessor's Parcel Search](#). We cannot link directly. Also see [Assessor Record Maps](#).
- [Real Estate Property Tax Inquiry](#) and [Property Tax Statement](#) from the [Pima County Treasurers's Office](#).
- **Recorded Information** from the [Pima County Recorder's Office](#)
 - [Recorded Document](#) for Docket 13734, Page 2675, Sequence Number 20100180677.

