

ZONING AND LAND USE NOTES

1. THE EXISTING ZONING: C-2 AND C-3.
2. THE GROSS AREA OF THIS DEVELOPMENT IS BLOCK "5A" 144,256 S.F. (3.31 ACRES) PLUS A PORTION OF BLOCK "5B" 22,098 SF (0.50 AC) = 166,354 SF (3.82 AC). THE DISTURBANCE AREA OF THIS DEVELOPMENT IS 238,230 S.F. (5.47 ACRES).
3. THE EXISTING USE IS VACANT LAND.
4. THE PROPOSED USES ARE AS FOLLOWS:
RESIDENTIAL (APARTMENTS)
(RESIDENTIAL FLOORS 1-4 AND BASEMENT PARKING GARAGE) = 786,062 SQ. FT.
5. BUILDING HEIGHTS= 60 FT (60' MAX.), 4 FLOORS, PLUS BASEMENT PARKING GARAGE
6. LOT COVERAGE = 123,903.98 S.F. (S.F. OF BUILDING AND BASEMENT FOOTPRINT)
7. AUTOMOBILE PARKING: SEE SHEET 5.
8. BICYCLE PARKING: SEE SHEET 5.

DRAINAGE NOTES

1. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
2. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
3. PER LOMR #11-09-1389A REVALIDATED 07-09-1469V, THE PROPERTY HAS BEEN REMOVED FROM THE FLOODPLAIN.

STREETS AND ROADS NOTES

1. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
2. TOTAL MILES OF NEW PUBLIC AND/OR PRIVATE STREETS IS 0.

UTILITIES NOTE

1. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

WASTEWATER MANAGEMENT NOTES

1. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, OR AS CURRENTLY AMENDED.
2. THE ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHT-OF-WAYS, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT.
3. MAINTENANCE AND OPERATION OF THE PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
4. THIS PROJECT WILL HAVE 0 EXISTING AND _____ PROPOSED WASTEWATER FIXTURE UNIT EQUIVALENTS PER TABLE 13.20.045(E)(1) IN PIMA COUNTY CODE 13.20.045(E).
5. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY WASTEWATER MANAGEMENT.

GENERAL NOTES

1. BASIS OF BEARING: THE CENTER LINE OF CONGRESS STREET BETWEEN THE CROSSED OUT SEWER MANHOLE AT THE INTERSECTION OF CONGRESS AND GRANADA STREETS TO THE CHISELED "*" ON THE BRIDGE OVER THE SANTA CRUZ RIVER AS SHOWN ON THE FINAL SUBDIVISION PLAT OF MERCADO DISTRICT OF MENLO PARK, RECORDED IN BOOK 60 OF MAPS AND PLATS AT PAGE 83. SAID BEARING BEING N 83°53'19" E.
2. BASIS OF ELEVATION: BASIS OF ELEVATION IS AN "*" ON THE SOUTHWEST CORNER OF THE HOUSE WALK AT 905 W. CONGRESS STREET AS SHOWN WITHIN THE CITY OF TUCSON FIELD BOOK "FB1989X, PAGE 11", BEING NAVD 1988 DATUM. ELEVATION IS 2351.101.
3. ALL WEATHER ACCESS WILL BE PROVIDED TO THIS DEVELOPMENT.
4. "NO PARKING-FIRE LANE" SIGNS SHALL BE PROVIDED AS NEEDED TO PROVIDE 20' CLEAR UNOBSTRUCTED WIDTH ALONG ALL FIRE APPARATUS ACCESS ROADWAYS IN ACCORDANCE WITH THE TUCSON FIRE CODE.
5. THE PROPERTY OWNER SHALL PERIODICALLY INSPECT AND MAINTAIN ON-SITE DRAINAGE FACILITIES SO THAT STORM WATER RUNOFF ACROSS THE SITE IS NOT OBSTRUCTED BY TRASH, SEDIMENT AND OTHER DEBRIS AND SO THAT DRAINAGE STRUCTURES REMAIN OPERABLE.
6. THE OWNER SHALL BE RESPONSIBLE FOR THE OPERATION, MAINTENANCE, AND LIABILITY FOR ON-SITE DRAINAGE IMPROVEMENTS. THE OWNER SHALL MAINTAIN FOR REVIEW UPON THE WRITTEN REQUEST BY CITY STAFF, A RECORD OF ANNUAL CERTIFIED INSPECTION REPORTS FOR THE DRAINAGE FACILITIES. THE CITY STAFF MAY PERIODICALLY INSPECT THE DRAINAGE FACILITIES TO VERIFY THAT MAINTENANCE ACTIVITIES ARE BEING PERFORMED ADEQUATELY. THE OWNER OR OWNERS AGREE TO REIMBURSE THE CITY FOR ANY AND ALL COSTS ASSOCIATED WITH THE MAINTAINING OF THE DRAINAGE STRUCTURES AND DETENTION/RETENTION SYSTEM, SHOULD THE CITY FIND THE OWNER OR OWNERS DEFICIENT IN THEIR OBLIGATION TO ADEQUATELY OPERATE AND MAINTAIN THEIR FACILITIES.
7. ANY LIGHTS USED TO ILLUMINATE OUTDOOR ACTIVITY SHALL BE ARRANGED SO AS TO REFLECT THE LIGHT AWAY FROM ADJACENT PROPERTY AND COMPLY WITH THE OUTDOOR LIGHTING CODE IN CHAPTER 6 OF THE TUCSON CODE.
8. THE GOVERNING ACCESSIBILITY CODE IS 2006 IBC, CHAPTER 11 AND ICC A117.1, 2009 EDITION.
9. A RIGHT-OF-WAY USE PERMIT WILL BE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
10. CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PDS PRE-CONSTRUCTION MEETING OR GENERAL ENGINEERING INSPECTIONS, CALL IVR (740-6970), OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PDS ENGINEERING AT 791-5550 EXTENSION 2101, OR SCHEDULE INSPECTIONS ONLINE AT: http://www.ci.tucson.az.us/dsd/Online_Services/Online_Permits/onlinepermits.html

LEGAL DESCRIPTION

MISSION DISTRICT SQ20110840249 NLY PTN BLOCK 5

OWNER
PEG TUC BAUTISTA, LLC
ATTN: TREVOR ELLIS
180 N. UNIVERSITY AVE., SUITE 200
PROVO, UT 84601

ARCHITECT
LIZARD ROCK DESIGNS, LLC
1640 E. RIVER ROAD TUCSON, AZ 85718
ATTN: TOM MCQUILLEN
PHONE: 520-882-4484

CIVIL ENGINEER
THE WLB GROUP, INC.
4444 E BROADWAY BLVD TUCSON, AZ 85711
ATTN: DAVID LITTLE, PE
PHONE: 520-881-7480
DLITTLE@WLBGROUP.COM

EARTHWORK QUANTITIES
(FOR PERMITTING ONLY)
CUT= XXXX C.Y.
FILL= XXXX C.Y.
NET= XXXX C.Y.
(ESTIMATED QUANTITIES DO NOT INCLUDE SUBSIDENCE AND SHRINK)

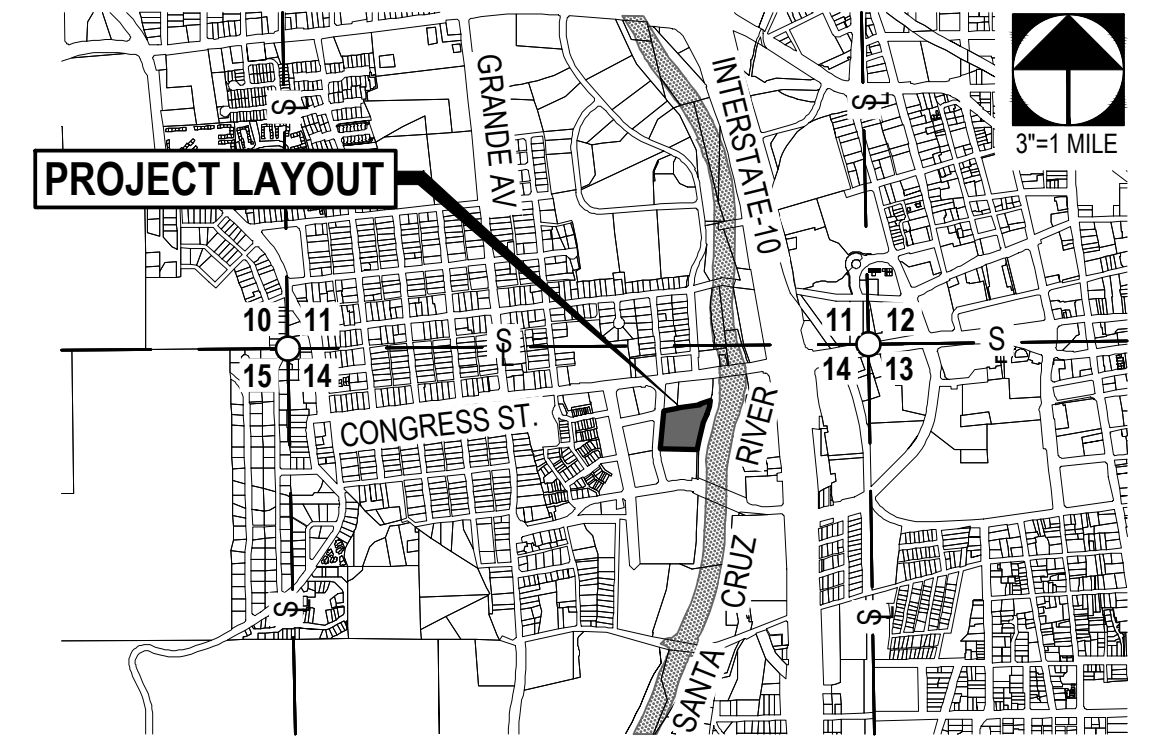
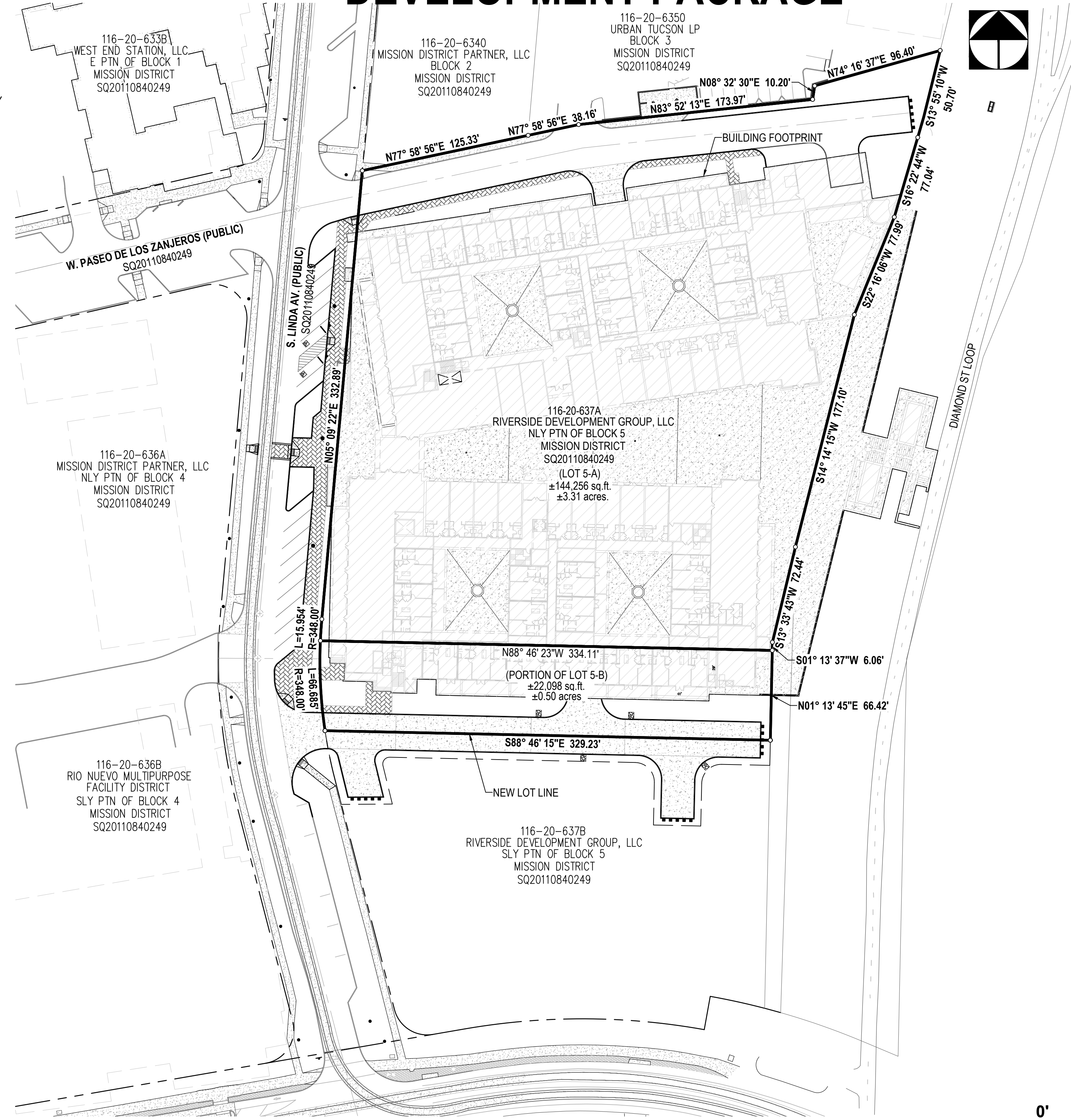
BAUTISTA MIXED-USE PROJECT

256 APARTMENTS/COMMERCIAL UNITS

165 SOUTH LINDA AVENUE TUCSON, AZ 85745

NORTHERLY OF BLOCK "5" AND A PORTION OF SOUTHERLY OF BLOCK "5" OF MISSION DISTRICT PER SEQ. 20110840249

DEVELOPMENT PACKAGE



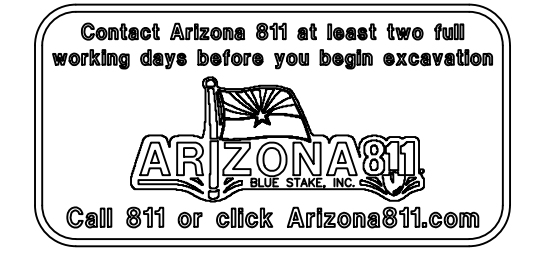
LOCATION MAP
BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST GILA AND SALT RIVER MERIDIAN, TUCSON, PIMA COUNTY ARIZONA

SHEET INDEX

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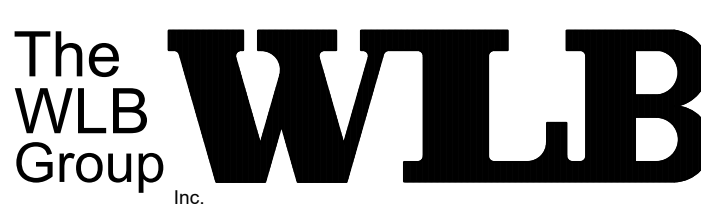
NEW	LEGEND	EXISTING
	PROJECT BOUNDARY	
	RIGHT-OF-WAY LINE	
	LOT LINE	
	EASEMENT	
	CENTERLINE	
	VERTICAL CURB	
	SIDEWALK	
	PAVEMENT	
	PAVEMENT MARKING	
	WALL/PARAPET	
	STORMDRAIN SYSTEM	
	SANITARY SEWER SYSTEM	
	POTABLE WATER SYSTEM	
	OVERHEAD ELECTRIC	
	BUILDING	
	SURVEY MONUMENT	
	SECTION CORNER	
	LIGHT POLE	
	SPOT ELEVATION	
	TYPICAL CROSS SEC. CALL OUT	

ADMINISTRATIVE ADDRESS
165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s
CX-XX-XX

DP21-



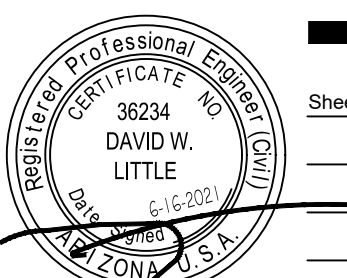
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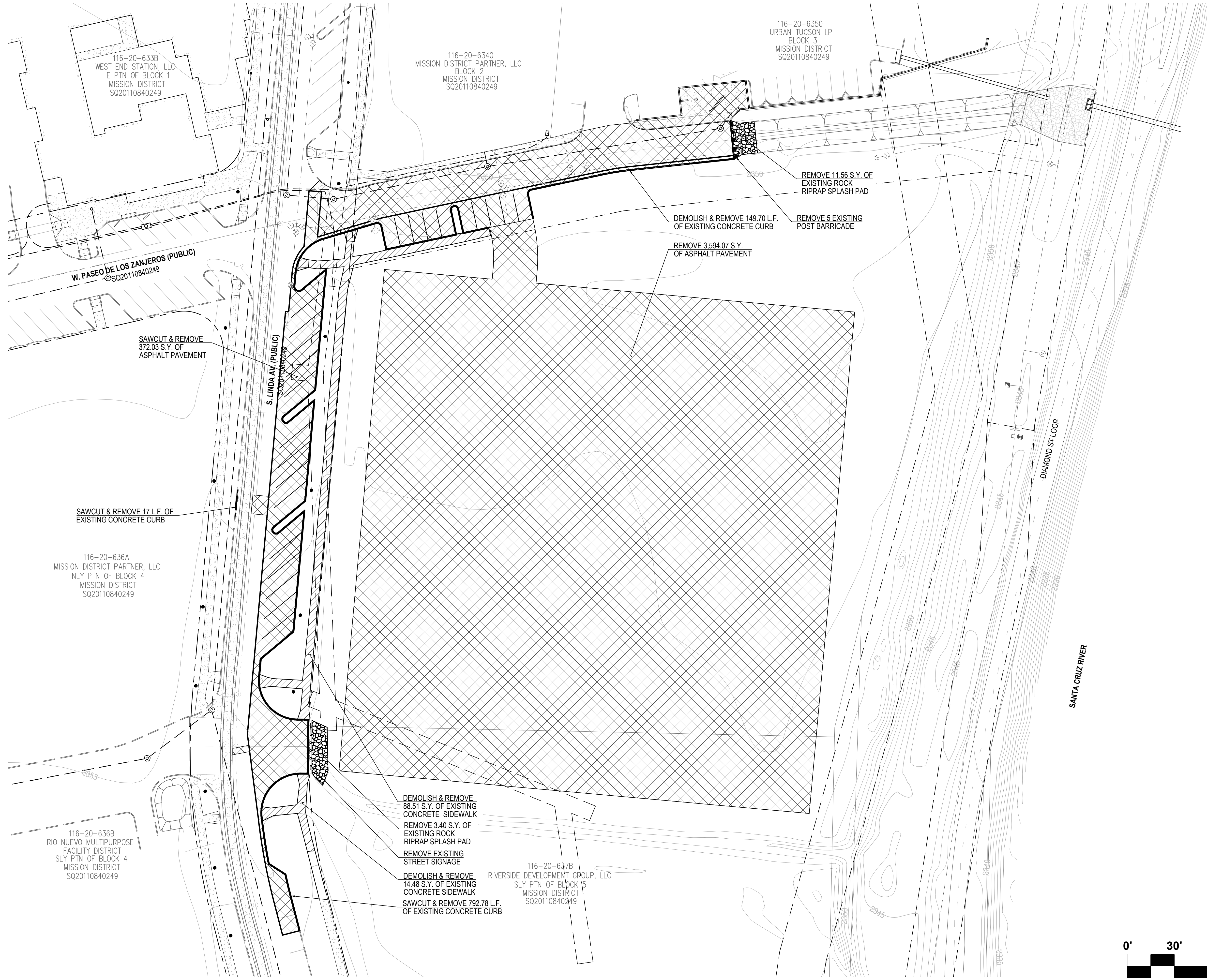
BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
NLY PTN OF BLOCK 5 AND A PORTION OF SLY OF BLOCK 5 OF MISSION DISTRICT PER SEQUENCE NUMBER 20110840249
BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

Sheet Title	No.	Date	Item
DEVELOPMENT PACKAGE			
COVER SHEET			
File: Q:\103010\Q-001 Bautista Plaza\04 Flatt\02 DPDP_Bautista_01-Cover.dwg Plot Date: 6/16/2021 3:30 PM By: jlemando			
Revisions			

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Job No.	JUNE 2021
Date	JF
Designed By	DWL
Checked By	

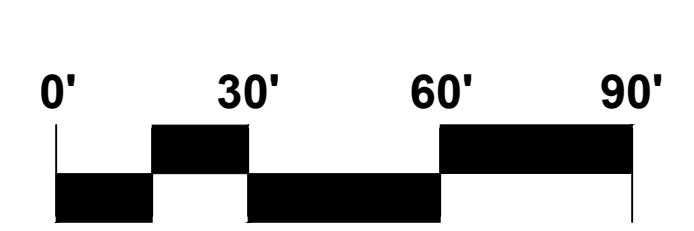
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Job No.	23	
Date		
Designed By		
Checked By		



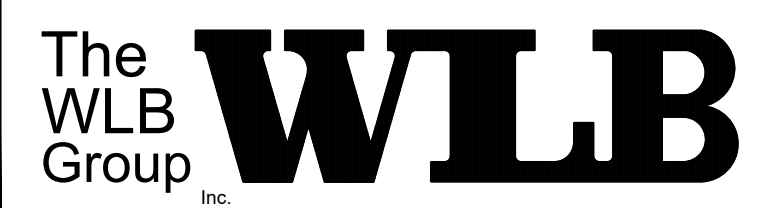


- GENERAL DEMOLITION NOTES**
- ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE ORDINANCES, REGULATIONS AND APPLICABLE CODES OF THE CITY OF TUCSON AND WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
 - ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS (WHICH ARE TO REMAIN IN PLACE) RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT THOSE EXISTING IMPROVEMENTS ARE SHOWN ON THIS PLAN.
 - IF ANY UNKNOWN SUB-SURFACE STRUCTURE IS ENCOUNTERED DURING DEMOLITION, IT SHOULD BE BROUGHT TO THE ATTENTION OF THE SUPERVISING CIVIL ENGINEER AND THE PROJECT MANAGER PRIOR TO PROCEEDING WITH THE WORK.
 - DUST SHALL BE CONTROLLED BY WATERING.
 - PRIOR TO COMMENCING ANY DEMOLITION WORK, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT WATER METER FROM THE CITY OF TUCSON WATER DEPARTMENT AND THE METER SHALL BE USED AT ALL TIMES WHEN WATER IS BEING OBTAINED FROM A CITY OF TUCSON FIRE HYDRANT.
 - THE LOCATION AND PROTECTION OF ALL UTILITIES AND SURVEY MONUMENTS OF EVERY NATURE, WHETHER OR NOT THEY ARE SHOWN ON THESE DRAWINGS, ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BEAR THE TOTAL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES AND SURVEY MONUMENTS THAT HAVE BEEN DAMAGED OR DESTROYED DURING DEMOLITION.
 - ALL ONSITE IMPROVEMENTS WHICH ARE TO BE REMOVED OFFSITE SHALL BE PROPERLY HANDLED AND DISPOSED OF IN COMPLIANCE WITH EXISTING TOWN, COUNTY, STATE AND FEDERAL GUIDELINES AND REGULATIONS.
 - CONTRACTOR SHALL CONTACT THE UNDERGROUND SERVICE ALERT, 811 OR 602-263-1100, 48 HOURS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION, FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES OF RECORD NOT SHOWN ON THIS DRAWING.
 - ADEQUATE BARRICADES, LIGHTS, FLAGMEN, SIGNS AND OTHER SAFETY DEVICES SHALL BE PROVIDED AS SPECIFIED IN THE TRAFFIC MANUAL PUBLISHED BY THE STATE OF ARIZONA DEPARTMENT OF TRANSPORTATION LATEST EDITION AND THE CITY OF TUCSON.
 - EXISTING CITY STREETS SHALL BE KEPT CLEAN OF ALL MATERIALS RESULTING FROM THE DEMOLITION OPERATIONS. THE STREET RIGHT OF WAY SHALL BE CLEANED UP DAILY, AS NECESSARY, TO MAINTAIN SAFE PEDESTRIAN AND VEHICULAR PASSAGE AT ALL TIMES.
 - ANY MODIFICATIONS OF OR CHANGES IN APPROVED DEMOLITION PLANS MUST BE APPROVED BY THE SUPERVISING ENGINEER AND OWNER.
 - A COPY OF THE DEMOLITION PERMIT AND APPROVED DEMOLITION PLAN MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
 - CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY THE SUPERVISING ENGINEER, OWNER OR GOVERNING AUTHORITIES RETURN ADJACENT AREAS TO THE CONDITION EXISTING PRIOR TO START OF WORK.
 - CONTRACTOR IS REQUIRED TO OBTAIN A DEMOLITION PERMIT AND UTILITY DISCONNECTION PERMITS FROM THE CITY OF TUCSON AND UTILITY COMPANIES AS REQUIRED PRIOR TO COMMENCING ANY DEMOLITION WORK.
 - TO PROTECT THE PUBLIC, THE SITE SHALL BE SECURED WITH FENCING OR OTHER MEANS TO PREVENT PUBLIC ACCESS ONTO THE SITE DURING THE DEMOLITION PROCESS.
 - AN INSPECTION BY PSD AFTER THE DEMOLITION TO BE COMPLETED THAT WILL VERIFY THE PROPERTY HAS BEEN STABILIZED IN A MANNER THAT WILL PROVIDED PROTECTION FROM SAFETY AND ENVIRONMENTAL HAZARDS, INCLUDING BUT NOT LIMITED TO STABILIZATION OF THE SOIL TO PREVENT EROSION OR DUST. THE INSPECTOR MUST BE PROVIDED DOCUMENTATION THAT THE DISCONNECTION AND CAPPING OF ALL UTILITIES HAS BEEN PROVIDED FOR THE DEMOLITION.

ADMINISTRATIVE ADDRESS
165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s
CX-XX-XX
DP21-



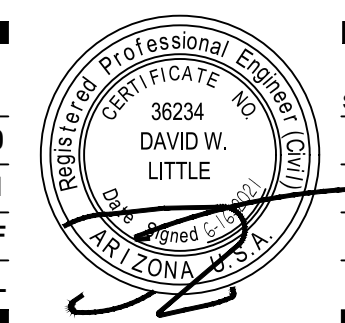
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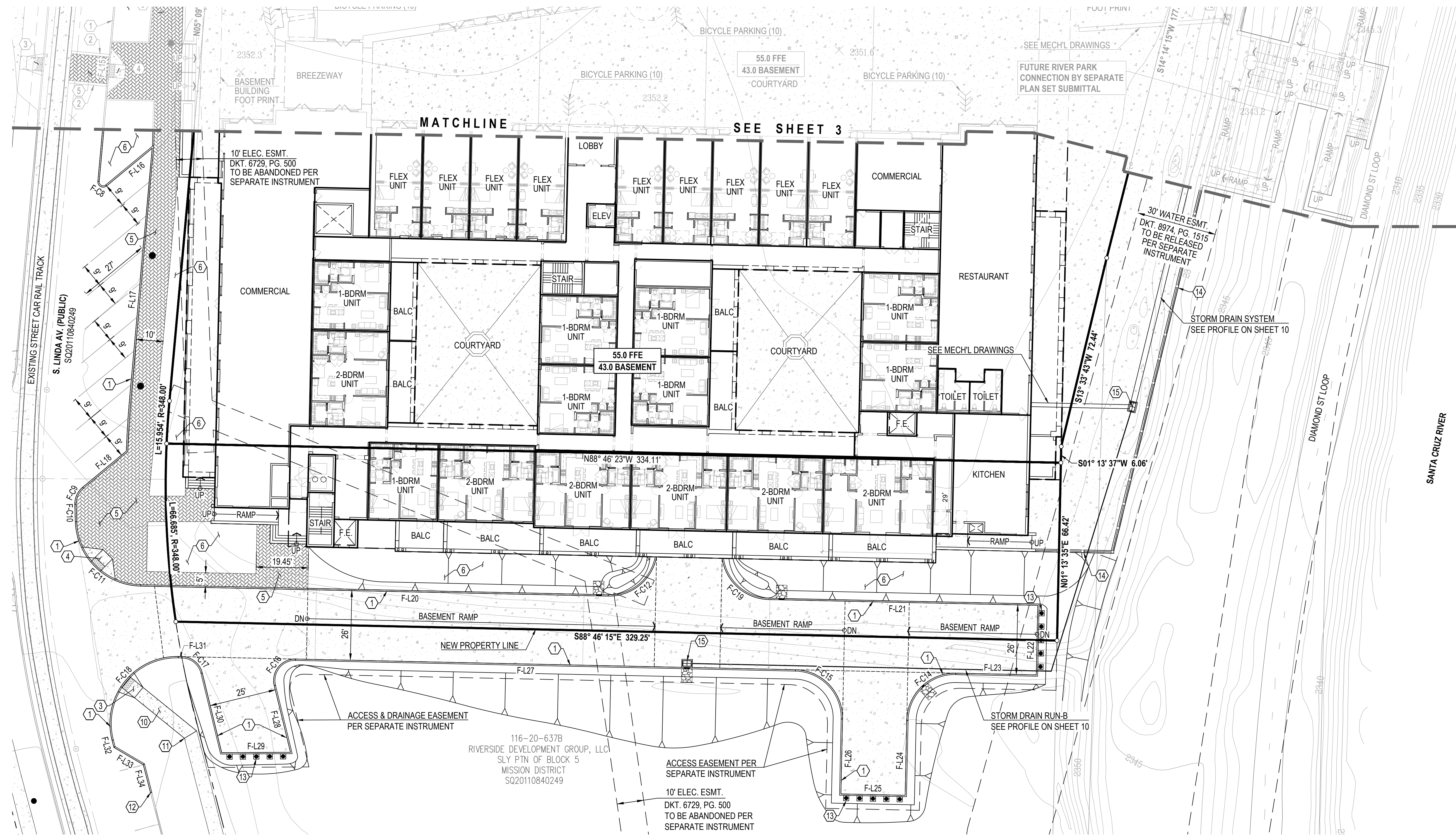
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DEMOLITION PLAN
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Job No. 113010-Q-001-0105/0600
Date JUNE 2021
Designed By JF
Checked By DWL



Sheet **2**
23



- CONSTRUCTION KEY NOTES**
- 1 NEW 6" REVEAL VERTICAL CURB TYPE-2 PER PAG STD. DTL. 209.
 - 2 NEW 6" CONCRETE HEADER PER PAG STD. DTL. 213.
 - 3 NEW CURB ACCESS RAMP (DIRECTIONAL) TYPE 2 PER PAG STD DTL SD 207.
 - 4 NEW MODIFIED CURB ACCESS RAMP PER DTL. 4, SHT. 11
 - 5 NEW INTERLOCKING PAVERS PER LANDSCAPE PLAN.
 - 6 LANDSCAPED AREA SEE LANDSCAPE PLAN.
 - 7 HANDICAP PARKING SIGN, SEE DTL. 3, SHT. 11
 - 8 HANDICAP PARKING PAVEMENT MARKING SIGN, SEE DTL. 1, SHT. 11
 - 9 CONCRETE WHEEL STOP, SEE DTL. 2, SHT. 11
 - 10 NEW 5' WIDE SIDEWALK PER PAG STD. DTL. 200.
 - 11 CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER PAG STD. DTL. 203.
 - 12 CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211.
 - 13 TYPE-B POST BARRICADE PER PAG STD. DTL. 106.
 - 14 RETAINING WALL BY OTHERS.
 - 15 TYPE 4 CATCH BASIN WITH 1 EF-1 GRATE PER PAG STD. DTL. 309.

FACE OF CURB LINE TABLE

LINE	BEARING	DISTANCE
F-L1	N83°52'13"E	168.19'
F-L2	S06°07'47"E	26.00'
F-L3	S83°52'13"W	30.82'
F-L4	S06°07'47"E	1.71'
F-L5	N08°40'03"W	5.20'
F-L6	S83°52'13"W	78.85'
F-L7	S08°40'03"E	9.43'
F-L8	N08°40'03"W	10.47'
F-L9	S77°58'56"W	162.02'
F-L10	S73°25'52"W	13.26'
F-L11	S05°09'22"W	8.54'
F-L12	N50°09'43"E	19.76'

FACE OF CURB LINE TABLE

LINE	BEARING	DISTANCE
F-L13	S05°09'22"W	97.58'
F-L14	S50°09'22"W	24.93'
F-L15	S05°09'05"W	75.23'
F-L16	N50°23'54"E	22.08'
F-L17	S05°09'22"W	93.42'
F-L18	S50°23'54"E	21.21'
F-L19	S88°46'28"E	174.62'
F-L20	S88°46'28"E	100.50'
F-L21	S01°13'32"W	26.00'
F-L22	N88°46'15"W	30.08'
F-L23	S01°13'46"W	28.00'
F-L24	N88°46'14"W	24.00'

FACE OF CURB LINE TABLE

LINE	BEARING	DISTANCE
F-L26	N01°13'46"E	27.99'
F-L27	N88°46'28"W	186.76'
F-L28	S13°41'30"E	25.66'
F-L29	S89°40'20"W	25.70'
F-L30	N13°41'30"W	30.64'
F-L31	N88°46'28"W	1.36'
F-L32	S14°30'03"E	2.77'
F-L33	S59°30'03"E	12.73'
F-L34	S14°30'03"E	10.80'

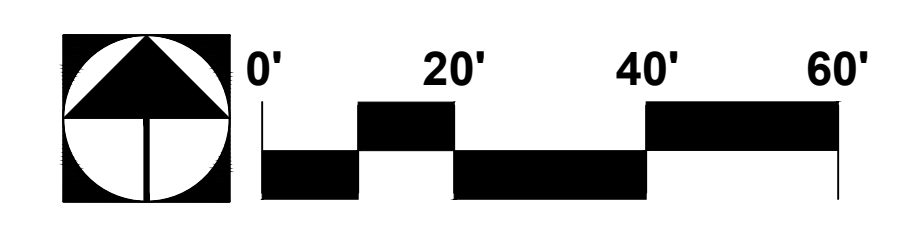
FACE OF CURB CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
F-C1	90°00'00"	10.00'	15.71'
F-C2	87°27'44"	10.00'	15.27'
F-C3	92°32'16"	18.00'	29.07'
F-C4	93°21'01"	18.00'	29.33'
F-C5	68°16'30"	25.00'	29.79'
F-C6	134°59'39"	3.00'	7.07'
F-C7	45°00'17"	5.00'	3.93'
F-C8	134°45'11"	2.00'	4.70'
F-C9	51°29'32"	8.00'	7.19'
F-C10	0°58'20"	382.00'	6.48'
F-C11	86°42'30"	25.00'	37.83'
F-C12	79°56'35"	18.09'	25.25'

FACE OF CURB CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
F-C14	89°45'36"	18.00'	28.19'
F-C15	90°00'38"	18.00'	28.28'
F-C16	104°56'03"	8.00'	14.65'
F-C17	75°04'58"	8.00'	10.48'
F-C18	105°43'35"	25.00'	46.13'
F-C19	80°23'06"	18.01'	25.26'

ADMINISTRATIVE ADDRESS
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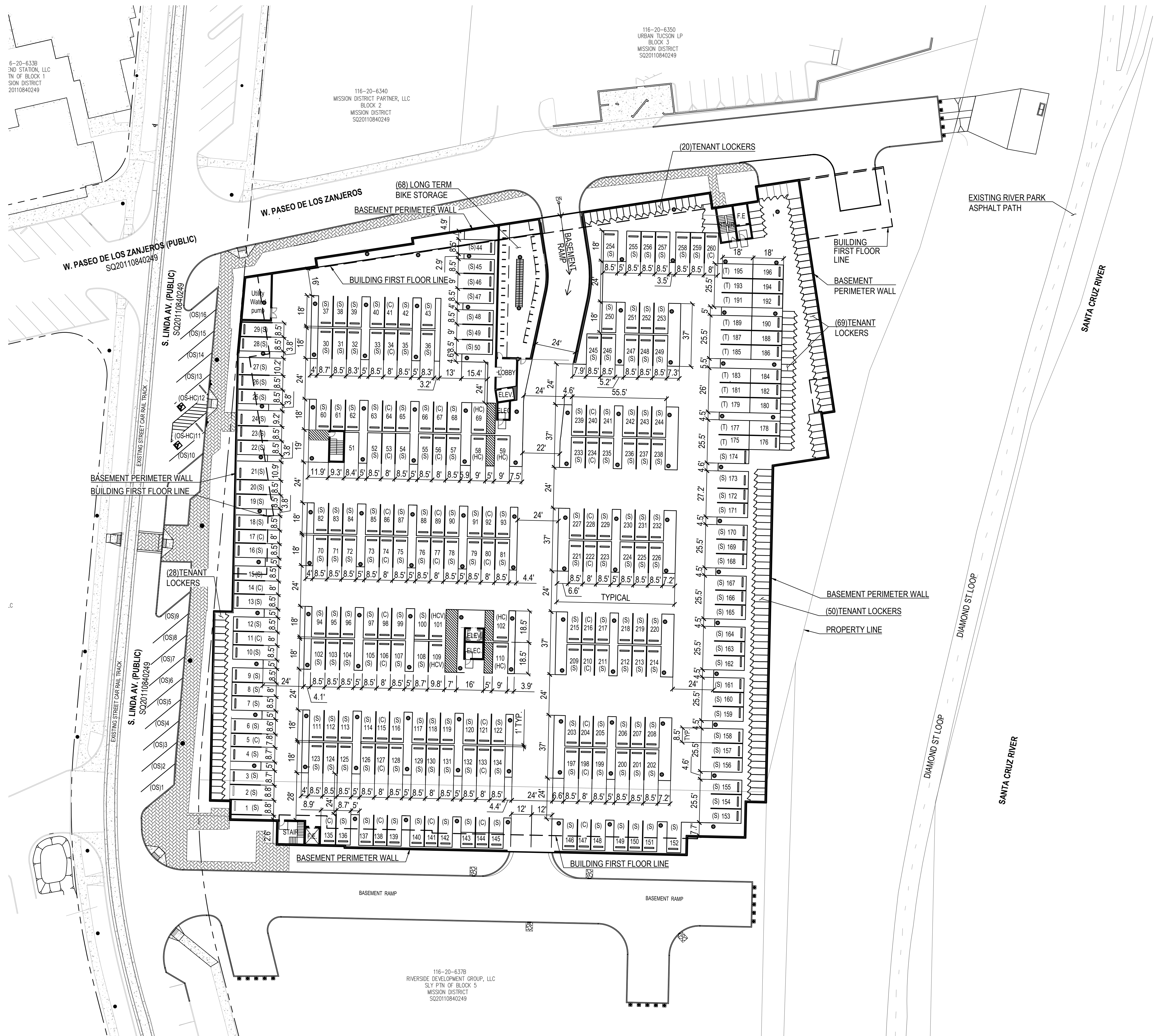
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BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

Sheet Title
DEVELOPMENT PACKAGE
SITE PLAN
File:Q:\103010\Q-001 Bautista Plaza\04 Flating\02 DPDP_Bautista_03-04-Site Plan.dwg Plot Date:6/16/2021 3:43 PM By:fernando

No.	Date	Item	Scale
			113010-Q-001-0105/0600
			JUNE 2021
			JF
			DWL

Sheet **4**
23



LEGEND

23	PARKING COUNT
(S)	STANDARD PARKING (8.5' X 18')
(C)	COMPACT CAR PARKING (8' X 18')
(T)	TANDEM PARKING (8.5' X 36')
(HC)	HANDICAP PARKING (9' X 18')
(HCV)	HANDICAP PARKING VAN ACCESSIBLE (9.8' X 18')
(OS)	ON-STREET PARKING
(OS-HC)	ON-STREET HANDICAP PARKING

REQUIRED PARKING:

USE	GFA	SPACE/GFA	SPACES
RETAIL	13,320	300	45
RESTAURANT	8094	100	81
1 SPACE PER APARTMENT: 265 SPACES			
TOTAL REQUIRED PARKING: 392 SPACES			
TOTAL PROVIDED IN PARKING GARAGE: 260 SPACES			
ADDITIONAL PARKING WILL BE PROVIDED FOR OFFSITE. AN INDIVIDUAL PARKING PLAN (IPP) WILL BE PREPARED AND SUBMITTED ALONG WITH THE SECOND SUBMITTAL OF THE DEVELOPMENT PACKAGE AND THE INFILL INCENTIVE DISTRICT (IID) APPLICATION.			

BICYCLE PARKING:

SHORT TERM

- MULTI-FAMILY DWELLINGS
 - 0.10/BEDROOM
 - 0.10 X 389 = 39 SPACES
- RETAIL
 - 1 SPACE PER 5,000 SQ. FT. GFA
 - 13,320/5,000 = 3 SPACES
- RESTAURANT
 - 1 SPACE PER 2,000 SQ. FT. GFA
 - 8,094/2,000 = 5 SPACES

TOTAL= 47 SPACES

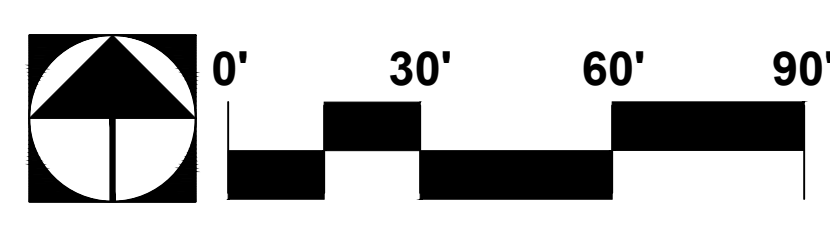
LONG TERM

- MULTI-FAMILY DWELLINGS
 - 0.50/BEDROOM
 - 0.50 X 389 = 195 SPACES
- RETAIL
 - 1 SPACE PER 12,000 SQ. FT. GFA
 - 13,320/12,000 = 2 SPACES
- RESTAURANT
 - 1 SPACE PER 12,000 SQ. FT. GFA
 - 8,094/12,000 = 1 SPACE

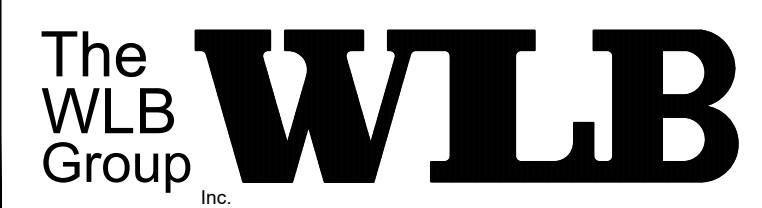
TOTAL= 198 SPACES

BASEMENT PARKING AND LOCKERS
 TOTAL # PARKING SPACES = 260 (INCLUDES 11 TANDEM STALLS)
 TOTAL # OF BICYCLE LONG TERM STORAGE PROVIDED: 38+167= 205
 *TENANT LOCKERS
 SEE SHEET 3 FOR LOCATION OF 50 PROVIDED SHORT TERM BICYCLE SPACES

ADMINISTRATIVE ADDRESS
 165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s
 CX-XX-XX
 DP21-



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BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
 NLY PTN OF BLOCK 5 AND A PORTION OF SLY OF BLOCK 5 OF MISSION DISTRICT PER SEQUENCE NUMBER 20110840249
 BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

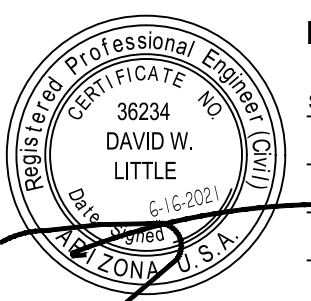
Sheet Title
DEVELOPMENT PACKAGE

BASEMENT PARKING LAYOUT
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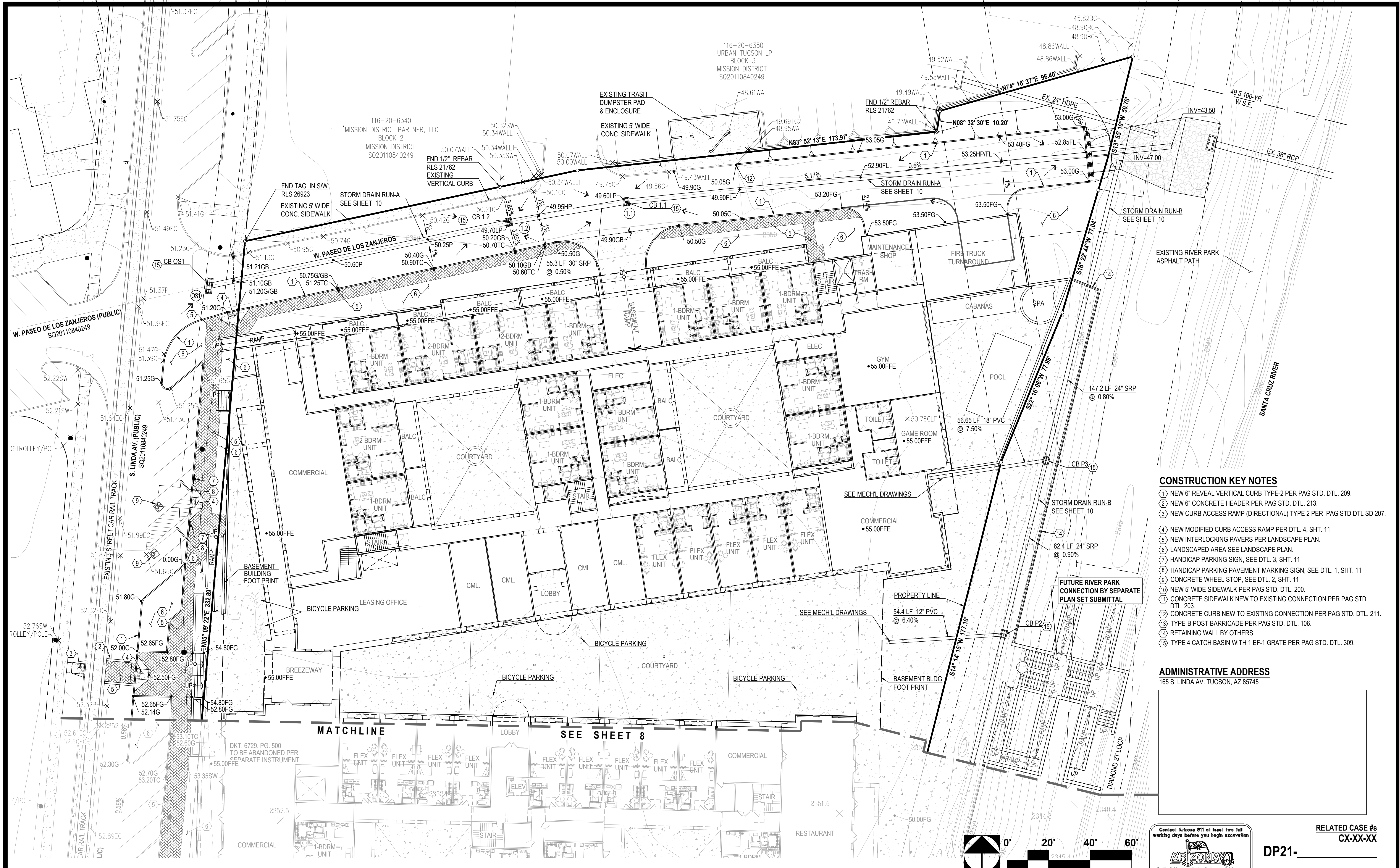
No.	Date	Item

No.	Date	Item

Scale
 Job No. 113010-Q-001-0105/0600
 Date JUNE 2021
 Designed By JF
 Checked By DWL



Sheet **5**
 23



- CONSTRUCTION KEY NOTES**
- ① NEW 6" REVEAL VERTICAL CURB TYPE-2 PER PAG STD. DTL. 209.
 - ② NEW 6" CONCRETE HEADER PER PAG STD. DTL. 213.
 - ③ NEW CURB ACCESS RAMP (DIRECTIONAL) TYPE 2 PER PAG STD DTL SD 207.
 - ④ NEW MODIFIED CURB ACCESS RAMP PER DTL. 4, SHT. 11
 - ⑤ NEW INTERLOCKING PAVERS PER LANDSCAPE PLAN.
 - ⑥ LANDSCAPED AREA SEE LANDSCAPE PLAN.
 - ⑦ HANDICAP PARKING SIGN, SEE DTL. 3, SHT. 11
 - ⑧ HANDICAP PARKING PAVEMENT MARKING SIGN, SEE DTL. 1, SHT. 11
 - ⑨ CONCRETE WHEEL STOP, SEE DTL. 2, SHT. 11
 - ⑩ NEW 5' WIDE SIDEWALK PER PAG STD. DTL. 200.
 - ⑪ CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER PAG STD. DTL. 203.
 - ⑫ CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 211.
 - ⑬ TYPE-B POST BARRICADE PER PAG STD. DTL. 106.
 - ⑭ RETAINING WALL BY OTHERS.
 - ⑮ TYPE 4 CATCH BASIN WITH 1 EF-1 GRATE PER PAG STD. DTL. 309.

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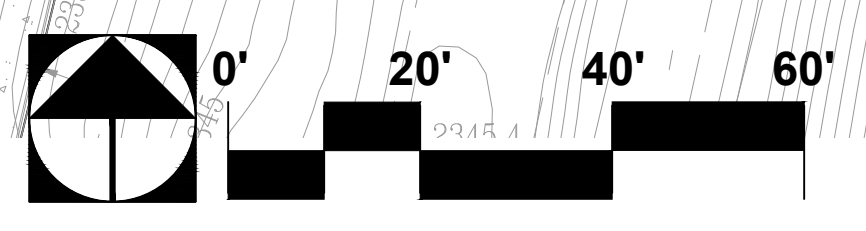


CONTACT ARIZONA 811 AT LEAST TWO FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION

ARIZONA 811
 Call 811 or click Arizona811.com

RELATED CASE #s
 CX-XX-XX

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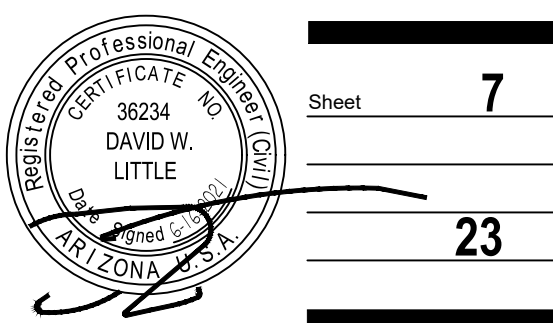
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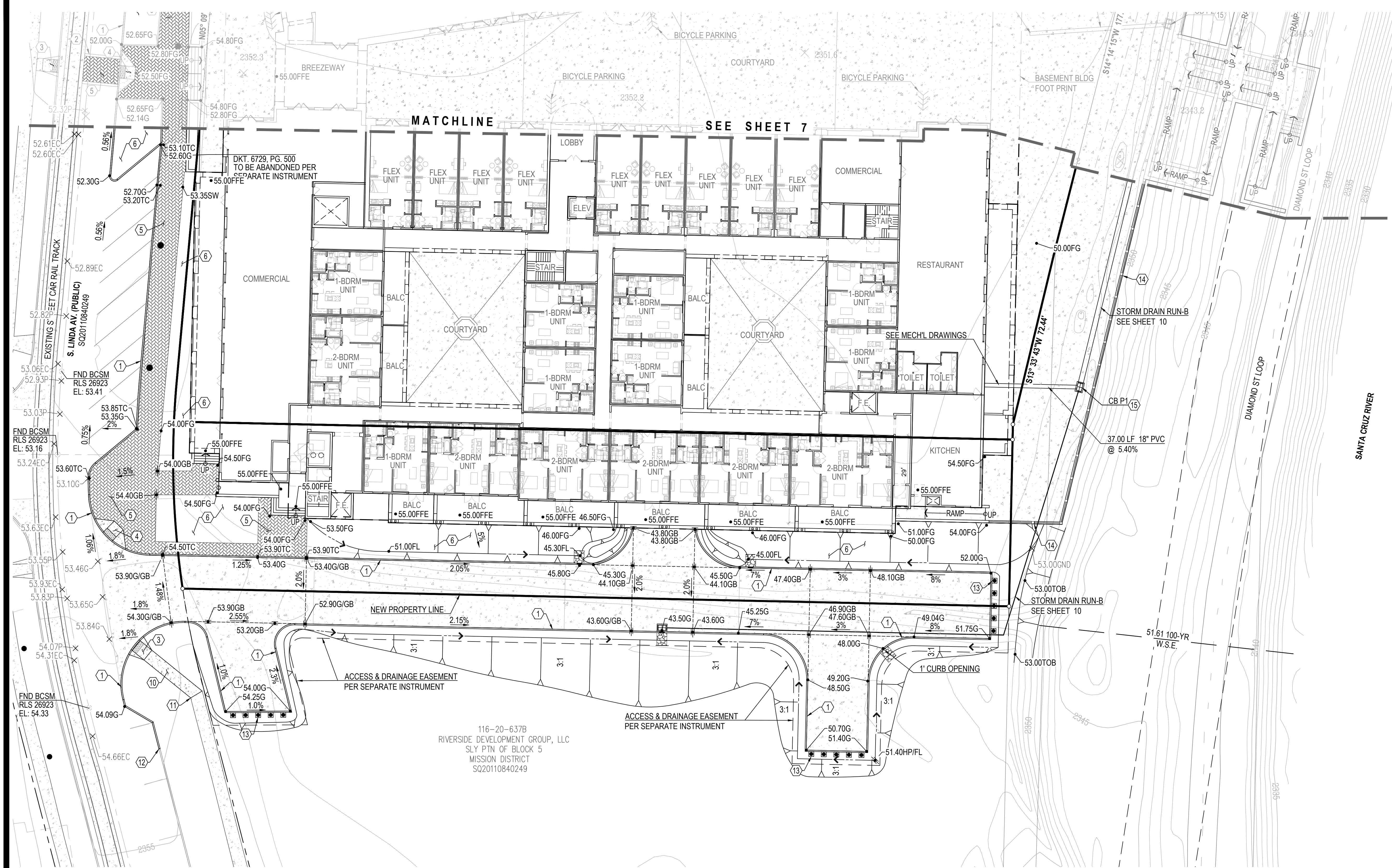
BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
 NLY PTN OF BLOCK 5 AND A PORTION OF SLY OF BLOCK 5 OF MISSION DISTRICT PER SEQUENCE NUMBER 20110840249
 BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

Sheet Title
DEVELOPMENT PACKAGE
GRADING AND DRAINAGE PLAN
 File:Q:\103010\Q-001 Bautista Plaza\04 Flating\02 DPDP_Bautista_07-08-Grading Plan.dwg Plot Date:6/16/2021 3:52 PM By:fermand

No.	Date	Item	Scale
			113010-Q-001-0105/0600
			JUNE 2021
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Sheet **7**
 23





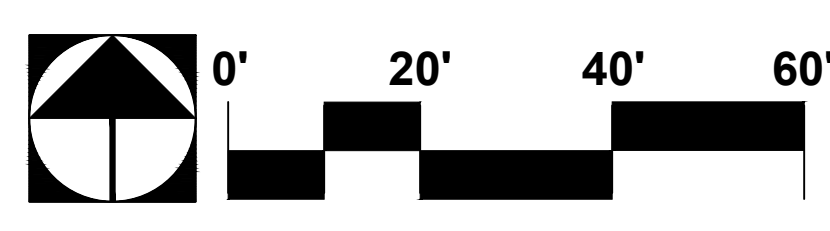
- CONSTRUCTION KEY NOTES**
- ① NEW 6" REVEAL VERTICAL CURB TYPE-2 PER PAG STD. DTL. 209.
 - ② NEW 6" CONCRETE HEADER PER PAG STD. DTL. 213.
 - ③ NEW CURB ACCESS RAMP (DIRECTIONAL) TYPE 2 PER PAG STD DTL SD.
 - ④ NEW MODIFIED CURB ACCESS RAMP PER DTL. 4, SHT. 11
 - ⑤ NEW INTERLOCKING PAVERS PER LANDSCAPE PLAN.
 - ⑥ LANDSCAPED AREA SEE LANDSCAPE PLAN.
 - ⑦ HANDICAP PARKING SIGN, SEE DTL. 3, SHT. 11
 - ⑧ HANDICAP PARKING PAVEMENT MARKING SIGN, SEE DTL. 1, SHT. 11
 - ⑨ CONCRETE WHEEL STOP, SEE DTL. 2, SHT. 11
 - ⑩ NEW 5' WIDE SIDEWALK PER PAG STD. DTL. 200.
 - ⑪ CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER PAG STD. DTL. 203.
 - ⑫ CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG STD. DTL. 21
 - ⑬ TYPE-B POST BARRICADE PER PAG STD. DTL. 106.
 - ⑭ RETAINING WALL BY OTHERS.
 - ⑮ TYPE 4 CATCH BASIN WITH 1 EF-1 GRATE PER PAG STD. DTL. 309.

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 165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s
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Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811

Call 811 or click Arizona811.com

Professional Engineer

DAVID W. LITTLE

Scale: 113010-Q-001-0105/0600

Date: JUNE 2021

Designed By: JF

Checked By: DWL

Sheet: 8

23

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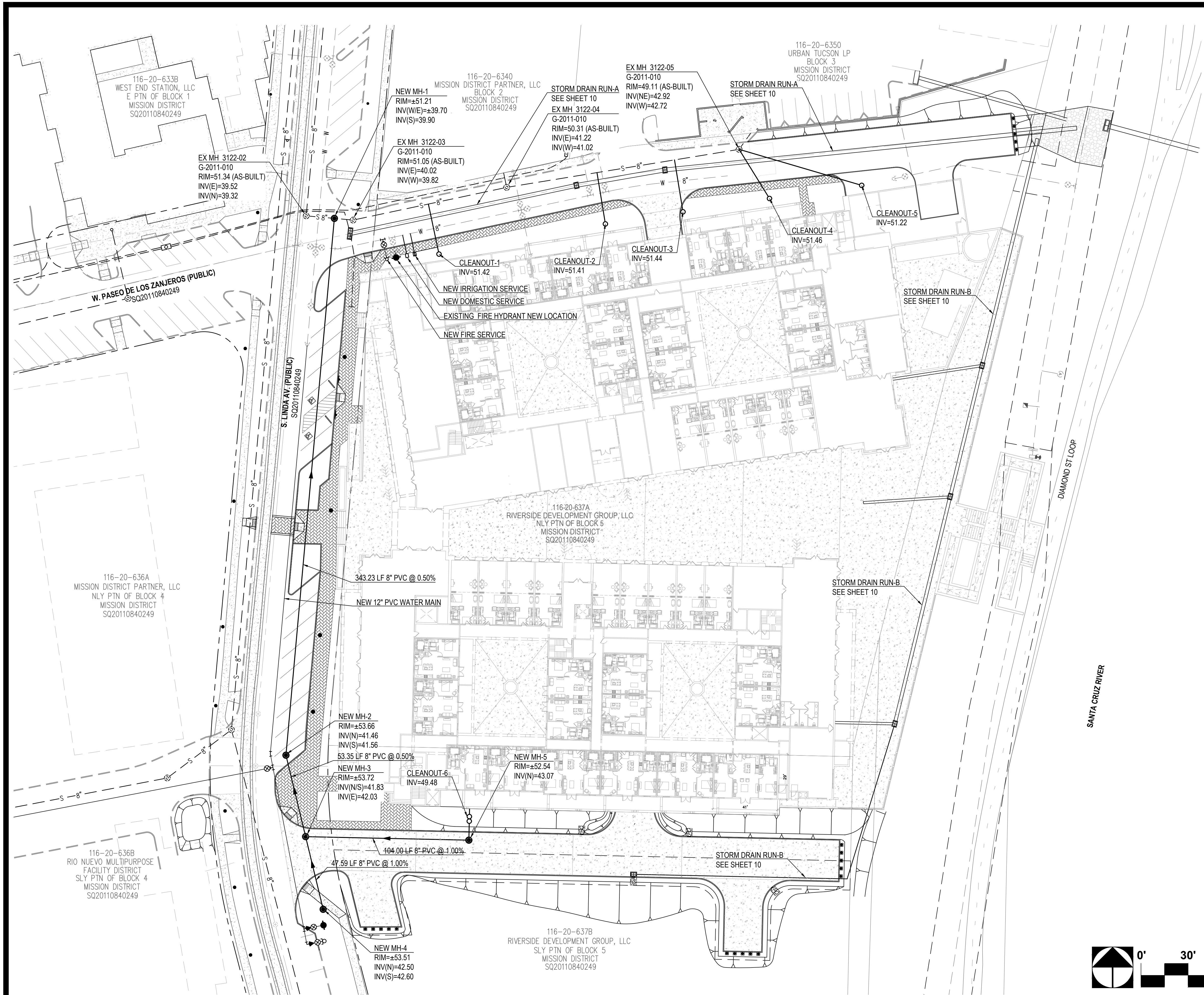
BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
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Sheet Title
DEVELOPMENT PACKAGE

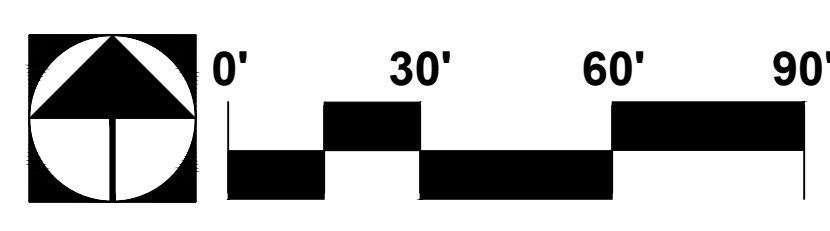
GRADING AND DRAINAGE PLAN

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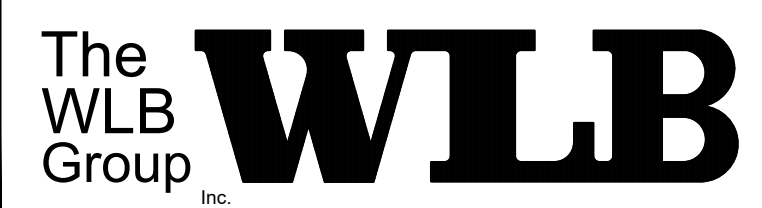
No.	Date	Item



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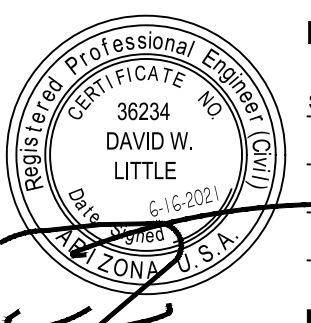
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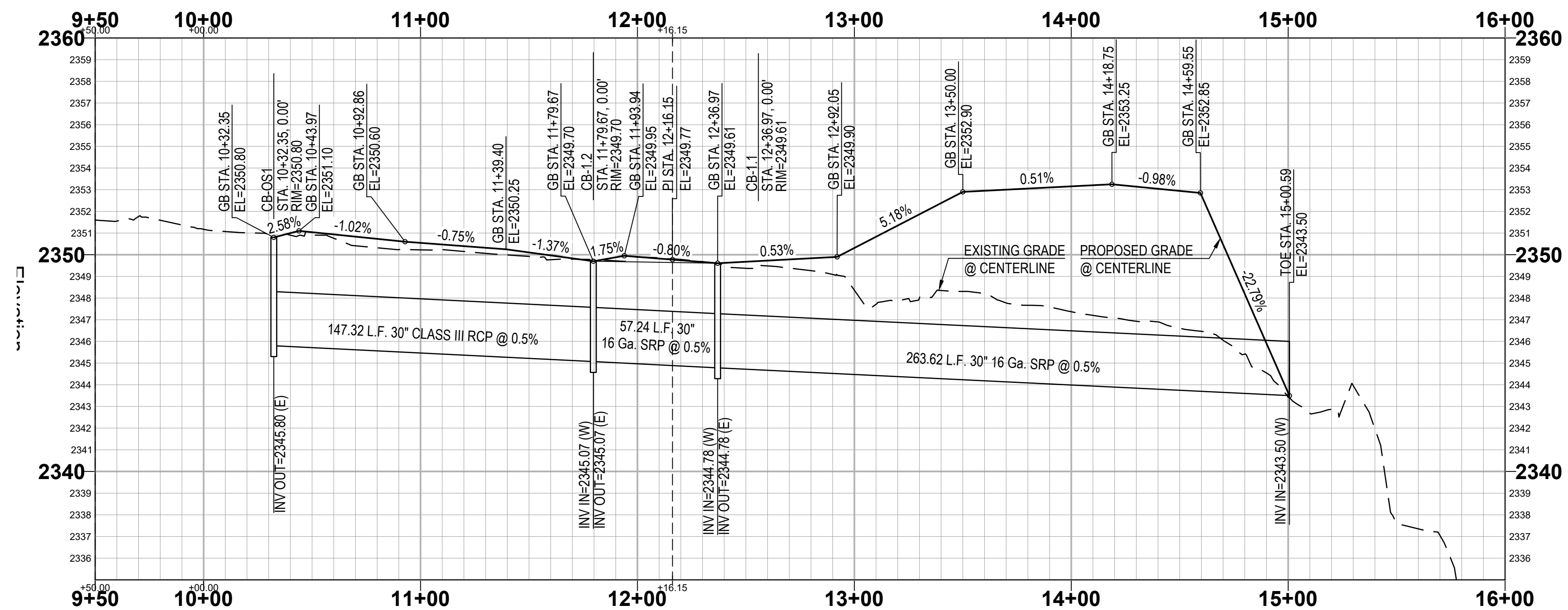
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DEVELOPMENT PACKAGE
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No.	Date	Item

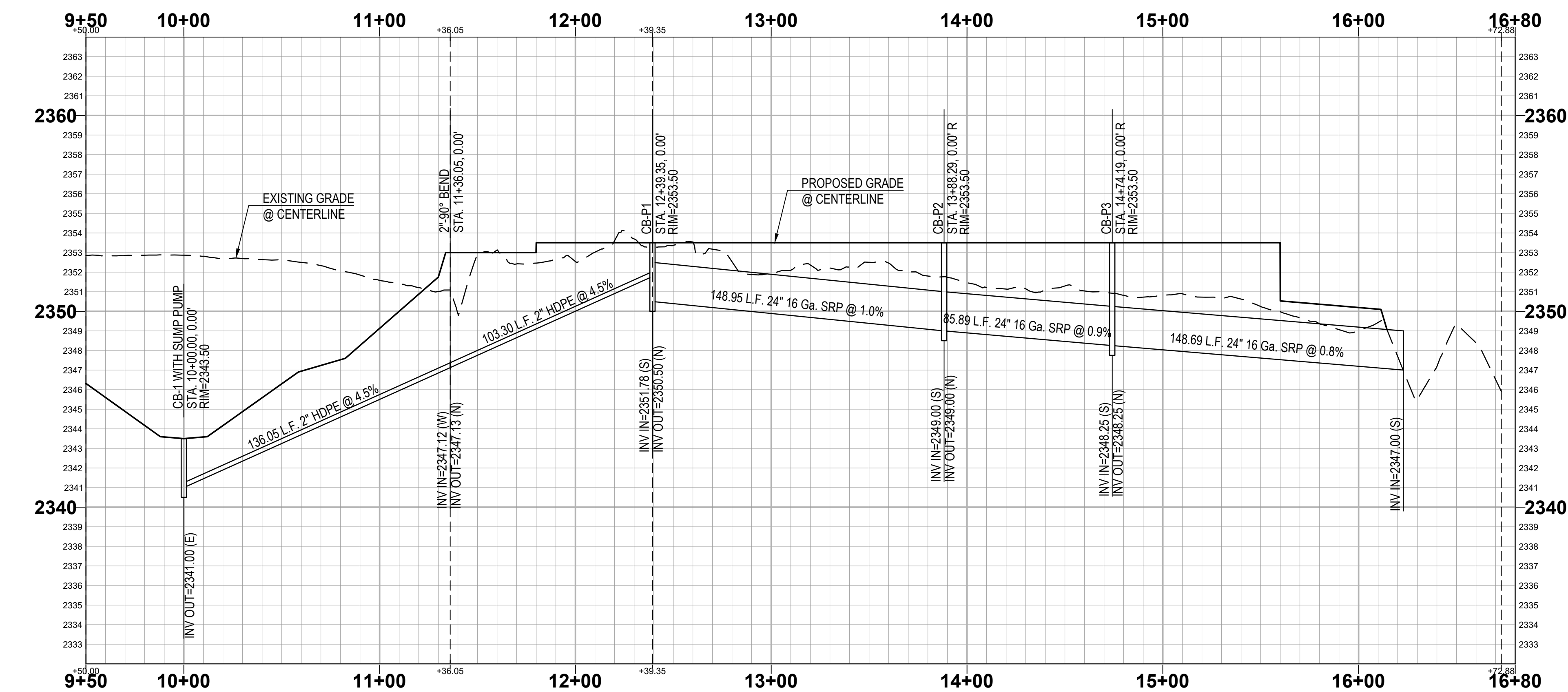
Scale
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Sheet **9**
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1 STORM DRAIN RUN-A
 N.T.S.
 NOTE: STATIONING IS ALONG THE CENTERLINE OF THE ROAD.



2 STORM DRAIN RUN-B
 N.T.S.
 NOTE: STATIONING IS ALONG THE CENTERLINE OF THE PIPE

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RELATED CASE #s
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Sheet Title
DEVELOPMENT PACKAGE

STORM DRAIN PROFILES

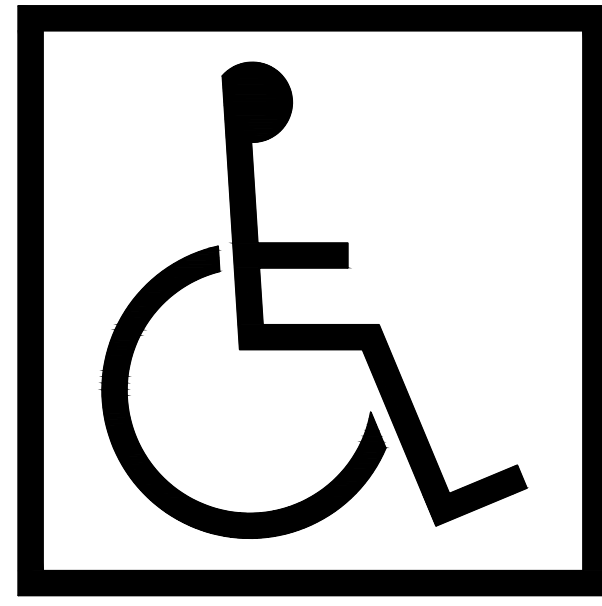
File:Q:\103010\Q-001 Bautista Plaza\04 Flattig\02 DPDP_Bautista_10-11-Details.dwg Plot Date:6/16/2021 3:55 PM By:fernando

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 Job No. 113010-Q-001-0105/0600
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Sheet **10**
23

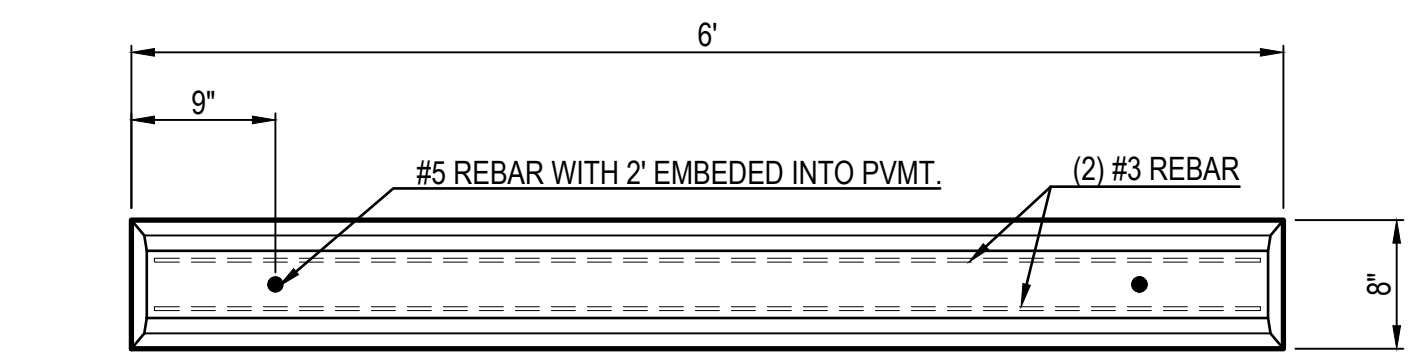


IN ADDITION TO PAINTED PARKING SYMBOL, PROVIDE A 70 SQ. IN. SIGN SHOWING H/C SYMBOL ONLY AT EACH HANDICAPPED PARKING STALL PER TITLE 24 AND A.D.A.

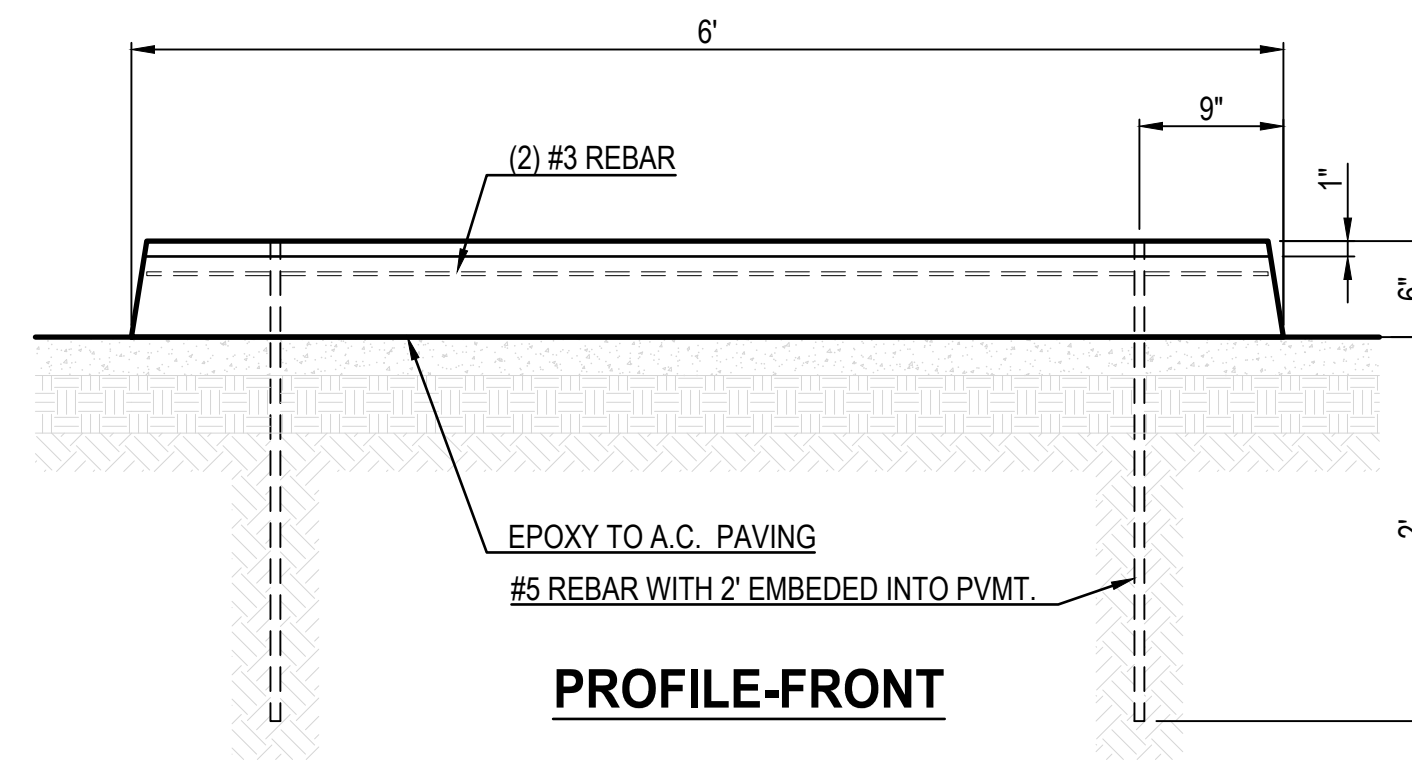
SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL

3'-0" X 3'-0" PAINTED SYMBOL-2 COATS BLUE FIELD AND WHITE BORDER AND SYMBOL

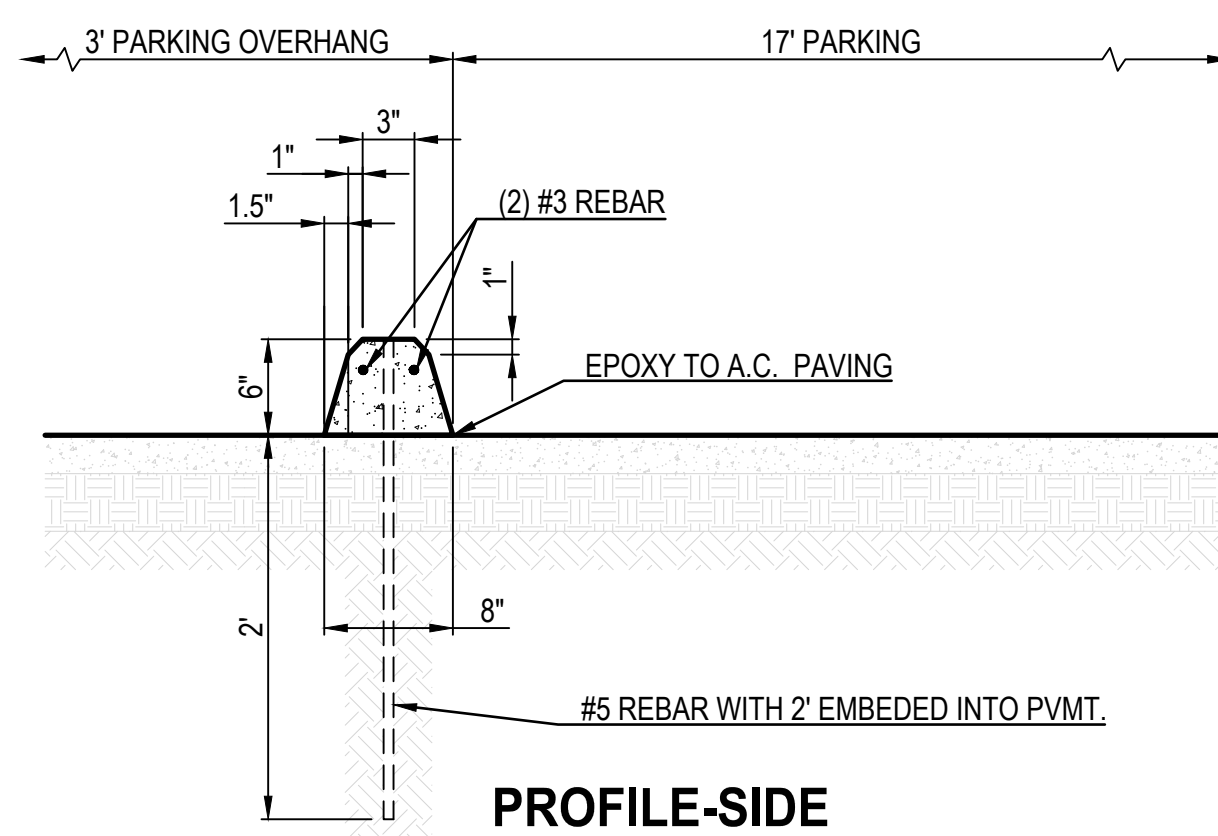
1 TYPICAL HANDICAP SYMBOL
N.T.S.



PLAN

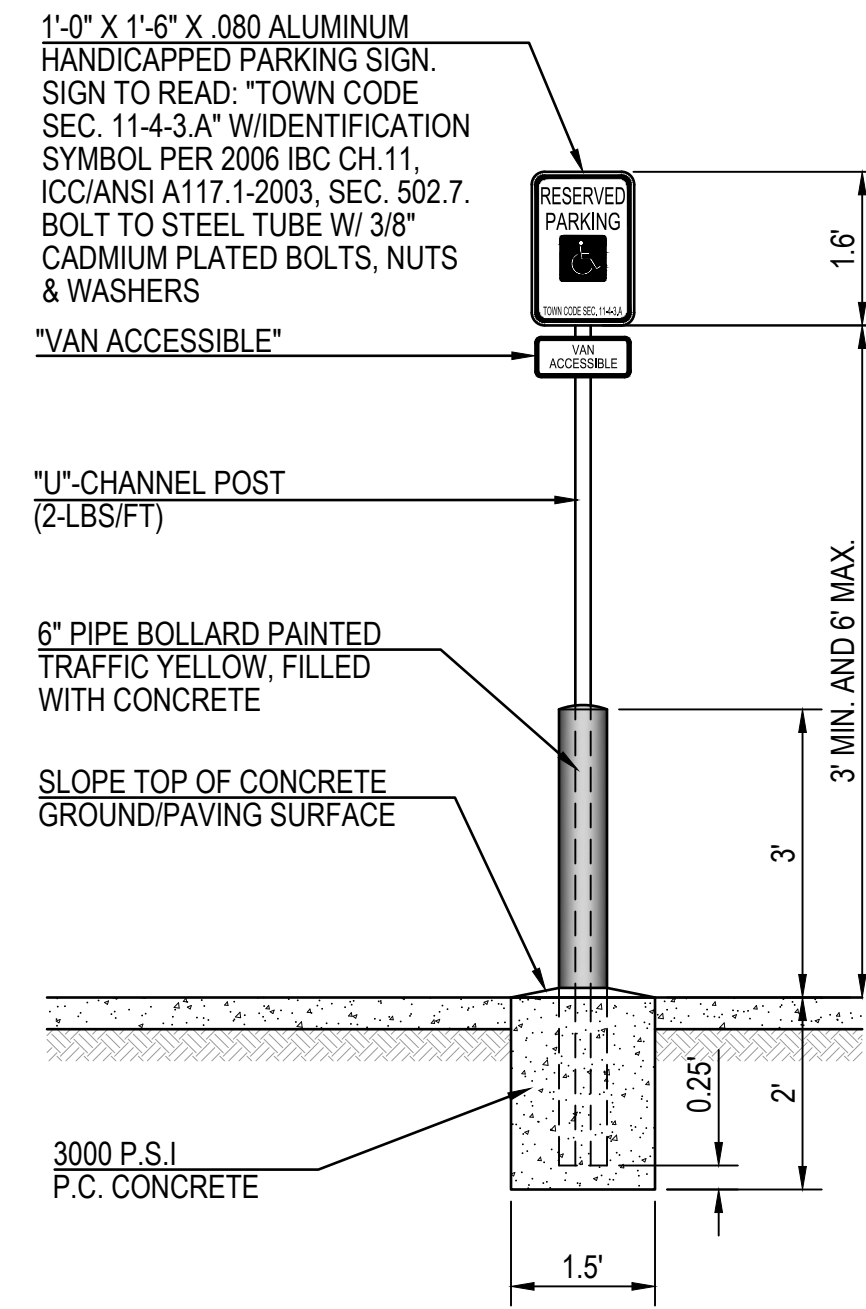


PROFILE-FRONT

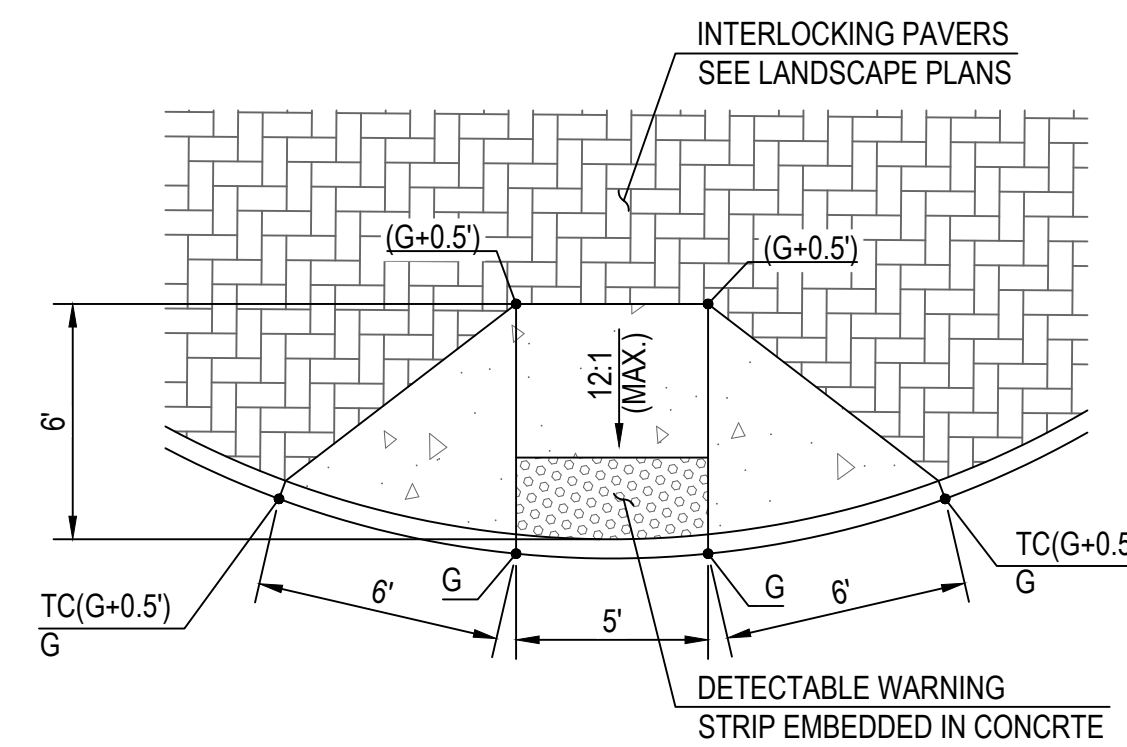


PROFILE-SIDE

2 CONCRETE WHEEL STOP
N.T.S.



3 TYPICAL ACCESSIBLE PARKING SIGN
N.T.S.



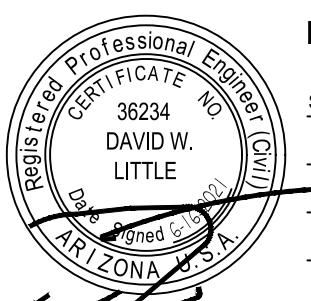
4 MODIFIED CURB ACCESS RAMP
N.T.S.

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165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s
CX-XX-XX

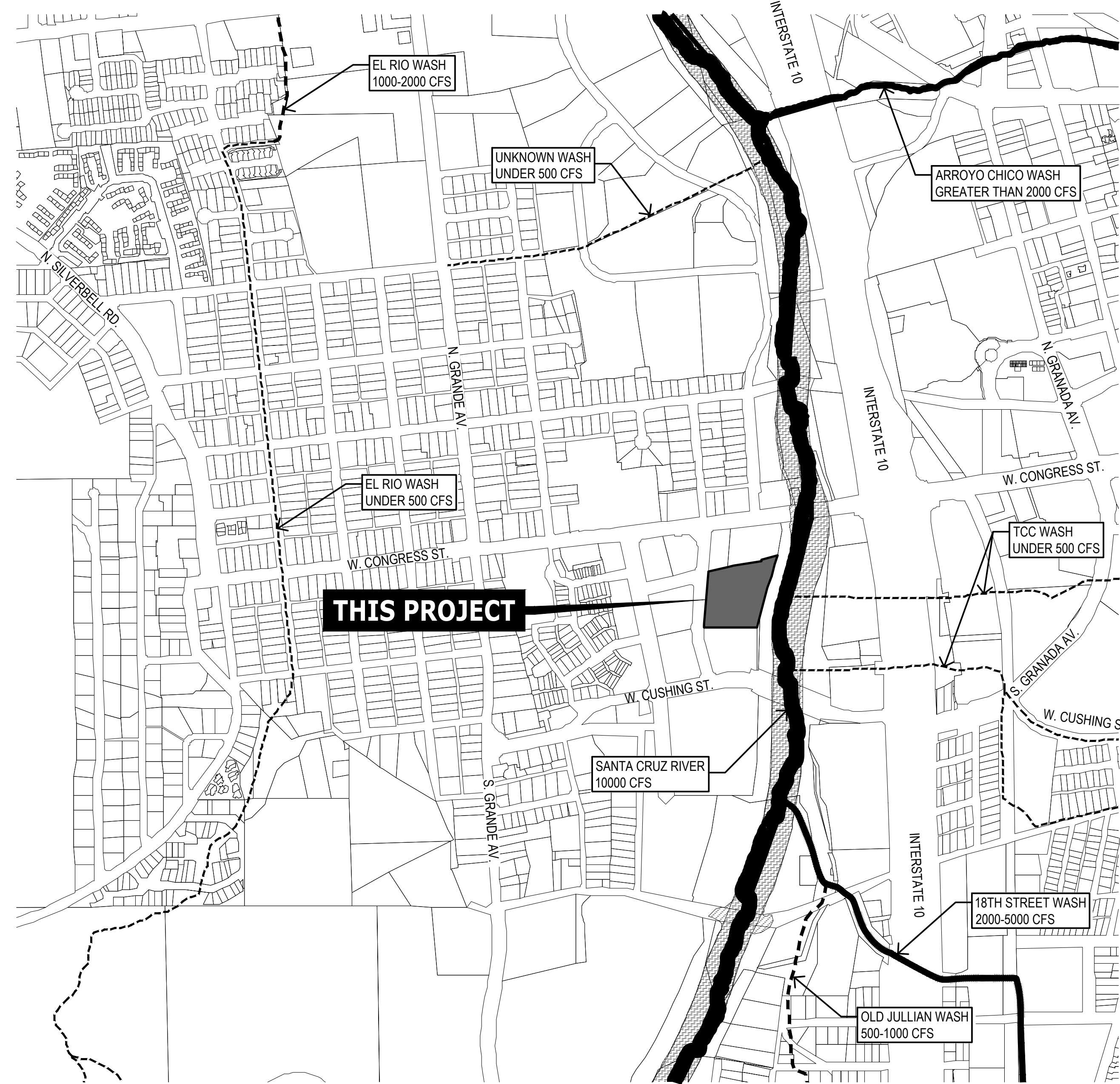
DP21-



THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS SUBMITTED IN CONFORMANCE WITH PROVISIONS MANDATED BY THE STATE OF ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM (AZPDES) GENERAL PERMIT FOR DISCHARGE FROM CONSTRUCTION ACTIVITIES TO WATERS OF THE UNITED STATES (PERMIT NO. AZG2013-001), DATED JUNE 3, 2013.

- 1.0 SITE DESCRIPTION**
- 1.1 PROJECT NAME AND LOCATION**
THE BAUTISTA MIXED USED PROJECT IS BOUNDED TO THE NORTH BY A SENIOR APARTMENT BUILDING, S. LINDA AVENUE TO THE WEST, AVACANT LOT TO THE SOUTH AND SANTA CRUZ RIVER TO THE EAST. THIS SITE IS MORE SPECIFICALLY DESCRIBED AS A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, CITY OF TUCSON, PIMA COUNTY, ARIZONA.
- 1.2 OWNER NAME AND LOCATION:**
PEG TUC BAUTISTA, LLC
180 N. UNIVERSITY AVE., SUITE 200
PROVO, UTAH 84601
ATTN: TREVOR ELLIS
- OPERATOR**
THE CONTRACTOR WILL BE DESIGNATED AS THE OPERATOR THAT WILL CONTROL THE DAY TO DAY ACTIVITIES ON THE JOB SITE, BE RESPONSIBLE FOR MAINTAINING ALL SWPPP CONTROLS, COMPLETING INSPECTIONS, RECORDING REPORTS, AND SCHEDULING MAINTENANCE. THE OWNER/CONTRACTOR MAY DESIGNATE A DIFFERENT OPERATOR, HOWEVER, THE SWPPP MUST BE REVISED ACCORDINGLY, AND APPROPRIATE NOI SUBMITTED TO ADEQ.
- 1.3 PROJECT DESCRIPTION**
THIS SITE CONTAINS A GROSS AREA OF 3.31 ACRES. THE PROJECT WILL CONSIST OF THE CONSTRUCTION OF 294 RESIDENTIAL APARTMENTS/COMMERCIAL UNITS, PRIVATE STREETS AND SIDEWALKS, ASSOCIATED LANDSCAPING AND DRAINAGE FEATURES. (SEE IMPROVEMENT PLANS AND DRAINAGE CONCEPT MAPS). ONSITE STORMWATER DRAINS FROM THE WEST TO THE EAST PREDOMINATELY AS SHEET FLOW, WHICH IS DIRECTED TO SANTA CRUZ RIVER.
- 1.4 SOIL DISTURBING ACTIVITIES** - WILL INCLUDE THE FOLLOWING:
1.4.1 CLEARING AND GRUBBING FOR MASS GRADED AREAS;
1.4.2 EXCAVATION AND STOCKPILING, ROUGH GRADING, FOR THE CONSTRUCTION SITE;
1.4.3 GRADING FOR PAALS, CURBS, DRAINAGE STRUCTURES, CHANNELS AND MASS GRADED AREAS;
1.4.4 BUILDING PADS GRADING AND FINE GRADING
1.4.5 EXCAVATION FOR DRAINAGE CHANNELS, WATER PIPELINES, AND UTILITIES.
1.4.6 FINAL GRADING
1.4.7 PREPARATION FOR SEEDING, PLANTING AND FINAL STABILIZATION
- 1.5 SOILS**
SOILS FOR THIS SITE HAVE BEEN IDENTIFIED BY U.S. SOIL CONSERVATION SERVICE (USCS) SOIL SURVEY AS BEING 94.4 PERCENT OF THE HAYHOOK-SAHUARITA COMPLEX IDENTIFIED AS HYDROLOGIC SOIL TYPE B; 5.6 PERCENT OF THE CHIRICAHUA-LAMPISHIRE COMPLEX WHICH HAS BEEN IDENTIFIED AS HYDROLOGIC SOIL TYPE D. THIS SOIL SERIES HAS A MEDIUM POTENTIAL FOR EROSION.
- 1.6 RUNOFF COEFFICIENT**
THE BAUTISTA MIXED USED PROJECT SITE IN ITS CURRENT CONDITION HAS AN APPROXIMATE IMPERVIOUS COVER OF X% TO XX% AND A VEGETATIVE COVER DENSITY OF XX%. THE 100-YEAR RUNOFF COEFFICIENTS FOR THIS SITE IN ITS CURRENT CONDITION ARE 0.51-0.67. COMPLETION OF THIS PROJECT WILL INCREASE THE IMPERVIOUSNESS TO XX% AND AS SUCH A 100-YEAR RUNOFF COEFFICIENT OF 0.51-0.81 IS PREDICTED FOR THIS SITE. (SEE THE HYDROLOGY REPORT FOR ADDITIONAL INFORMATION.)
- 1.7 SITE AREA**
THE TOTAL SITE AREA IS 3.31 ACRES, OF WHICH 5.47 ACRES WILL BE DISTURBED. THERE ARE NO PROPOSED OFF-SITE BORROW/FILL AREAS, STAGING OR EQUIPMENT STORING AREAS.
- 1.8 SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES**
- 1.8.1 INSTALL STABILIZED CONSTRUCTION ENTRANCE AND OTHER EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE ATTACHED SWPPP PLAN AROUND THE PERIMETER OF THE PROJECT;
- 1.8.2 DEMOLITION, CLEARING, GRUBBING;
- 1.8.3 MASS GRADING;
- 1.8.4 ROUGH CUTTING;
- 1.8.5 INSTALL UTILITIES, DRAIN PIPES;
- 1.8.6 STABILIZE DENUDED AREAS (AND STOCKPILES) WITHIN 14 DAYS, AS NECESSARY;
- 1.8.7 CONSTRUCT CURB AND ROADWAYS;
- 1.8.8 CONSTRUCT PADS;
- 1.8.9 FINAL SITE GRADING AND IMPROVEMENTS, ADJUST UTILITIES;
- 1.8.10 CONSTRUCT PAVING;
- 1.8.11 INSTALL LANDSCAPING AND RE-SEEDING, ANY GRADED AREAS THAT HAVE BEEN DISTURBED
- 1.8.12 REMOVE ACCUMULATED SEDIMENTS FROM SEDIMENT CONTROLS;
- 1.8.13 WHEN CONSTRUCTION IS COMPLETE AND THE SITE IS IN A STATE OF FINAL STABILIZATION, TEMPORARY BMPs CAN BE REMOVED.
- 1.8.14 SUBMIT NOT TO ADEQ
- 1.9 NAME OF MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) AND RECEIVING WATERS**
THE CITY OF TUCSON AND PIMA COUNTY ARE LISTED AS AN MS4. STORMWATER DRAINAGE WILL FLOW VIA SHEET FLOW, CONSTRUCTED CHANNELS, STORMDRAINS, AND DETENTION BASINS INTO VACANT LAND SOUTH OF THE SITE. ULTIMATELY DRAINING TO THE SANTA CRUZ RIVER TO THE EAST.
- 2.0 EROSION AND SEDIMENT CONTROLS**
- 2.1 BEST MANAGEMENT PRACTICES (TEMPORARY) PLEASE REFER TO THE DETAILS ON SHEET 5, CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) FOR THE FOLLOWING ACTIVITIES DESCRIBED BELOW.
- 2.1.1 A STABILIZED CONSTRUCTION ENTRANCE NEEDS TO BE ONE OF THE FIRST STRUCTURAL CONTROLS IMPLEMENTED ON THE SITE. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE 30 FT. WIDE, 50 FT. LONG, 12" DEEP, CONSISTING OF 1" TO 3" OF COARSE AGGREGATE OVER FILTER FABRIC.
- 2.1.2 SILT FENCE, STRAW WATTLES OR OTHER EFFECTIVE SEDIMENT CONTROL BMP'S AROUND SOIL STOCKPILES, EXCEPT WHEN STOCKPILES ARE BEING ACTIVELY WORKED, SHALL BE USED. NO STOCKPILES SHALL BE PLACED IN WASHES OR OTHER SURFACE WATERS OR IN A STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR IN STREETS LEADING TO SUCH CONVEYANCES.
- 2.2 STABILIZATION PRACTICES (PERMANENT)** - INCLUDE THE FOLLOWING ITEMS:
2.2.1 PERMANENT VEGETATION SUCH AS TREES AND SHRUBS (SEE LANDSCAPE PLAN FOR LOCATION) AND CRUSHED-ROCK GROUND COVER. PAVING OF PARKING AND PEDESTRIAN AREAS AND BUILDING CONSTRUCTION WILL ALSO SERVE AS PERMANENT STABILIZATION.
- 2.3 STABILIZATION PRACTICES (TEMPORARY)**
PLEASE REFER TO MARICOPA COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) AND DETAIL SHEET 5 FOR THE FOLLOWING ACTIVITIES DESCRIBED BELOW. FOR THIS SITE INCLUDE THE FOLLOWING ITEMS: PLEASE NOTE THE ACTIVITIES LISTED BELOW WHICH DO NOT HAVE A DETAIL SHEET WILL BE APPLIED AS PER THE MANUFACTURES RECOMMENDATION.

STORMWATER POLLUTION PREVENTION PLAN FOR BAUTISTA MIXED-USED PROJECT A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST GILA AND SALT RIVER MERIDIAN, TUCSON, PIMA COUNTY, ARIZONA



LOCATION MAP
SCALE 1"=500'

- 2.3.1 SCHEDULING TO MINIMIZE EXTENDED DISTURBED AREAS AND DURATION OF EXPOSURE;
- 2.3.2 PRESERVATION OF EXISTING VEGETATION AT AREAS ON SITE WHERE NO CONSTRUCTION ACTIVITY IS PLANNED OR WILL OCCUR AT A LATER DATE; AS INDICATED IN THE PROJECT GRADING AND LANDSCAPE PLANS.
- 2.3.3 HYDRAULIC MULCH CAN BE APPLIED TO EXPOSED AREAS THAT REQUIRE TEMPORARY PROTECTION UNTIL PERMANENT STABILIZATION IS ESTABLISHED;
- 2.3.4 HYDROSEEDING CAN BE APPLIED ON DISTURBED AREAS THAT REQUIRE TEMPORARY PROTECTION UNTIL PERMANENT STABILIZATION IS ESTABLISHED;
- 2.3.5 KEY: A=ANNUAL; P=PERENNIAL; C=GERMINATES AND THRIVES IN THE COOL SEASON; W=GERMINATES AND THRIVES IN WARM SEASON; CW=GERMINATES AND THRIVES IN COOL/WARM SEASONS.

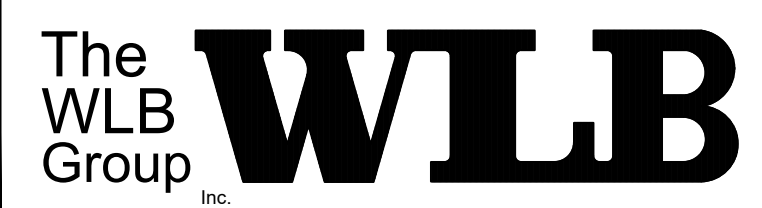
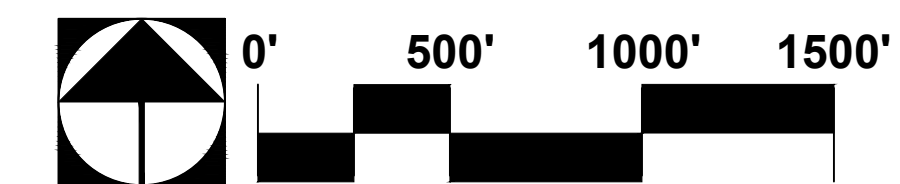
SPECIES	PLS RATE LBS/ACRE
PURPLE THREE -AWN, ARISTADA PURPUREA, (P,W)	2.0
SANS DROPSSEED, SPOROBOLUS CRYPTANDRUS, (P,W)	1.0
INDIAN WHEAT, PLANTAGO INSULARIS, (A,C)	3.0
DESERT GLOBE MALLOW, SPHAERALCEA AMBIGUA, (P,C,W)	1.0
DESERT SENNA, CASSIA COVESII, (P,W)	2.0
BRITTLEBUSH, ENCELIA FARINOSA, (P,C,W)	1.5
BURSAGE, AMBROSIA DELTOIDEA, (P,C)	4.0
TURPENTINE BUSH, HAPLOPAPPUS LARICIFOLIUS, (P,C,W)	1.0
DESERT MARIGOLD, BAILEYA MULTIRADIATA, (P,C,W)	1.0-2.0
CATCLAW ACACIA, ACACIA GREGGII, (P,W)	2.0-3.0
GREEN SPRANGLE-TOP, LEPTOCHLOA DUBIA, (P,W)	1.0
PAPER FLOWER, PSILOSTROPHE COOPERI, (P,C,W)	1.0-2.0
MEXICAN POPPY, ESCHOLTZIA MEXICANA, (A,C)	1.0-3.0
SAND VERBENA	1.0-2.0
WHITETHORN ACACIA, ACACIA CONSTRICTA (P,W)	2.0-3.0
CREOSOTE, LARREA TRIDENTATA (P,W)	6.0
FOUR WING SALTBUUSH, ATRIPLEX CANESCENS	1.0-2.0

- HYDROSEED IS TO BE APPLIED USING SLURRY WATER AND SEED MIX APPLIED BY SPRAY TRUCK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 2.3.6 SOIL BINDERS SHALL BE APPLIED TO DISTURBED AREAS REQUIRING SHORT-TERM TEMPORARY PROTECTION.
- 2.3.7 STRAW MULCH CAN BE USED FOR SOIL STABILIZATION AS A TEMPORARY SURFACE COVER ON DISTURBED AREAS UNTIL SOILS CAN BE PREPARED FOR RE-VEGETATION AND PERMANENT STABILIZATION IS ESTABLISHED;
- 2.3.8 GEOTEXTILES, PLASTIC COVERS AND EROSION CONTROL BLANKETS/MATS SHALL BE USED WHEN DISTURBED SOILS MAY BE PARTICULARLY DIFFICULT TO STABILIZE.
- 2.3.9 WOOD MULCHING SHALL BE AN ALTERNATIVE TO TEMPORARY SOIL STABILIZATION;
- 2.3.10 CONSTRUCTION ROAD STABILIZATION SHALL BE PROVIDED WHERE MUD TRACKING IS A PROBLEM DURING WET WEATHER, WHERE DUST IS A PROBLEM DURING DRY WEATHER, ADJACENT TO WATER BODIES, AND WHERE POOR SOILS ARE ENCOUNTERED.
- 2.3.11 ENTRANCE/OUTLET TIRE WASH CAN BE PROVIDED IN ADDITION TO A STABILIZED CONSTRUCTION ENTRANCE TO CONTROL DIRT AND MUD TRACKING ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES
- 2.3.12 STRAW SOCKS OR WADDLES MAY BE SUBSTITUTED FOR SILT FENCE WHERE SLOPES AND FLOW ALLOW, WHEN SEDIMENT REACHES A MAXIMUM 1/3 THE HEIGHT OF THE FENCE OR 1/2 THE HEIGHT OF A FIBER ROLL/STRAW SOCK ALL ACCUMULATED SEDIMENTS MUST BE REMOVED.
- 2.3.13 ACCEPTABLE EROSION CONTROL/STABILIZATION BMP'S INCLUDE: REVEGETATION AND CRUSHED ROCK FOR PERMANENT STABILIZATION; MULCHING AND/OR SOIL BINDERS FOR TEMPORARY STABILIZATION.
- 2.4 STRUCTURAL PRACTICES (PERMANENT)** - FOR THIS SITE INCLUDE:
- 2.4.1 LANDSCAPING WILL BE INSTALLED IN ALL AREAS AS DESIGNED IN THE PROJECT CONSTRUCTION PLANS AS SOON AS PRACTICAL.
- 2.4.2 A DETENTION BASIN WILL BE INSTALLED AS DESIGNED IN THE PROJECT CONSTRUCTION PLANS. SEDIMENT SHALL BE REMOVED FROM TEMPORARY AND PERMANENT SEDIMENTATION BASINS, PONDS, AND TRAPS WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 50% OF THE STORAGE CAPACITY.
- 2.4.3 CONSTRUCTION OF IMPERVIOUS ASPHALT AND CONCRETE SURFACES WILL REDUCE EROSION POTENTIAL UNDER THESE SURFACES.
- 2.5 STRUCTURAL PRACTICES (TEMPORARY)** - FOR THIS SITE INCLUDE:
- 2.5.1 A SILT FENCE OR STRAW WATTLE BARRIER, OR APPROVED EQUAL, WILL BE PROVIDED TO INTERCEPT AND SLOW THE FLOW OF SEDIMENT LADEN RUNOFF. IT WILL BE PROVIDED BELOW THE TOE OF EXPOSED AND ERODIBLE SLOPES AND AT THE DOWN-SLOPE OF EXPOSED SOIL AREAS.
- 2.5.2 STREET SWEEPING AND VACUUMING WILL BE IMPLEMENTED ANYWHERE SEDIMENT IS TRACKED FROM THE PROJECT SITE ONTO PUBLIC OR PRIVATE PAVED ROADS, TYPICALLY AT POINTS OF INGRESS OR EGRESS.
- 2.5.3 INLET PROTECTION WILL BE PROVIDED AT ALL STORM DRAIN AND CATCH BASIN INLETS.
- 2.6 STORMWATER MANAGEMENT**
- 2.6.1 STORMWATER DRAINAGE WILL FLOW VIA SHEET FLOW, CONSTRUCTED CHANNELS, STORMDRAINS, AND DETENTION BASINS INTO VACANT LAND SOUTH OF THE SITE. ULTIMATELY DRAINING TO THE BIG WASH TO THE SOUTH.

ADMINISTRATIVE ADDRESS
165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s
CX-XX-XX
DP21-



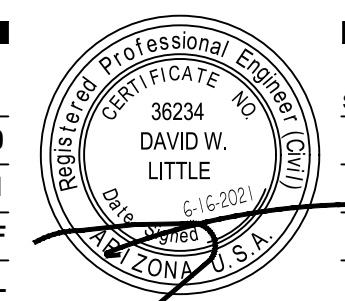
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Flagstaff, Arizona, and Las Vegas, Nevada.
4444 East Broadway
Tucson, Arizona (520) 881-7480

BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
NLY PTN OF BLOCK 5 AND A PORTION OF SLY OF BLOCK 5 OF MISSION DISTRICT PER SEQUENCE NUMBER 20110840249
BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

Sheet Title	No.	Date	Item
DEVELOPMENT PACKAGE			
COVER SHEET			

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Scale	Job No.	Date	Designed By	Checked By
	113010-Q-001-0105/0600	JUNE 2021	JF	DWL



Sheet **12**
23

3.0 OTHER CONTROLS

3.1 WASTE DISPOSAL

3.1.1 WASTE MATERIALS - WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER, RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY IN PIMA COUNTY. THE DUMPSTER WILL MEET APPLICABLE PIMA COUNTY AND STATE SOLID WASTE MANAGEMENT REGULATIONS. TRASH AND DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER WHICH WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK BUT MORE OFTEN IF NECESSARY. TRASH WILL BE HAULED TO A COUNTY DUMP SITE. PERSONNEL WORKING ON THE SITE WILL BE INSTRUCTED ON PROPER WASTE DISPOSAL PRACTICES. A NOTICE REGARDING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER AND AT OTHER CONVENIENT LOCATIONS; THE CONTRACTORS SITE MANAGER WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THESE PROCEDURES UNTIL DEVELOPMENT IS COMPLETE.

3.1.2 HAZARDOUS WASTE - WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND STATE REGULATIONS AND TO MANUFACTURERS RECOMMENDATIONS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SITE MANAGER, WHO IS RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PROCEDURES. NO PAINT OR SOLVENT CANS WILL BE BURIED ON THE SITE, NOR WILL ANY LIQUIDS OR SOLIDS BE DISCARDED ON SITE.

3.1.3 SANITARY WASTE - WILL BE COLLECTED FROM PORTABLE TOILETS AT THE MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT COMPANY.

3.2 OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED AT THE FUTURE ENTRANCES OF THIS PROJECT. ADJACENT PAVED STREETS SHALL BE SWEEP AND MAINTAINED FREE OF EXCESS MUD, DIRT, AND ROCK ON A REGULAR BASIS. EACH DAY UNTIL PROJECT COMPLETION.

4.0 TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCE, SOCKS OR WADDLES AROUND THE AFFECTED PERIMETER WILL BE CONSTRUCTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING ON ANY OTHER PORTIONS OF THE SITE. WHERE CONSTRUCTION ACTIVITY CEASES FOR MORE THAN 14 DAYS, EXPOSED EARTHEN AREAS WILL BE TEMPORARILY STABILIZED WITH MULCH/RESEED/REVEGETATED WITHIN 14 DAYS. ONCE CONSTRUCTION IS COMPLETE IN A PORTION OF THE SITE, THAT PORTION SHALL BE PERMANENTLY STABILIZED. AFTER THE ENTIRE SITE IS STABILIZED, ALL SEDIMENT SHALL BE REMOVED FROM ACCUMULATION AREAS.

5.0 CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS

THIS SWPPP REFLECTS REQUIREMENTS IMPOSED BY ADEQ'S AZPDES CONSTRUCTION GENERAL PERMIT WHICH MEETS OR EXCEEDS THE REQUIREMENTS ORIGINALLY COVERED UNDER THE EPA'S NPDES GENERAL CONSTRUCTION PERMIT. ADDITIONAL RECORDS AND DOCUMENTS INCLUDING INSPECTION REPORTS, DATES OF MAJOR GRADING ACTIVITIES AND STABILIZATION EFFORTS, A COPY OF THE SIGNED NOI FORM AND THE AZPDES GENERAL CONSTRUCTION PERMIT (AZG2013-001) SHALL BE KEPT AS A PART OF THIS SWPPP PLAN. COPIES OF THE NOI AND NOT, NOTICES, REPORTS, AND TABLES TO BE USED ARE FOUND ON SHEET 11.

6.0 MAINTENANCE AND INSPECTION PROCEDURES

6.1 EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES: THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS:

6.1.1 IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE ROUTINELY REMOVED AND AT A FREQUENCY SUFFICIENT TO INSURE NO ADVERSE EFFECTS ON WATER QUALITY.

6.1.2 ALL CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE PER 14 DAYS AND WITHIN 24 HOURS OF A 0.5-IN. RAINFALL EVENT UNTIL THE NOTICE OF TERMINATION IS FILED.

6.1.3 ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR OR MODIFICATION IS NECESSARY, IMPLEMENTATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS OR BEFORE THE NEXT STORM EVENT. (WHICHEVER IS SOONER)

6.1.4 BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE, SOCKS OR WADDLES WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE OR ONE-HALF THE HEIGHT OF STRAW SOCKS OR WADDLES.

6.1.5 SILT FENCE, SOCKS OR WADDLES WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. SILT FENCE WILL BE INSPECTED REGULARLY AND RECORDS OF EACH INSPECTION SHALL BE KEPT.

6.1.6 TEMPORARY AND PERMANENT SEEDING AND PLANTING SHALL BE REGULARLY INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. RECORDS OF EACH INSPECTION SHALL BE KEPT.

6.1.7 A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED AND SHALL BE KEPT.

6.1.8 THE SITE SUPERINTENDENT, SHALL SELECT THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

6.1.9 PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY SHALL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

6.1.10 RECORDS OF ALL INSPECTIONS, COMPLIANCE CERTIFICATION, AND NONCOMPLIANCE REPORTING SHALL BE RETAINED FOR A PERIOD OF AT LEAST 3 YEARS AND BE SIGNED BY THE OWNER. A COPY OF ALL RECORDS WILL ALSO BE KEPT AT THE ADDRESS LISTED UNDER SECTION W OF THE NOI.

6.1.11 A COPY OF THIS SWPPP AND MAINTENANCE AND INSPECTION REPORTS OF SWPPP CONTROLS SHALL BE KEPT ONSITE AT THE CONSTRUCTION TRAILER DURING ALL CONSTRUCTION ACTIVITIES.

6.1.12 UPON REQUEST, THE OWNER OR OPERATOR MUST MAKE THE SWPPP PLAN AND RECORDS AVAILABLE TO ADEQ, THE MUNICIPAL MS4 OPERATOR, OR ANY LOCAL AGENCY THAT IS APPROVING EROSION AND SEDIMENT CONTROL OR STORM WATER MANAGEMENT PLANS.

6.1.13 THE SWPPP DEPICTS TYPICAL MEASURES TO BE EMPLOYED ON THE SITE. IT IS UNDERSTOOD THAT THIS PLAN IS A LIVING DOCUMENT AND IS TO BE UPDATED TO REFLECT CURRENT CONDITIONS AND ADDRESS UNFORESEEN CONDITIONS. THE SWPPP WILL BE MODIFIED WHEN NEEDED WITHIN 7 CALENDAR DAYS OF AN INSPECTION, OR WITHIN 15 BUSINESS DAYS OF A CHANGE IN DESIGN, CONSTRUCTION OPERATION OR MAINTENANCE AT THE SITE WHICH HAS A SIGNIFICANT EFFECT ON DISCHARGE OR HAS NOT BEEN PREVIOUSLY ADDRESSED AND IF IT IS DETERMINED THAT DISCHARGE IS CAUSING OR CONTRIBUTING TO WATER EXCEEDENCE, THIS SWPPP IS INEFFECTIVE. PIMA COUNTY WILL MAKE PERIODIC SITE INSPECTIONS AND RESERVES THE RIGHT TO

6.1.14 REVISE THE LOCATION OF SEDIMENT TRAPPING DEVICES AS THE FIELD CONDITIONS DICTATE. THE CONTRACTOR AGREES TO IMPLEMENT ANY SUCH REVISIONS.

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7.0 INVENTORY FOR POLLUTION PREVENTION PLAN

7.1 THE FOLLOWING TABLE OF CONSTRUCTION ACTIVITY POLLUTANT SOURCES IS TO BE MAINTAINED AND MODIFIED AS NECESSARY DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING NON-STORMWATER POLLUTANT SUBSTANCES ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

Table with 5 columns: POLLUTANT SOURCE, CONSTRUCTION ACTIVITY, SUBCONTRACTOR/ CONTRACTOR, LOCATION ON PROJECT SITE, CONTROL MEASURES IMPLEMENTED. Rows include CONCRETE, DETERGENTS, PAINTS (ENAMEL & LATEX), TAR, FERTILIZERS, PETROLEUM, CLEANING SOLVENTS, ASPHALTIC CONCRETE.

8.0 SPILL PREVENTION THE FOLLOWING ARE THE MATERIAL MANAGEMENT

8.1 MATERIAL MANAGEMENT PRACTICES: PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF: - SHALL BE FOLLOWED ONSITE DURING CONSTRUCTION

8.1.1 GOOD HOUSEKEEPING PRACTICES AS FOLLOWS:

8.1.1.1 AN EFFORT WILL BE MADE TO STORE ON THE SITE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB;

8.1.1.2 ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;

8.1.1.3 PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL;

8.1.1.4 SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;

8.1.1.5 WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER;

8.1.1.6 MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED; 8.1.1.7 THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

8.1.2 HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE IMPLEMENTED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS:

8.1.2.1 PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;

8.1.2.2 ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED;

8.1.2.3 IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

8.1.2.4 IF DURING THE COURSE OF CONSTRUCTION IT IS NECESSARY TO STORE TOXIC CHEMICALS ONSITE, THE ONSITE CHEMICALS SHALL BE STORED IN AN AREA THAT IS DEPRESSED BELOW ADJACENT GRADE, SEALED AND SHIELDED FROM DIRECT SUNLIGHT AND RAINFALL. THE AREA OF THIS DEPRESSION PROVIDED SHALL BE AT LEAST TWICE THE VOLUME OF THE MATERIALS TO BE STORED WITHIN THE DEPRESSION AREA LINED WITH HIGH DENSITY PLASTIC LINING.

8.1.2.5 THE CONTRACTOR AGREES THAT IF ANY TOXIC MATERIALS ARE ENCOUNTERED ONSITE, THEY WILL BE LISTED AND ASSESSED IN TERMS OF THEIR TOXICITY, SIGNIFICANCE AND IMPACT ON WATER QUALITY. MANAGEMENT PROCEDURES WILL BE IMPLEMENTED IMMEDIATELY IF IT IS DETERMINED THAT STORMWATER QUALITY WILL BE EFFECTED.

8.2 PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE ADHERED TO ON-SITE:

8.2.1 PETROLEUM PRODUCTS - ALL ONSITE VEHICLES SHALL BE MONITORED FOR LEAKS. THE CONTRACTOR SHALL PERFORM ALL ROUTINE AND MAJOR SERVICES TO CONSTRUCTION MACHINERY AT AN OFFSITE LOCATION, UTILIZING SELF-CONTAINED SERVICE TRUCKS WHICH CARRY ALL FUELS AND LUBRICANTS AND WASTE LUBRICANTS ON BOARD. IN THE EVENT EMERGENCY EQUIPMENT SERVICE NEEDS TO TAKE PLACE ONSITE, MODIFICATION OF THE SWPPP WILL BE PERFORMED TO IDENTIFY A CONTAINMENT AREA TO PREVENT THE DISCHARGE OF TOXICS. DAILY MACHINERY MAINTENANCE IS PERMITTED ONLY WITHIN A CONTAINMENT AREA.

8.2.2 FERTILIZERS - FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOILS TO LIMIT EXPOSURE TO STORMWATER RUNOFF. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

8.2.3 PAINTS - ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

8.2.4 CONCRETE SUPPLIERS SHOULD CONDUCT ACTIVITIES AT THEIR OWN PLANTS OR DISPATCH FACILITIES. IF THE CONTRACTOR SO ELECTS TO WASH OUT THE CONCRETE TRUCKS ON SITE THEN HE/SHE WILL BE REQUIRED TO FILE A SWPPP AMENDMENT AND COMPLY WITH STANDARDS AND REGULATIONS OUTLINED IN THE ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 9, ARTICLE 3, PART B-TYPE 1 GENERAL PERMIT.

8.3 SPILL CONTROL PRACTICES: IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PROCEDURES SHALL BE FOLLOWED FOR SPILL CONTROL AND CLEANUP.

8.3.1 MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

8.3.2 MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

8.3.3 ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

8.3.4 THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

8.3.5 LARGE SPILLS SHALL BE CONTAINED AS SOON AS POSSIBLE. IF THE SPILL IS NOT DOUBLE CONTAINED AND HAS THE POTENTIAL TO FLOW INTO DRAINAGE FACILITIES FOR THIS PROJECT, THEN THE OUTLET SHOULD BE TEMPORARILY PLUGGED.

8.3.6 THE OPERATOR SHALL REPORT TO ADEQ ANY NONCOMPLIANCE (INCLUDING SPILLS) WHICH MAY ENDANGER HUMAN HEALTH OR THE ENVIRONMENT. THE OPERATOR SHALL ORALLY NOTIFY THE LISTED BELOW WITHIN 24 HOURS AT: ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY

1110 W. WASHINGTON, 5TH FLOOR (5515B-1) PHOENIX, AZ. 85007 OFFICE: (602)771-4466 FAX: (602)771-4505

8.3.7 TITLE 25 OF THE LAND DEVELOPMENT CODE EFFECTIVE OCTOBER 18, 2007 STATES THAT PIMA COUNTY WILL BE CONTACTED WITHIN 24 HOURS OF A RELEASE OR SPILL OF HAZARDOUS MATERIALS IN REPORTABLE QUANTITIES AT (520) 237-7457. THE OPERATOR WILL ALSO BE REQUIRED TO SUBMIT WRITTEN NOTIFICATION WITHIN FIVE CALENDAR DAYS TO PIMA COUNTY/TOWN OF ORO VALLEY DOCUMENTING THE TYPE, VOLUME, CAUSE OF THE DISCHARGE, CORRECTIVE ACTIONS TAKEN, AND MEASURES TO PREVENT FUTURE OCCURRENCES.

8.3.8 THE SITE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, AND WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAME OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

9.0 GENERAL NOTES

9.1 ALL EXISTING VEGETATION OUTSIDE OF THE CONSTRUCTION LIMITS AS SHOWN ON THE GRADING AND LANDSCAPING PLANS WILL BE PRESERVED.

9.2 THE OPERATOR SHALL KEEP DOCUMENTS INCLUDING: SWPPP INSPECTION REPORTS, BEGINNING AND ENDING DATES OF MAJOR GRADING ACTIVITIES AND STABILIZATION EFFORTS, A COPY OF THE SIGNED NOI FORM AND THE AZPDES GENERAL CONSTRUCTION PERMIT (AZG2013-001) AS A PART OF THIS SWPPP PLAN. THE OPERATOR SHALL ALSO POST A SIGN AT THE MAIN ENTRANCE TO THE SITE CONTAINING: AZPDES AUTHORIZATION NUMBER, CONSTRUCTION SITE CONTACT NAME AND TELEPHONE NUMBER, BRIEF DESCRIPTION OF PROJECT, LOCATION OF SWPPP IF THE SITE IS INACTIVE OR DOES NOT HAVE AN ON-SITE STORAGE LOCATION (SEE SAMPLE SIGN ON SHEET 3), PER AZG2013-001 IT IS NO LONGER ACCEPTABLE TO POST THE NOI APPLICATION IN LIEU OF THE ADEQ AUTHORIZATION NUMBER. OPERATOR SHALL UPDATE AND MAINTAIN ALL ASPECTS OF SWPPP AS NECESSARY. THIS INCLUDES UPDATING PLAN SHEETS.

9.3 AT THE COMPLETION OF THE SITE CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ANY SEDIMENT AND DEBRIS FROM THE EXISTING DRAINAGE WAYS BEFORE REMOVING THE SEDIMENT TRAPPING DEVICES.

9.4 THE NOTICE OF TERMINATION (NOT) CANNOT BE SUBMITTED UNTIL ALL CONSTRUCTION ACTIVITIES FOR THE PROJECT HAVE BEEN COMPLETED AND ALL AREAS ARE FINALLY STABILIZED. 9.5 ALL AREAS OUTSIDE GRADING LIMITS SHOWN SHALL NOT BE DISTURBED.

10.0 POLLUTION PREVENTION PLAN CERTIFICATIONS

OWNER'S CERTIFICATION (OPERATOR IN CHARGE OF PLANS AND SPECS) I CERTIFY, UNDER PENALTY OF LAW, THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____ DATE: _____ NAME: _____ COMPANY/TITLE: _____

11.0 CONTRACTOR'S CERTIFICATION (OPERATOR IN CHARGE OF DAY TO DAY ACTIVITIES)

I CERTIFY, UNDER PENALTY OF LAW, THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____ DATE: _____ NAME: _____ COMPANY/TITLE: _____

CONTRACTOR NAME: _____ ADDRESS/TELEPHONE NUMBER: _____ SIGNATURE: _____ DATE: _____

TITLE: _____

ADMINISTRATIVE ADDRESS

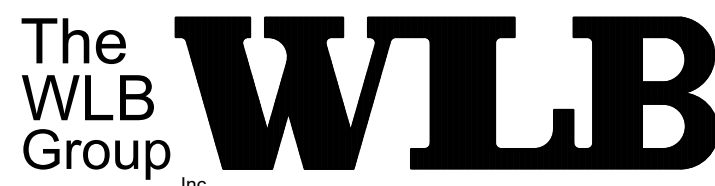
165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s

CX-XX-XX

DP21-



Engineering Planning Surveying Landscape Architecture Urban Design Offices located in Tucson, Phoenix and Flagstaff, Arizona, and Las Vegas, Nevada. 4444 East Broadway Tucson, Arizona (520) 881-7480

BAUTISTA MIXED-USE PROJECT 256 APARTMENT/COMMERCIAL UNITS NLY PTN OF BLOCK 5 AND A PORTION OF SLY OF BLOCK 5 OF MISSION DISTRICT PER SEQUENCE NUMBER 20110840249 BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

Sheet Title DEVELOPMENT PACKAGE

SWPPP NOTES

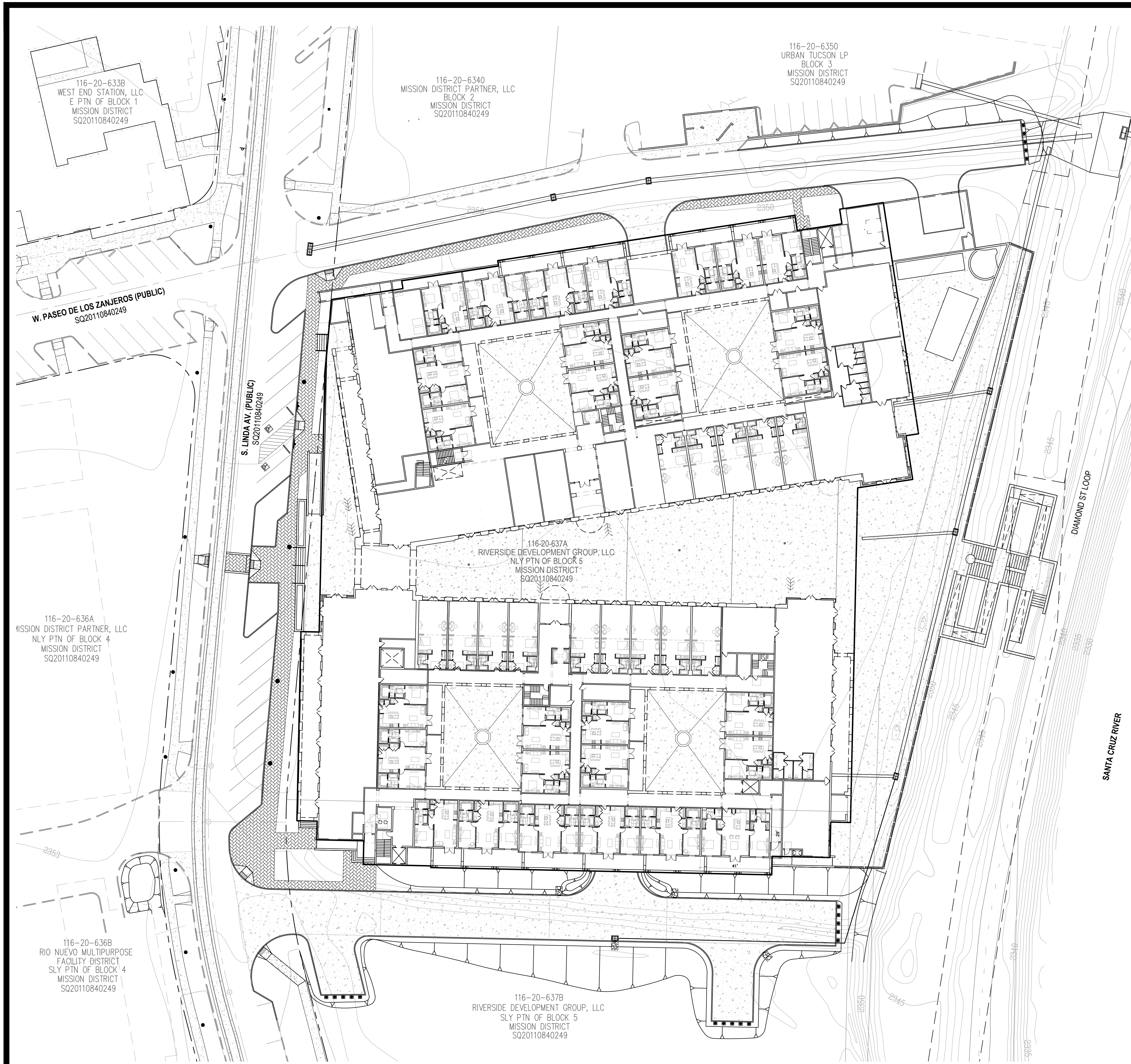
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Sheet 13

23



- ### LEGEND
- PROPERTY LINE
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - PROPOSED STORM DRAIN & CATCH BASIN
 - DISTURBANCE/GRADING LIMITS
 - SILT FENCE/FIBER ROLLS(DTL C/18)
 - STABILIZED CONSTRUCTION ROADWAY
 - CONCRETE WASH-OUT AREA
 - DUST CONTROL ON DISTURBED AREAS
 - CHECK DAM
 - DIRECTION OF PROPOSED FLOW
 - INLET PROTECTION
 - RIP RAP
 - FILTER SOCKS
 - SITE DISCHARGE LOCATION(S)
 - ADEQ NOI AUTHORIZATION & SWPPP NOTIFICATION LOCATION

- ### NOTES:
1. ITEMS PROVIDED IN THE LEGEND, HOWEVER, NOT SHOWN ON THIS PLAN SHALL BE ADDED AS A SWPPP REVISION DURING CONSTRUCTION PROGRESS.
 2. SPILL CONTAINMENT AREAS, WASH DOWN AREAS, AND SOLID WASTE DISPOSAL SITES SHALL BE PLACED OUTSIDE DRAINAGE IMPROVEMENTS OR WASHES.
 3. PAVED STREETS ADJACENT TO THE CONSTRUCTION ENTRANCE SHALL BE SEPT AND MAINTAINED FREE OF ROCK, EXCESS MUD, DIRT, AND ROCKS.
 4. PIMA COUNTY WILL BE CONTACTED WITHIN 24 HOURS OF A RELEASE OR SPILL OF HAZARDOUS MATERIALS. NOTIFICATION MUST BE GIVEN WITHIN FIVE CALENDAR DAYS TO PIMA COUNTY DOCUMENTING THE TYPE, VOLUME, CAUSE OF THE DISCHARGE, CORRECTIVE ACTIONS TAKEN, AND MEASURES TO PREVENT FUTURE OCCURRENCES.
 5. OFFSITE FLOWS WILL BE RETURNED TO THEIR NATURAL WATERCOURSES AND DISCHARGE INTO THE SANTA CRUZ RIVER WHICH LIES DIRECTLY EAST OF THE PROJECT SITE.
 6. THIS SITE DOES NOT IMPACT ANY WETLANDS.
 7. THERE ARE NO DRY WELLS ON THIS SITE.
 8. IN THE EVENT OF A SPILL, THE OPERATOR SHALL IMMEDIATELY CONTACT THE LOCAL FIRE DEPARTMENT, PIMA COUNTY (520) 243-7400, AND WITHIN 24 HOURS ADEQ AT (602) 771-4505. REFER TO SECTION 8.0 OF SWPPP NARRATIVE FOR FURTHER INSTRUCTIONS.
 9. STABILIZED CONSTRUCTION ENTRANCE SHALL BE 30 FT WIDE, 50 FT LONG, 6 INCHES DEEP, CONSISTING OF 1 1/2" TO 3" OF COARSE AGGREGATE OVER FILTER FABRIC. REFER TO SHEET 15 OF THE SWPPP PLANS OR SECTION 2.0 OF THE SWPPP FOR DETAILS.
 10. THIS SITE REQUIRES NO OFFSITE DISPOSAL.
 11. THIS SITE REQUIRES NO OFFSITE STORAGE.
 12. STORMWATER SHEET FLOWS ACROSS THE SITE AND ULTIMATELY DRAINING TO THE SANTA CRUZ RIVER TO THE EAST OF THE PROJECT SITE. PIMA COUNTY AND THE CITY OF TUCSON IS DESIGNATED AS AN MS4 BY ADEQ.
 13. THERE ARE NO SURFACE WATER BODIES (INCLUDING DRY/EPHMERAL WASHES AND WETLANDS) ON SITE.
 14. THE SWPPP NOTIFICATION SIGN MUST BE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN ENTRANCE OR FOR LINEAR PROJECTS NEAR THE ENTRANCE WHERE MOST OF THE CONSTRUCTION ACTIVITY IS OCCURRING.
 15. AN INSPECTION OF THE SITE AND AN INSPECTION REPORT WILL BE COMPLETED EVERY 7 DAYS, AND AFTER EVERY 0.5 INCHES OR GREATER OF RAIN. INSPECTION REPORTS MUST BE KEPT WITH THE SWPPP NARRATIVE.
 16. SWPPP DEFICIENCIES THAT OCCUR ON THE SITE SHALL BE REPAIRED OR CORRECTED WITHIN 7 DAYS OF THE INSPECTION DATE.

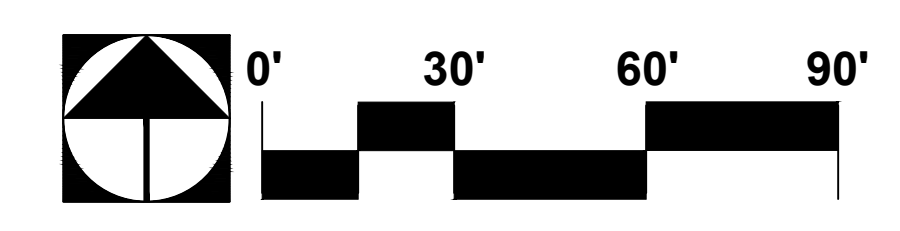
- ### ADDITIONAL NOTES
- PER PAGE 22 SECTION D #4 OF THE 2013 GENERAL CONSTRUCTION PERMIT STATES WHERE POSSIBLE CONCRETE SUPPLIERS SHOULD CONDUCT ACTIVITIES AT THEIR OWN PLANTS OR DISPATCH FACILITIES. IF THE CONTRACTOR SO ELECTS TO WASH OUT THE CONCRETE TRUCKS ON SITE THEN HE/SHE WILL BE REQUIRED TO FILE A SWPPP AMENDMENT AND COMPLY WITH STANDARDS AND REGULATIONS OUTLINED IN THE ARIZONA ADMINISTRATIVE CODE, TOTAL 18, CHAPTER 9, ARTICLE 3, PART B-TYPE 1 GENERAL PERMIT.
 - VEHICLE AND EQUIPMENT WASH WATER IS NOT AN ALLOWABLE SOURCE OF NON-STORMWATER DISCHARGE UNDER THE AZPDES 2013 GENERAL PERMIT. IF THE CONTRACTOR SO ELECTS TO WASH VEHICLES AND EQUIPMENT ONSITE, THEN HE/SHE WILL BE REQUIRED TO FILE A SWPPP AMENDMENT AND COMPLY WITH THE STANDARDS AND REGULATIONS OUTLINED IN THE ARIZONA ADMINISTRATIVE CODE, TITLE 18, CHAPTER 9, ARTICLE 3, PART D-TYPE 3 GENERAL PERMIT.
 - THIS PROJECT HAS THE POTENTIAL TO DISCHARGE TO PIMA COUNTY, MS4'S OPERATOR SHALL UPDATE PLAN TO DESIGNATE VEHICLE/EQUIPMENT AND MATERIAL STORAGE LOCATIONS AND TEMPORARY ACCESS POINTS, AS APPLICABLE.
 - ALL DISTURBED AREAS THAT ARE NOT COVERED BY PAVING OR BUILDING CONSTRUCTION SHALL BE COVERED WITH CRUSHED ROCK AND/OR VEGETATION AS SHOWN ON THE APPROVED LANDSCAPE PLAN.

ADMINISTRATIVE ADDRESS
165 S. LINDA AV. TUCSON, AZ 85745



RELATED CASE #s
CX-XX-XX

DP21-_____



The WLB Group
 Engineering Planning Surveying
 Landscape Architecture Urban Design
 Offices located in Tucson, Phoenix and
 Flagstaff, Arizona, and Las Vegas, Nevada.
 1444 East Broadway
 Tucson, Arizona (520) 881-7480

BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
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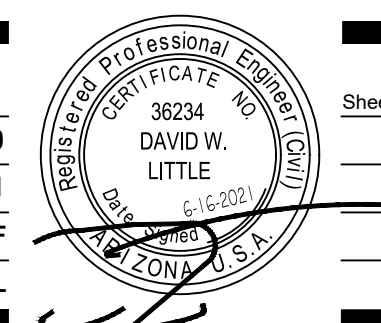
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DEVELOPMENT PACKAGE

SWPPP EROSION CONTROL

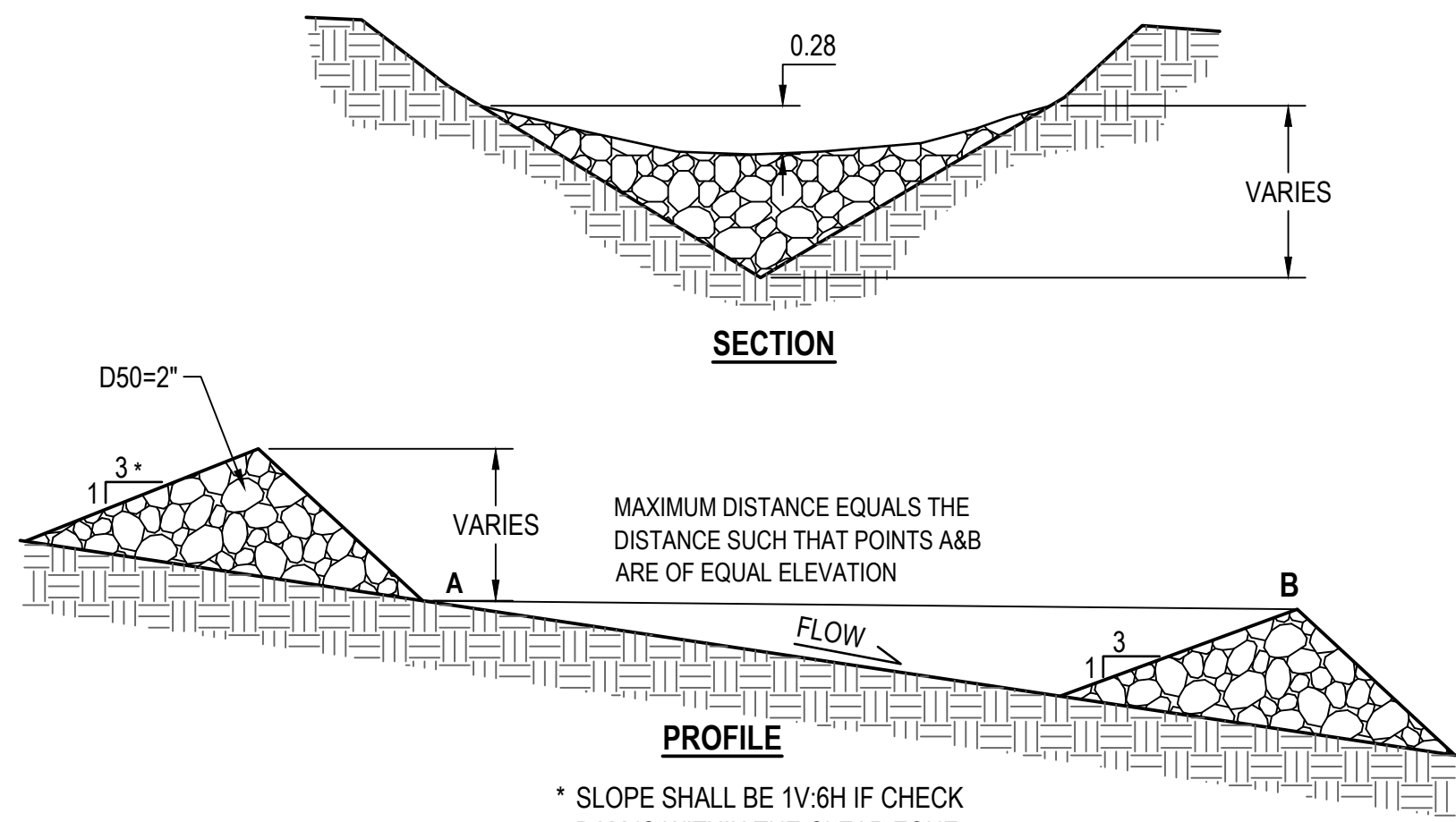
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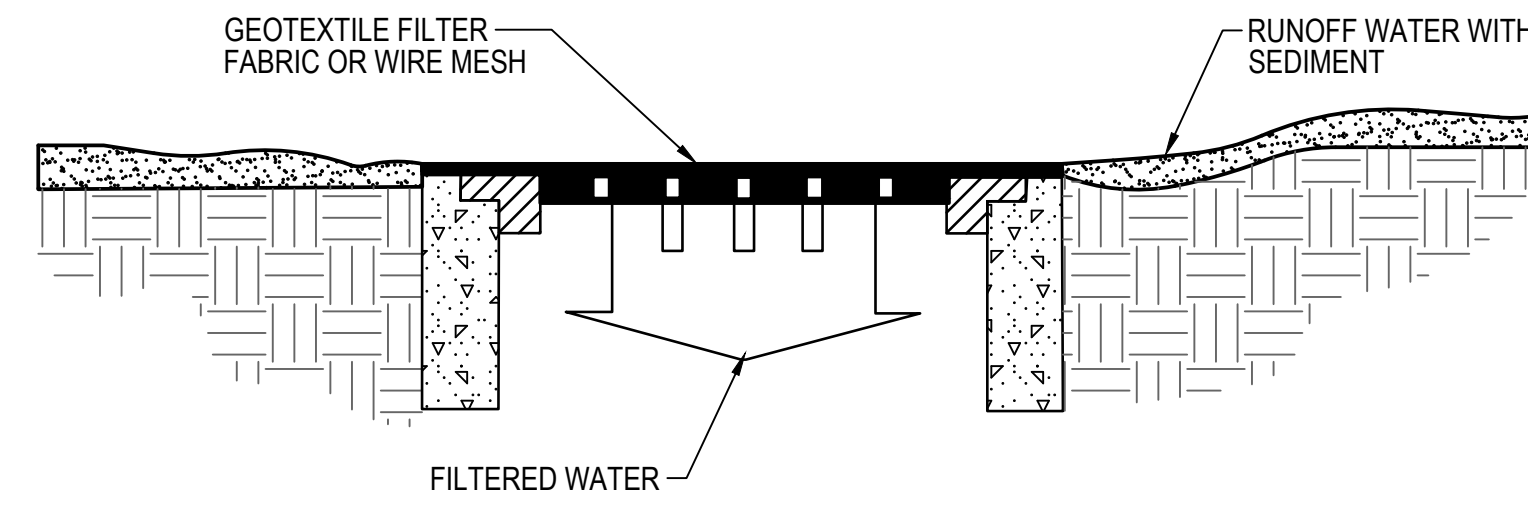
No.	Date	Item	Scale	Job No.	113010-Q-001-0105/0600



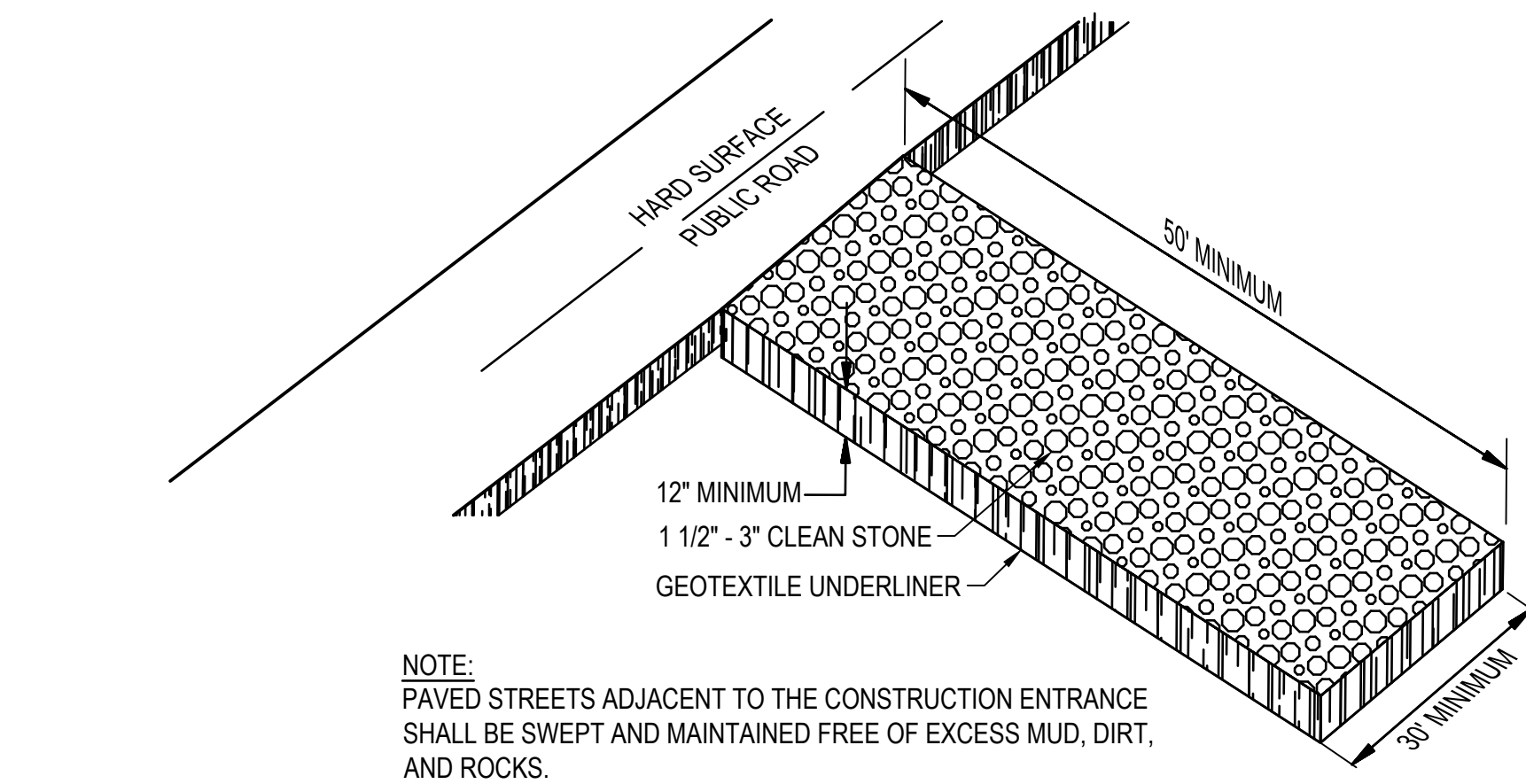
Sheet **15**
 of **23**



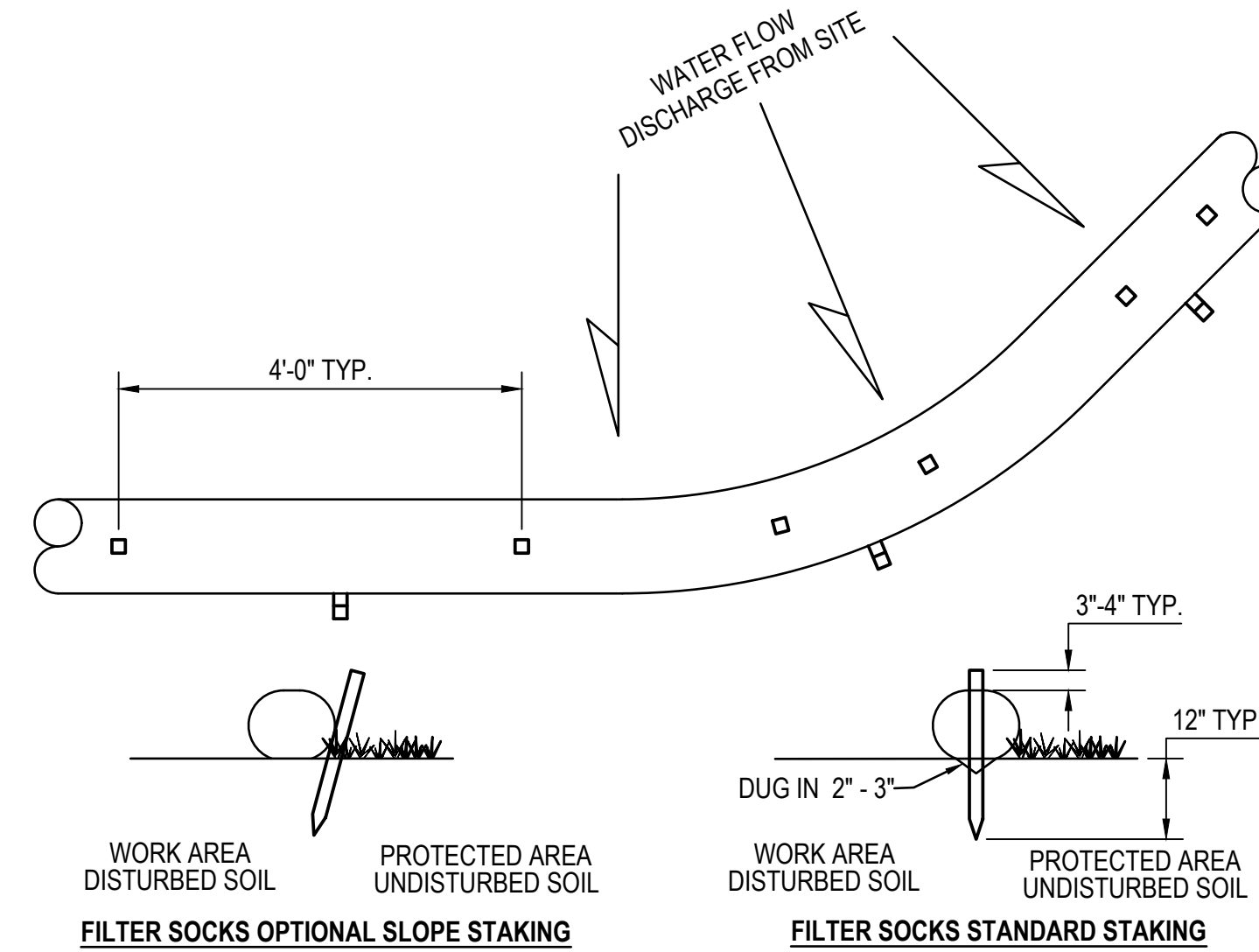
A ROCK CHECK DAM
N.T.S.



B FILTER FABRIC INLET PROTECTION
N.T.S.



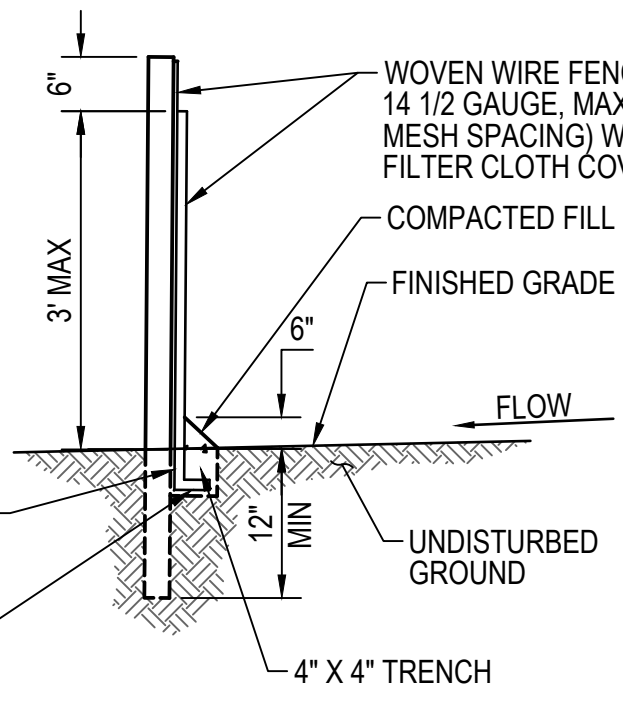
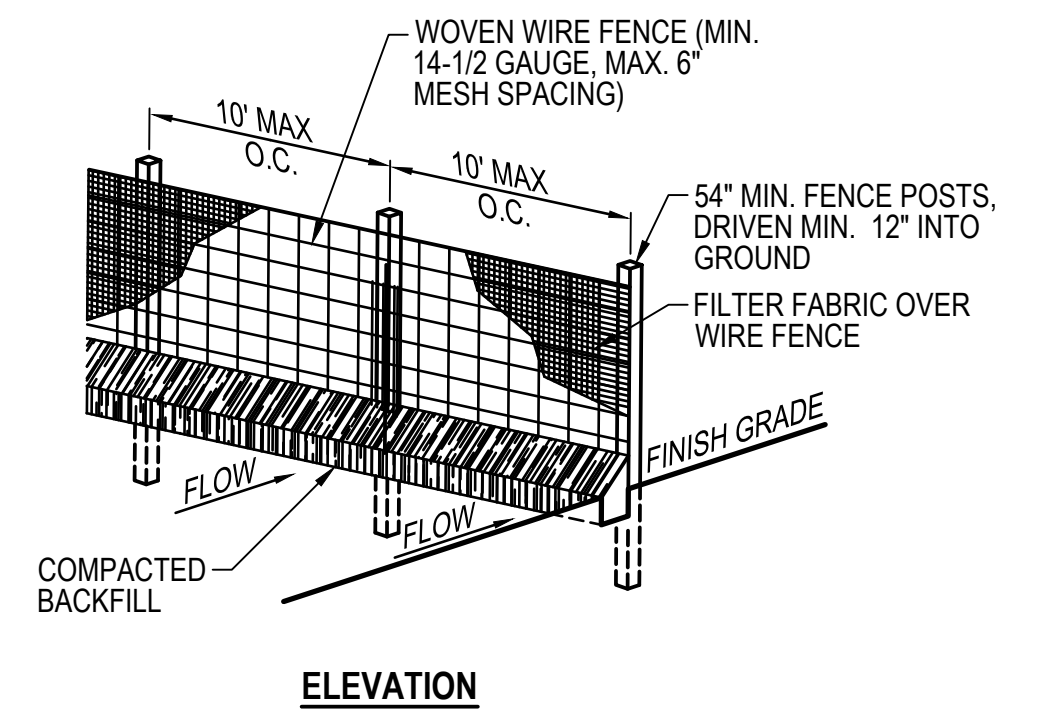
D STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



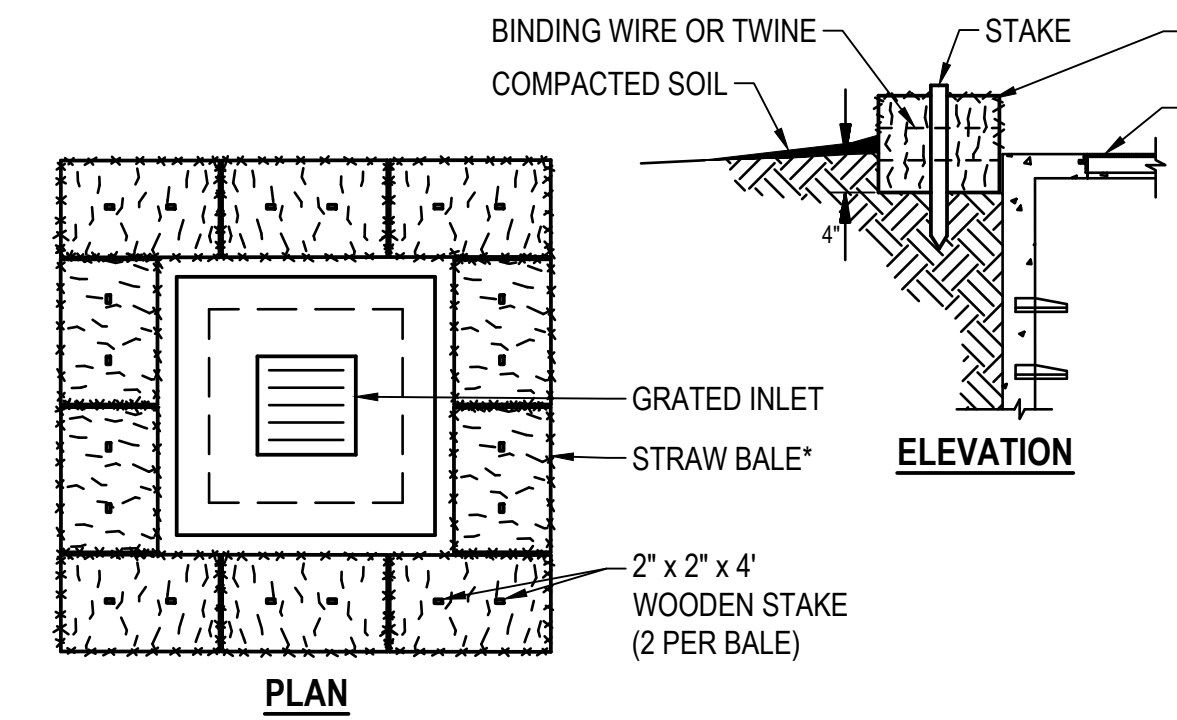
E FILTER SOCKS
N.T.S.

SILT FENCE NOTES:

1. POSTS SHALL BE STEEL EITHER T OR U TYPE OR 2"x2" HARDWOOD
2. FENCE SHALL BE WOVEN WIRE, 14-1/2 GA. 6" MAX. MESH OPENING
3. FILTER FABRIC SHALL BE MIRAFI 140N, DUPONT TYPAR 3341, OR APPROVED EQUAL.
4. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
5. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
6. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
7. STRAW SOCKS MAY BE SUBSTITUTED FOR SILT FENCE. SOCKS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



C SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT
N.T.S.



GENERAL NOTES:

1. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
2. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH ENDS OF ADJACENT BALES PRESSED TOGETHER.
3. THE BALE SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET. THE WIDTH OF A BALE TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
4. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
5. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.

*SAND BAGGED STRAW SOCKS CAN BE USED IN PLACE OF STRAW BALES IN PAVEMENT AREAS.

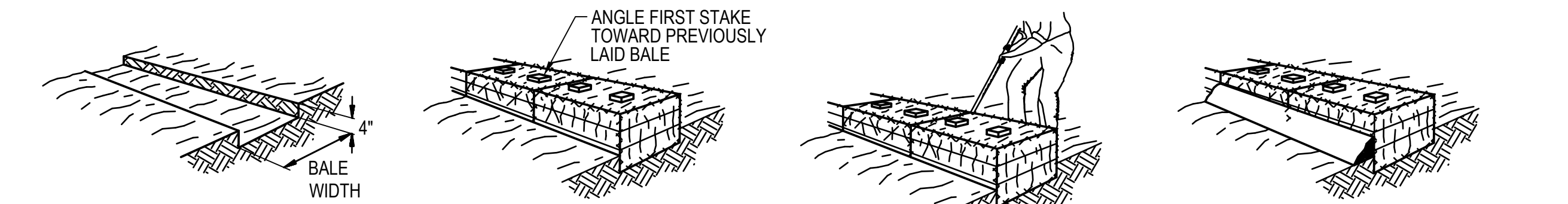
G STRAW BALE INLET SEDIMENT FILTER
N.T.S.

ADMINISTRATIVE ADDRESS
165 S. LINDA AV. TUCSON, AZ 85745

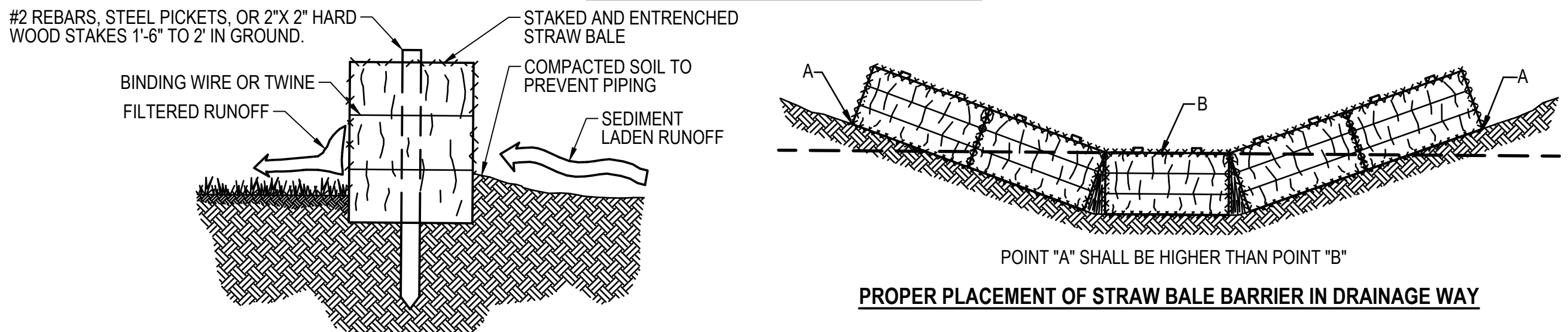


RELATED CASE #s
CX-XX-XX
DP21-_____

1. EXCAVATE THE TRENCH.
2. PLACE AND STAKE STRAW BALES.
3. WEDGE LOOSE STRAW BETWEEN BALES.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



CONSTRUCTION OF STRAW BALE BARRIER



PROPERLY INSTALLED STRAW BALE (CROSS SECTION)

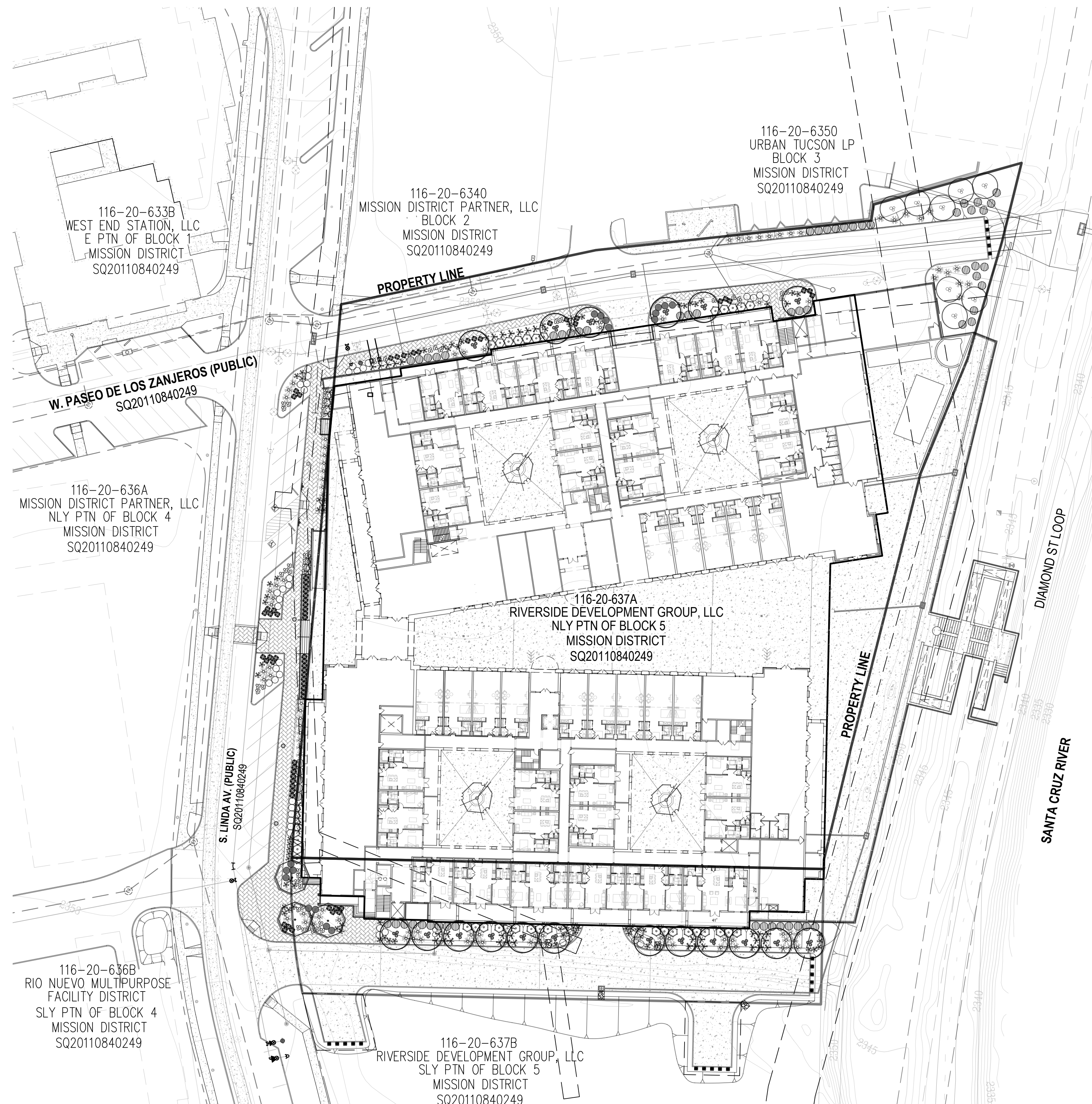
F STRAW BALE BARRIER
N.T.S.

GENERAL NOTES:

- THIS PLAN IS IN CONFORMANCE WITH REQUIREMENTS OF ARTICLE 7.6 OF THE CITY OF TUCSON UNIFIED DEVELOPMENT CODE. THE EXISTING ZONING IS PAD-10
- THE GROSS AREA OF THIS DEVELOPMENT IS BLOCK "5A" 144,256 S.F. (3.31 ACRES) PLUS A PORTION OF BLOCK "5B" 28,187 SF (0.65 AC)= 172,443 SF (3.96 AC), THE DISTURBANCE AREA OF THIS DEVELOPMENT IS 238,230 S.F. (5.47 ACRES).
- THE EXISTING USE IS VACANT LAND.
- THE PROPOSED USE: RESIDENTIAL (APARTMENTS) & COMMERCIAL
- ALL SCREEN WALLS (BOTH SIDES) SHALL BE CONSTRUCTED OF OR PAINTED WITH GRAFFITI-RESISTANT MATERIALS.
- ANY STRUCTURES OR VEGETATION WITHIN SITE VISIBILITY TRIANGLES WILL CONFORM TO THE UNIFIED DEVELOPMENT CODE 7.6., TO PROVIDE A WINDOW OF VISIBILITY FROM 30" TO 72" ABOVE GRADE.
- LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- IRRIGATION:
 - IRRIGATION SLEEVING FOR IRRIGATION SYSTEM SHALL BE PROVIDED.
 - ALL PLANTS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND DRIP SYSTEM.
 - IRRIGATION SYSTEM SHALL USE POTABLE WATER.
- ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING AS REQUIRED BY ARTICLE 7.6. FAILURE TO MAINTAIN THE IMPROVEMENTS OR LANDSCAPING REQUIRED BY ARTICLE 7.6 CONSTITUTES A VIOLATION UDC.
- PLANT COVER/DUST CONTROL: ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEEDED, OR TREATED WITH AN INORGANIC/GRAVEL OR ORGANIC GROUND COVER TO HELP REDUCE DUST POLLUTION.
 - GROUND SURFACES IN PLANTING BEDS, PLANTERS, MEDIANS, OR TREE UNDERSTORY WITHIN A PROJECT AREA THAT ARE NOT COVERED WITH SHRUBS, ACCENT PLANTS, VINES, GROUND COVER, OR OTHER VEGETATION SHALL BE SPREAD WITH 2" OF INORGANIC GROUND COVER/GRAVEL.
 - THE AREA BETWEEN THE RIGHT-OF-WAY LINE AND THE SIDEWALK, AND THE AREA BETWEEN THE SIDEWALK AND THE CURB, IF NOT COVERED WITH VEGETATION, SHALL BE COVERED WITH AN APPROPRIATE INORGANIC GROUND COVER, SUCH AS DECOMPOSED GRANITE.
- PLANT SIZE, LOCATION AND SPACING:
 - TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ON-SITE OR OFF-SITE UTILITY SERVICE LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS, AS DEFINED IN SEC. 7.6 OF THE UDC TO AN ADJACENT PROPERTY.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
- ALL LANDSCAPE BORDERS ARE TO BE COVERED WITH 2" OF INORGANIC GROUND COVER / GRAVEL AND WILL HAVE 50 PERCENT VEGETATIVE COVERAGE IN TWO YEARS.

LANDSCAPE NOTES

- ALL PLANT MATERIALS SHALL CONFORM TO NURSERY STANDARDS ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., AND SHALL BE FREE FROM PESTS, EGGS, DISEASES, PLANTS SHALL BE REPRESENTATIVE OF SPECIES IN SIZE, QUALITY, FORM AND COLOR. PLANTS SHALL NOT BE ROOT BOUND, DAMAGED OR SUBSTANDARD IN ANY WAY. ALL MATERIALS TO BEAR ORIGINAL LABELS.
- ANY PLANT DEEMED SUBSTANDARD BY THE OWNER WILL BE REMOVED FROM SITE AND REPLACED BY CONTRACTOR AT CONTRACTOR'S COST.
- THE CONTRACTOR SHALL CAREFULLY STUDY THE DRAWINGS, AND SHALL CAREFULLY EXAMINE THE SITE, AND SHALL BE AWARE OF ALL EXISTING WORK AND CONDITIONS THAT COULD POSSIBLY AFFECT THE LANDSCAPE WORK.
- THE ACT OF SUBMITTING A BID PROPOSAL FOR THE WORK REQUIRED AND INCLUDED IN THE CONTRACT IS EVIDENCE THAT THE CONTRACTOR HAS BECOME COMPLETELY FAMILIAR WITH ALL SITE CONDITIONS AND IS FAMILIAR WITH ALL REQUIREMENTS OF THE CONTRACT.
- THE CONTRACTOR SHALL REMOVE ALL ROCKS, EXCESS DIRT, AND DEBRIS, AND EQUIPMENT FROM THE SITE AT THE COMPLETION OF THE WORK.
- DO NOT PLANT TREES OR SHRUBS WITHIN FOUR FEET OF SIDEWALKS OR CURBS UNLESS ROOT BARRIER IS INSTALLED.



PLANTING LEGEND

TREES			
SYMBOL	QUANTITY	SIZE	PLANT NAME
	8	24" BOX	PROSOPIS HYBRID PHOENIX PHOENIX HYBRID THORNLESS MESQUITE
	18	24" BOX	CERCIDIUM X "DESERT MUSEUM" DESERT MUSEUM PALO VERDE
	3	36" BOX	OLNEYA TESOTA DESERT IRONWOOD
	4	24" BOX	FRAXINUS OXYCARPA 'RAYWOOD' RAYWOOD ASH

SHRUBS/ACCENTS

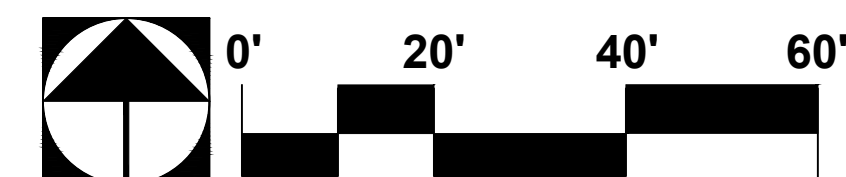
SYMBOL	QUANTITY	SIZE	PLANT NAME
	74	5 GAL	HESPERALOE PARVIFLORA RED YUCCA
	50	5 GAL	EUPHORBIA ANTISYPHILITICA CANDELLILLA
	96	15 GAL	DASYLIRION LONGISSIMUM TOOTHLESS SPOON
	48	15 GAL	HESPERALOE FUNIFERA GIANT HESPERALOE
	68	5 GAL	PEDILANTHUS MACROCARPUS LADY'S SLIPPER
	61	15 GAL	LEUCOPHYLLUM FRUTESCENS HEAVENLY CLOUD TEXAS RANGER
	33	15 GAL	DODONAEA VISCOSA GREEN HOPBUSH
	40	5 GAL	LANTANA SPECIES 'NEW GOLD' NEW GOLD LANTANA
	17	5 GAL	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA

INERT GROUND COVER

SYMBOL	
DG	3/4" SCREENED GRANITE ROCK 2" MIN. DEPTH. COLOR: "DESERT GOLD" AVAILABLE FROM KALAMAZOO MATERIALS (520) 744-8700, OR AS APPROVED BY OWNER.

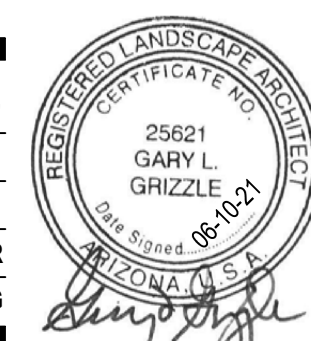
ALL LANDSCAPE AREAS, AREAS DISTURBED BY CONSTRUCTION OPERATIONS AND NOT PAVED OR BUILT ON SHALL RECEIVE DECOMPOSED GRANITE PER THIS SCHEDULE.

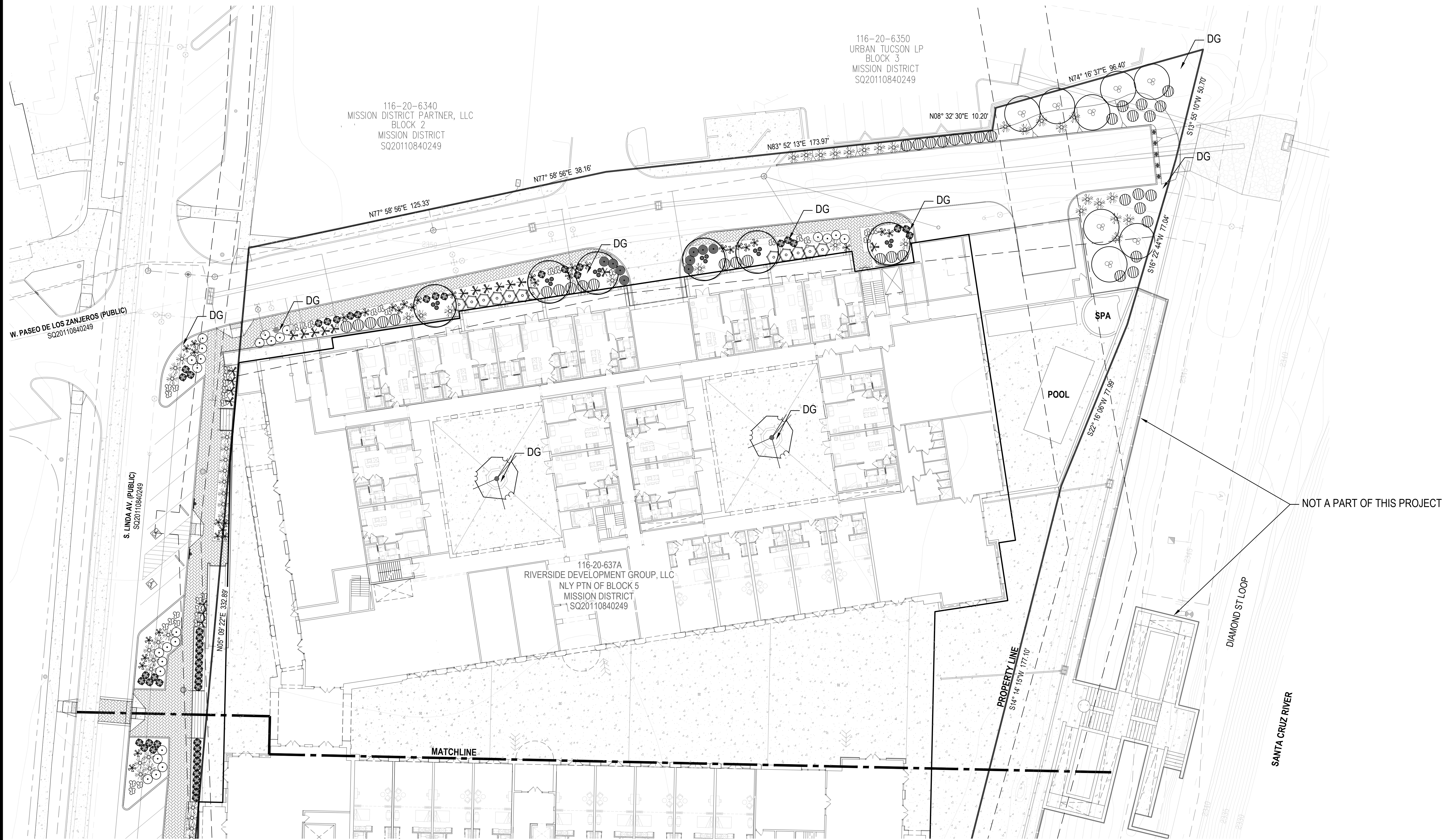
PROJECT LAYOUT
SCALE: 1" = 40'



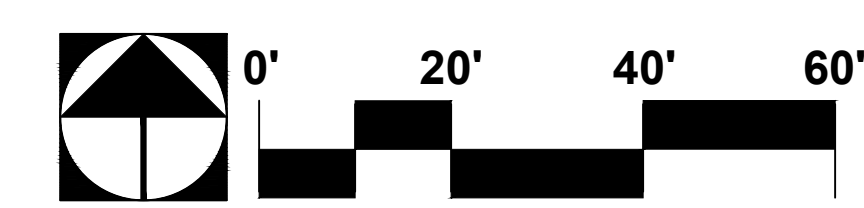
RELATED CASE #s
CX-XX-XX

DP21-





NOT A PART OF THIS PROJECT



Contact Arizona 811 at least two full working days before you begin excavation

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RELATED CASE #s
CX-XX-XX
DP21-_____

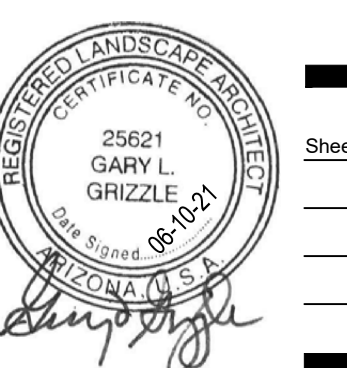


Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix and
Flagstaff, Arizona, and Las Vegas, Nevada
4444 East Broadway
Tucson, Arizona (520) 881-7480

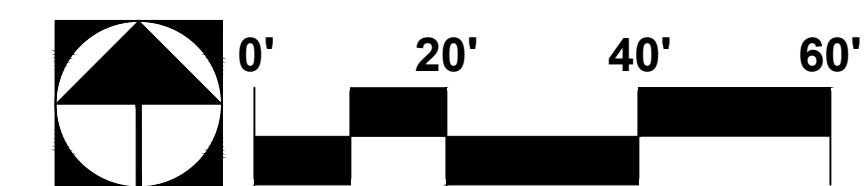
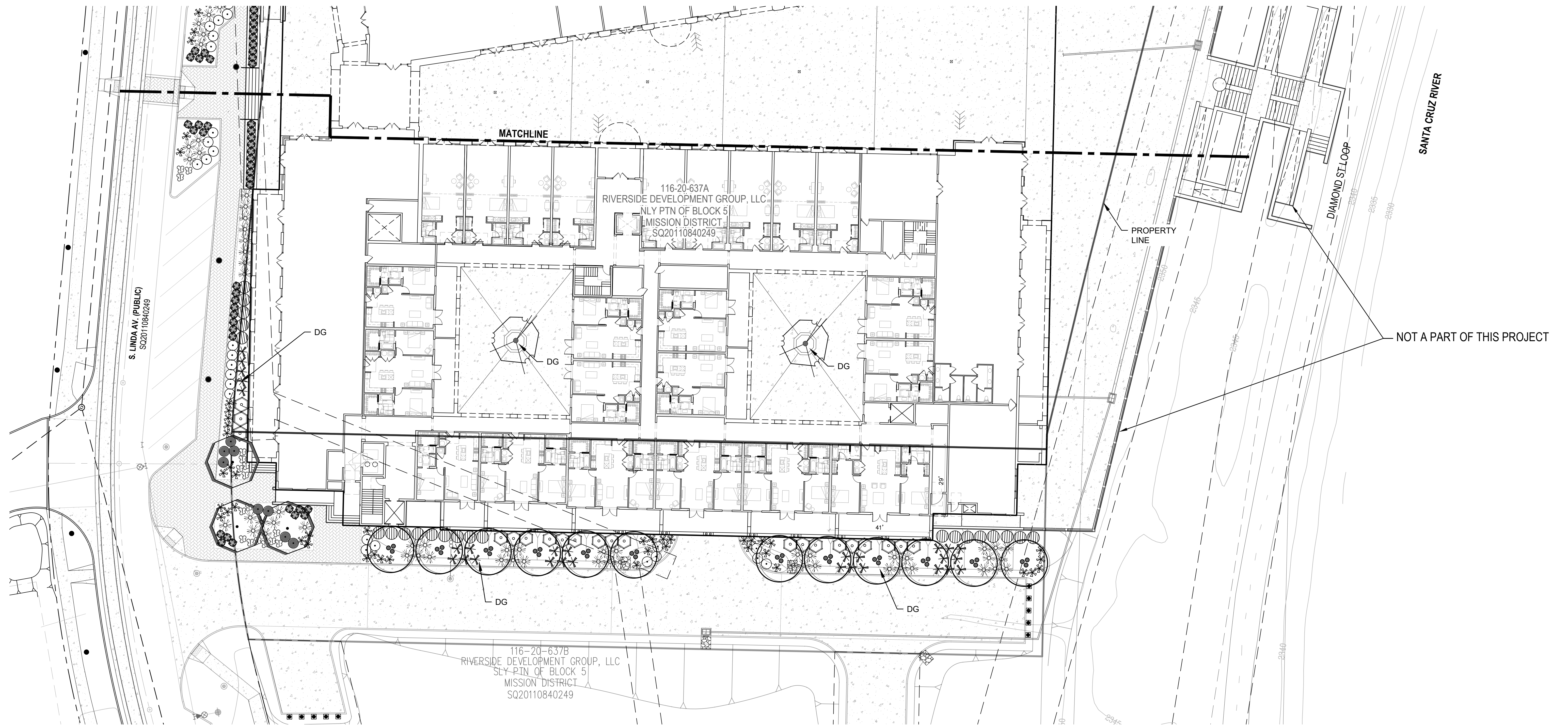
BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
NLY PTN OF BLOCK 5 AND A PORTION OF SLY OF BLOCK 5 OF MISSION DISTRICT PER SEQUENCE NUMBER 20110840249
BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

Sheet Title
DEVELOPMENT PACKAGE
PLANTING PLAN
File: Q:\103010\Q-001 Bautista Plaza\04 Planting\02 DPDP_Bautista_18-Landscape Plan.dwg Plot Date: 6/10/21

No.	Date	Item	Scale
			1"=20'-0"
			Job No. 113010-Q-001-01050600
			Date JUNE 2021
			Designed By CB / PNR
			Checked By GLG



Sheet **18**
23



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ARIZONA 811
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RELATED CASE #s
 CX-XX-XX

DP21-_____



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 Tucson, Arizona (520) 881-7480

BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
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Sheet Title
DEVELOPMENT PACKAGE
PLANTING PLAN

File:Q:\103010\Q-001 Bautista Plaza\04 Planting\02 DPDP_Bautista_19-Landscape Plan.dwg Plot Date:6/10/21

No.	Date	Item

Scale: 1"=20'-0"
 Job No: 113010-Q-001-0105/0600
 Date: JUNE 2021
 Designed By: CB / PNR
 Checked By: GLG



Sheet **19**
23

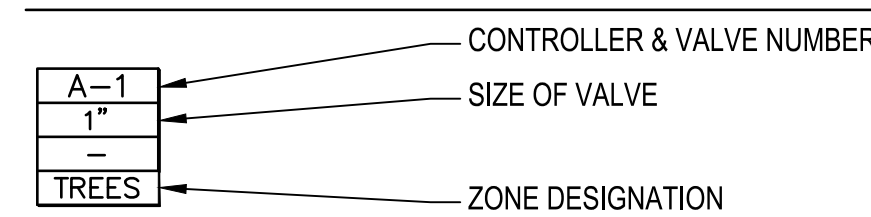
IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER/MODEL	COMMENTS
[M]	WATER METER	1" SIZE. SEE WATER PLANS	
[A]	IRRIGATION CONTROLLER	RAINBIRD ESP-TM2-12 CONTROLLER 12 STATION OUTDOOR -120V WITH WIRELESS OUTDOOR RAIN SENSOR - WR2-RFC	WALL MOUNT AT LOCATION APPROVED BY OWNER, PROVIDE CONDUIT SWEEP, COORDINATE ELECTRICAL SUPPLY
[X]	BACKFLOW PREVENTER IN ENCLOSURE	FEBCO 825Y, 1" SIZE.	GUARDSHACK ENCLOSURE GS-3, COLOR: WOODLAND TAN, INSTALL TAN COLOR GUARDSHACK R30 "FROSTGUARD" BLANKET
[V]	ISOLATION VALVE	NIBCO T-113K BRASS GATE VALVE, OR EQUAL	LINE SIZE, IN VALVE BOX BOX SIZE: AMETEK 10" ROUND, OR EQUAL, COLOR: TAN
[R]	REMOTE CONTROL VALVE ASSY. (TREE/SHRUB)	CONTROL VALVE: IRRITROL 700 P SERIES, OR EQUAL BALL VALVE: KBI PVC BALL VALVE, OR EQUAL PRESSURE REGULATOR: RAIN BIRD PSH-M40X-100 WYE FILTER: RAIN BIRD RBY-150-MX, OR EQUAL	SIZE PER PLAN IN VALVE BOX BOX SIZE: AMETEK "JUMBO", OR EQUAL, COLOR: TAN
NOT SHOWN	MULTI-OUTLET EMITTER - TREE (NOT SHOWN)	RAINBIRD XBT-20-6 MULTI-OUTLET XERI-BUG, OR EQUAL	NOT SHOWN ON PLAN, PROVIDE (1) TO EACH TREE. BOX SIZE: AMETEK 6" ROUND, OR EQUAL, COLOR: TAN
NOT SHOWN	MULTI-OUTLET EMITTER - SHRUB (NOT SHOWN)	RAINBIRD XBT-20-6 MULTI-OUTLET XERI-BUG, OR EQUAL	NOT SHOWN ON PLAN. BOX SIZE: AMETEK 6" ROUND, OR EQUAL, COLOR: TAN
[—]	MAIN LINE	SCH. 40 PVC PIPE	SOLVENT WELD
[—]	TREE HEADER/LATERAL	SCH. 40 PVC PIPE	SIZE 1" - NOT SHOWN ON PLAN
[—]	SHRUB HEADER/LATERAL	SCH. 40 PVC PIPE	SIZE 1" - NOT SHOWN ON PLAN
[□]	FLUSH END	SEE DETAIL	LOCATE AT END OF LATERAL RUN IN VALVE BOX, 10" ROUND SIZE, BOX COLOR: TAN
[□]	QUICK COUPLER	RAIN BIRD 33DRC	IN VALVE BOX, BOX SIZE: AMETEK 10" ROUND, OR EQUAL, PROVIDE (3) KEYS.

IRRIGATION NOTES

- IRRIGATION PLAN IS SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. INSTALL EQUIPMENT WITHIN PLANTING AREAS WHEREVER POSSIBLE.
- IRRIGATION SYSTEM IS DESIGNED FOR 55 PSI AND 20 GPM MINIMUM AT THE POINT OF CONNECTION. CONFIRM PRIOR TO START OF WORK. ADVISE LANDSCAPE ARCHITECT IF PRESSURE EXCEEDS 125 PSI.
- COORDINATE WITH OTHER WORK AS REQUIRED TO PROVIDE POWER TO IRRIGATION CONTROLLER.
- MAKE IRRIGATION POINT OF CONNECTION AS INDICATED ON PLANS AND COORDINATE WITH OTHER WORK AS REQUIRED.
- EXACT LOCATION OF CONTROLLER AND BACKFLOW PREVENTOR TO BE APPROVED PRIOR TO INSTALLATION.
- ALL WATER USE FOR LANDSCAPE IRRIGATION AND ENHANCEMENT SHALL CONFORM TO THE ARIZONA GROUNDWATER CODE, ARIZONA REVISED STATUTES 45, CHAPTER 2.
- CONTRACTOR IS RESPONSIBLE FOR ALL SLEEVES.
- INSTALL PIPE AND WIRE UNDER PAVING IN PVC SCH. 40 SLEEVE, SIZE AS REQUIRED. COORDINATE WITH OTHER WORK AS REQUIRED.
- INSTALL DRIP EMITTERS AS REQUIRED TO PROVIDE IRRIGATION TO ALL NEW PLANTS AS SHOWN ON PLANTING PLAN.
- INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL LATERAL LINES AND FLUSH THOROUGHLY
- FOR SHRUBS & GROUND COVER:
 - INSTALL SINGLE OUTLET EMITTERS AS FOLLOWS:
 - (2) 2-GPH EMITTERS AT EACH 15 GALLON PLANT
 - (1) 2-GPH EMITTERS AT EACH 5 GALLON PLANT
 - MULTI-OUTLET EMITTERS MAY BE SUBSTITUTED FOR INDIVIDUAL EMITTERS.
- FOR TREES:
 - INSTALL MULTI-OUTLET EMITTER AS FOLLOWS:
 - (6) 2-GPH EMITTERS AT EACH 24" AND 36" BOX
- SINGLE OUTLET EMITTER - RAIN BIRD
MULTI-OUTLET EMITTER - RAINBIRD XB-20-6
- USE SHORT PIECES OF DISTRIBUTION TUBING (MAXIMUM LENGTH 10') TO EXTEND EMITTERS TO EACH ROOTBALL. HOLD IN PLACE WITH STAKES.
- REVIEW EMITTER LAYOUT WITH ARCHITECT AND ADJUST NUMBER OF EMITTERS FOR SPECIFIC PLANTS THAT REQUIRE GREATER OR LESSER VOLUME OF WATER THAN INDICATED.
- ALL BURIED IRRIGATION PIPE GREATER THAN TWO INCHES IN DIAMETER SHALL HAVE A #18 UF TYPE TRACER WIRE ATTACHED SECURELY TO IT AT 8 FT. INTERVALS. AT THE TERMINATION POINT ATTACH WIRE SECURELY TO PIPE AND PROVIDE TWELVE INCHES OF TRACER WIRE ACCESSIBLE ABOVE GRADE.
- ALL WATER USE FOR LANDSCAPE IRRIGATION AND ENHANCEMENT SHALL CONFORM TO THE ARIZONA GROUNDWATER CODE, ARIZONA REVISED STATUTES 45, CHAPTER 2.

TYPICAL VALVE CALL OUT



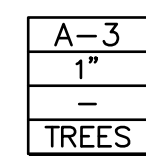
PIPE SIZE CHART (PVC LATERALS)

FLOW	PIPE SIZE
1-6 GPM	3/4"
6.1-10 GPM	1"
10.1-16 GPM	1-1/4"
16.1-24 GPM	1-1/2"
24.1-46 GPM	2"

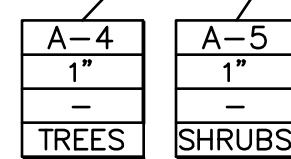
IRRIGATION IS SHOWN SCHEMATICALLY.

PROVIDE (2) 4" SCH. 40 PVC SLEEVES UNDER PAVING, SIDEWALKS, STEPS AND THROUGH WALLS, TYPICAL, EVEN IF NOT SHOWN ON PLAN. COORDINATE WITH GENERAL CONTRACTOR

IRRIGATION DRIP ZONE (TYP)



PROVIDE (2) 4" SCH. 40 PVC SLEEVES UNDER PAVING, SIDEWALKS, STEPS AND THROUGH WALLS, TYPICAL, EVEN IF NOT SHOWN ON PLAN. COORDINATE WITH GENERAL CONTRACTOR



PROVIDE (2) 4" SCH. 40 PVC SLEEVES UNDER PAVING, SIDEWALKS, STEPS AND THROUGH WALLS, TYPICAL, EVEN IF NOT SHOWN ON PLAN. COORDINATE WITH GENERAL CONTRACTOR

WALL MOUNT IRRIGATION CONTROLLER LOCATION TO BE APPROVED BY OWNER. EXTEND CONDUIT FROM CONTROLLER TO LANDSCAPE AREAS.

PROVIDE (2) 4" SCH. 40 PVC SLEEVES UNDER PAVING, SIDEWALKS, STEPS AND THROUGH WALLS, TYPICAL, EVEN IF NOT SHOWN ON PLAN. COORDINATE WITH GENERAL CONTRACTOR

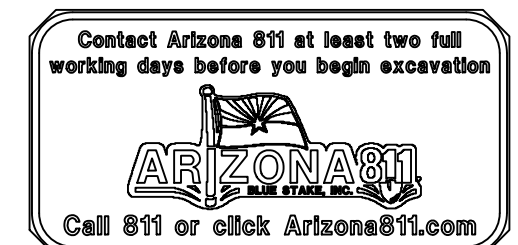
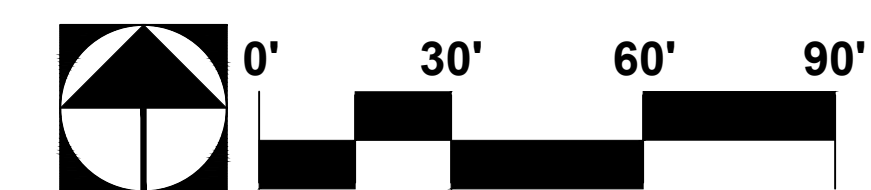
IRRIGATION DRIP ZONE (TYP)

S. LINDA AV. (PUBLIC)
SQ20110840249

116-20-637A
RIVERSIDE DEVELOPMENT GROUP, LLC
NLY PTN OF BLOCK 5
MISSION DISTRICT
SQ20110840249

DIAMOND ST LOOP

SANTA CRUZ RIVER



RELATED CASE #s
CX-XX-XX

DP21-

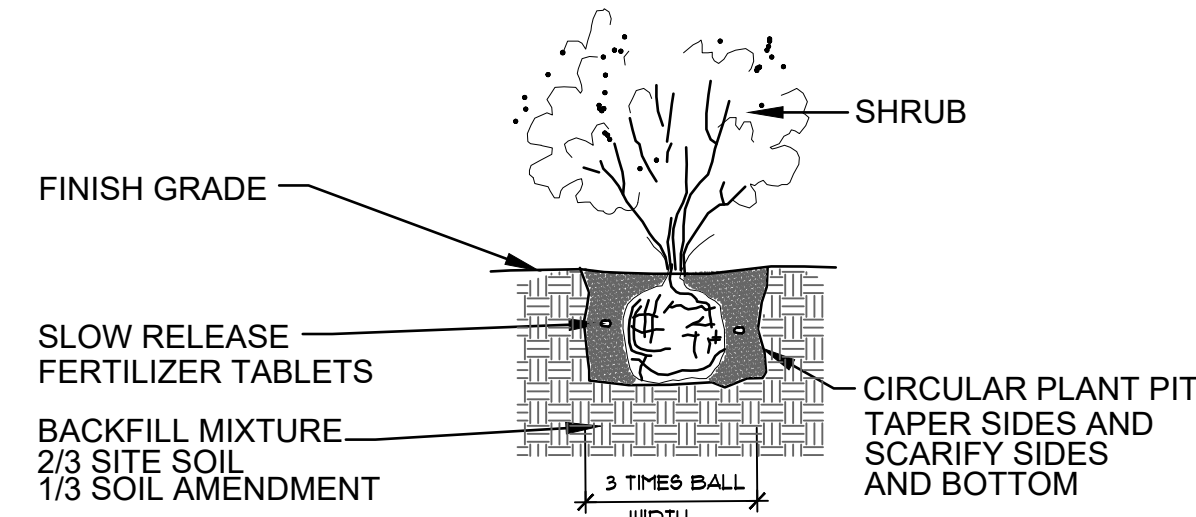


NOTES:

1. FINISHED DEPTH: 2" MIN.
2. BEFORE SPREADING ROCK, REMOVE ROCK & DEBRIS.
3. DURING INSTALLATION RAKE D.G. TO SETTLE FINES.
4. LIGHTLY BROOM SURFACE OF D.G. AFTER INSTALLATION.
5. APPLY PRE-EMERGENT TO ALL D.G. AREAS.
6. APPLY A LIGHT MIST OF WATER OVER THE ENTIRE D.G. SURFACE.

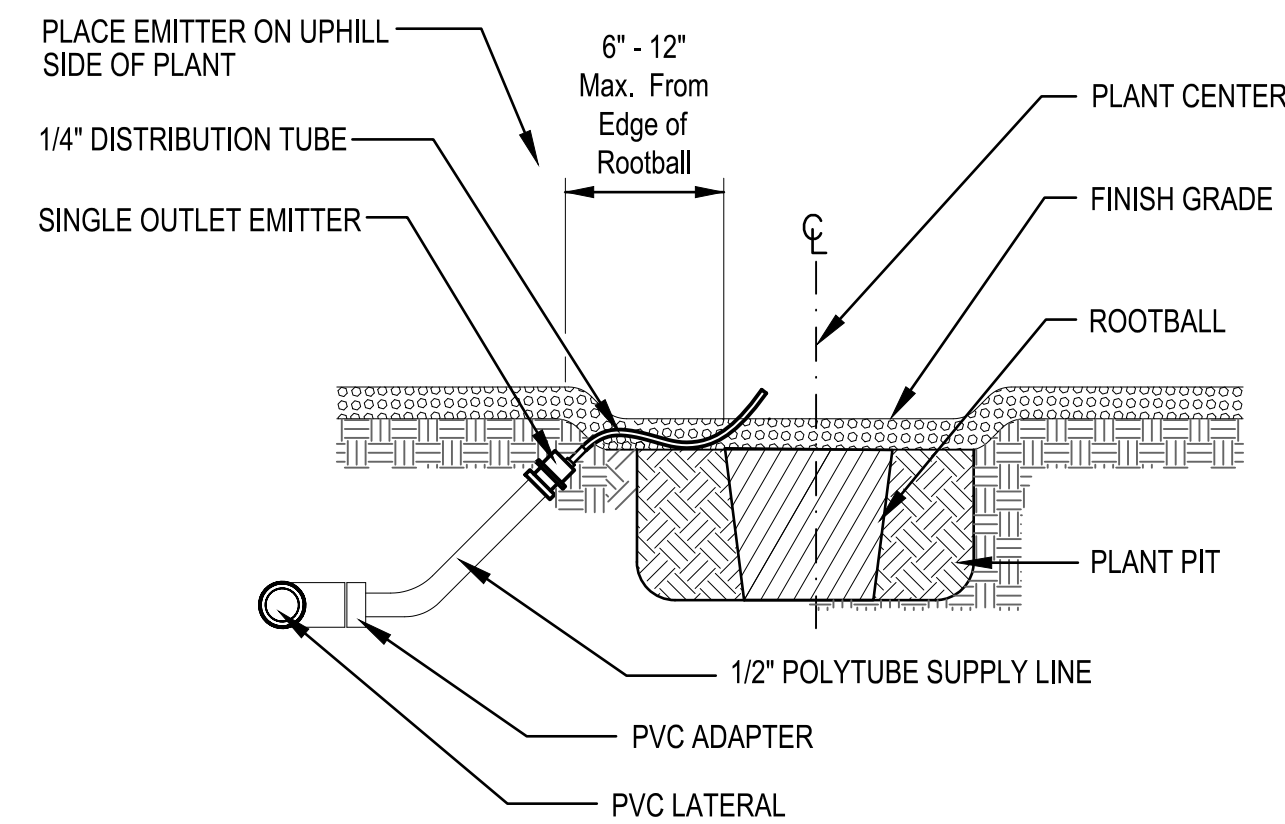


10 INERT GROUNDCOVER
SCALE: NTS



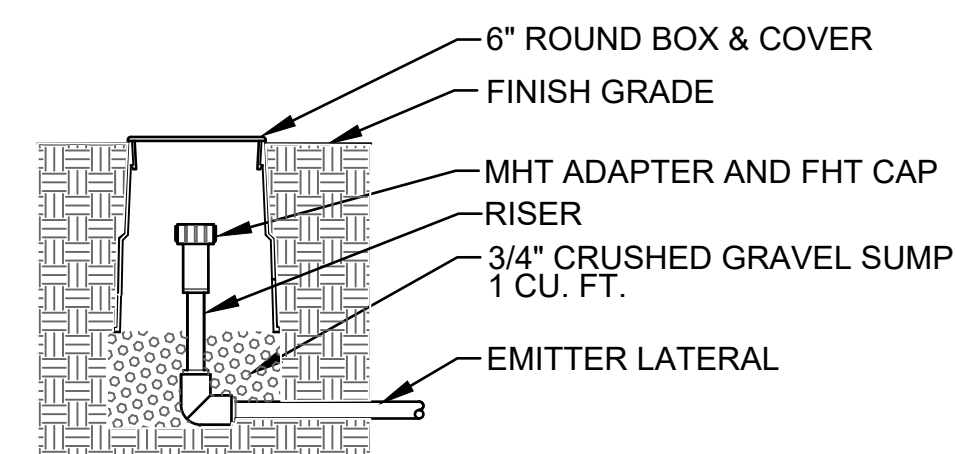
NOTE: 1. WATER SETTLE BACKFILL 6" LIFTS

11 SHRUB PLANTING
SCALE: NTS

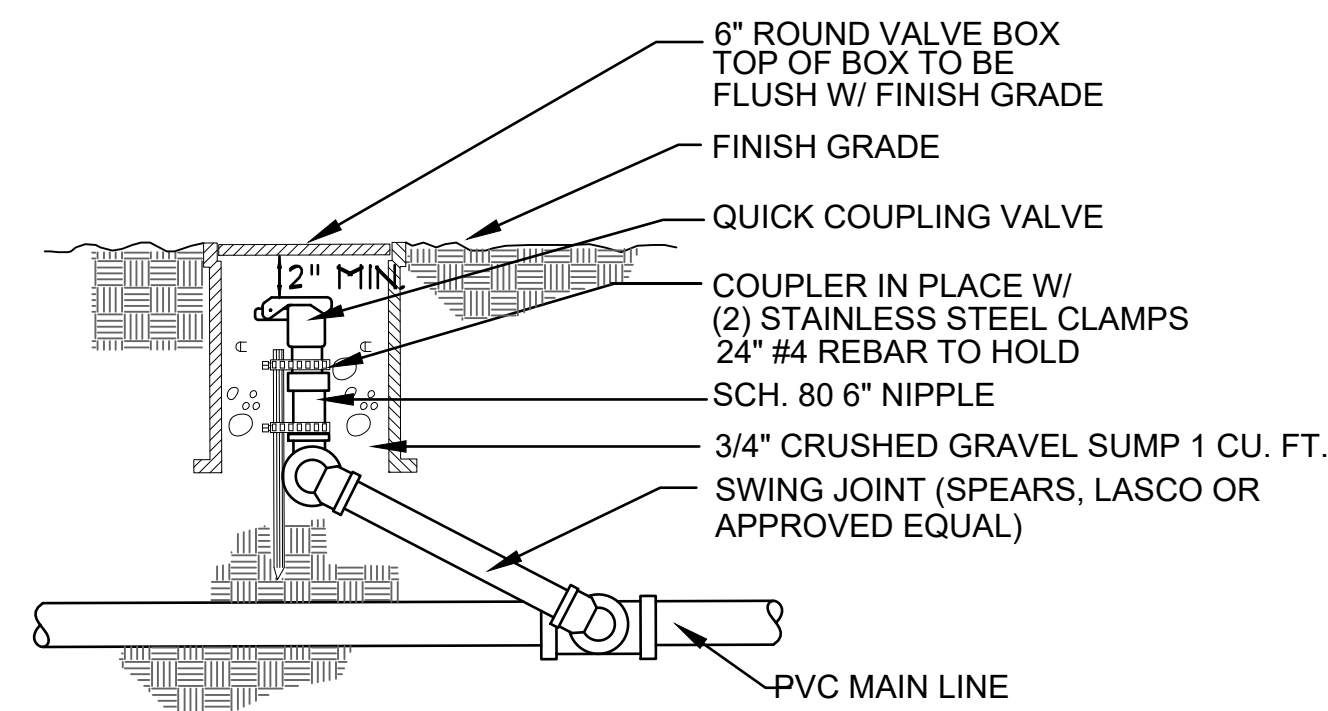


NOTE: IF PLANTED ON SLOPE, PLACE EMITTER ON UPHILL SIDE OF PLANT

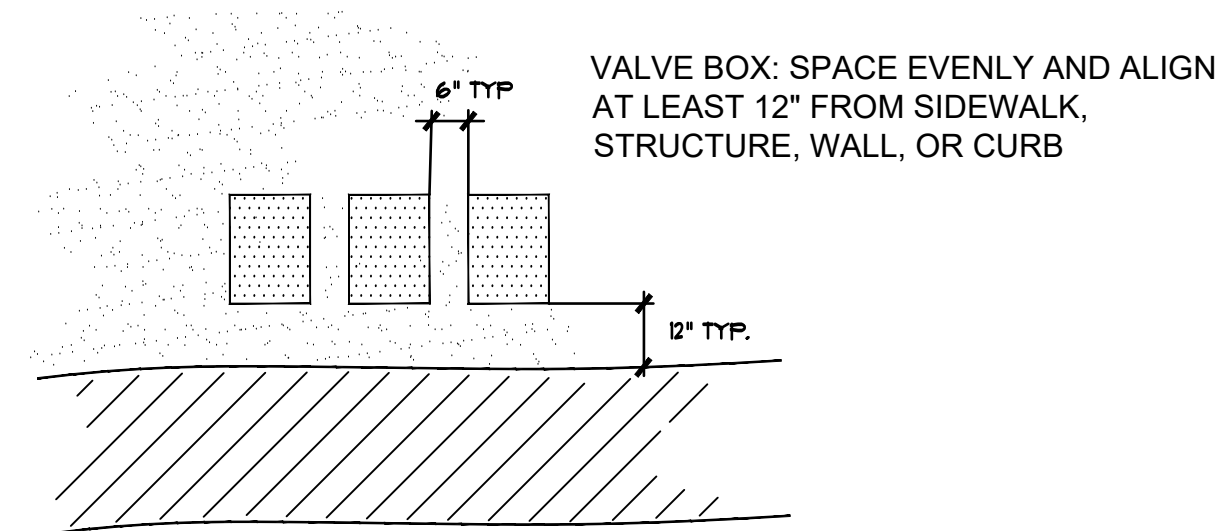
6 SINGLE OUTLET EMITTER
SCALE: NTS



7 FLUSH END ASSEMBLY
SCALE: NTS

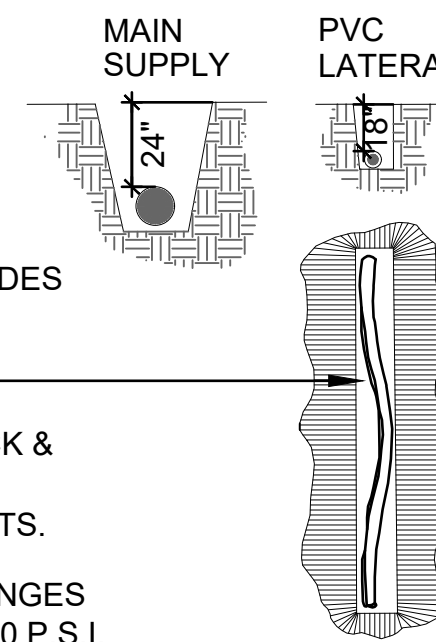


8 QUICK COUPLER
SCALE: NTS

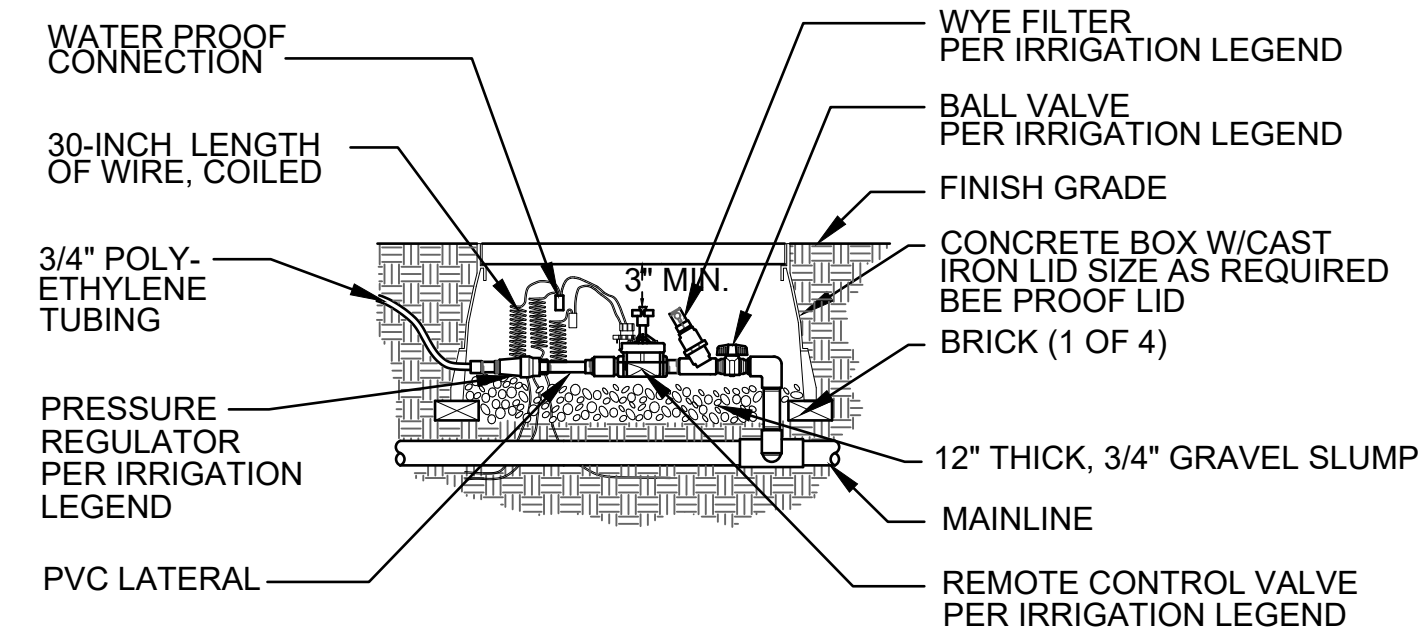


9 VALVE BOX PLACEMENT
SCALE: NTS

NOTE: TAPE & BUNDLE TUBING AND WIRING AT 10' INTERVALS
ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES
ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN
PIPE BEDDING MATERIAL TO BE ROCK & DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.
THRUST BLOCK ALL DIRECTION CHANGES OF THE MAINLINE WITH 1 C.F. OF 3000 P.S.I. CONCRETE

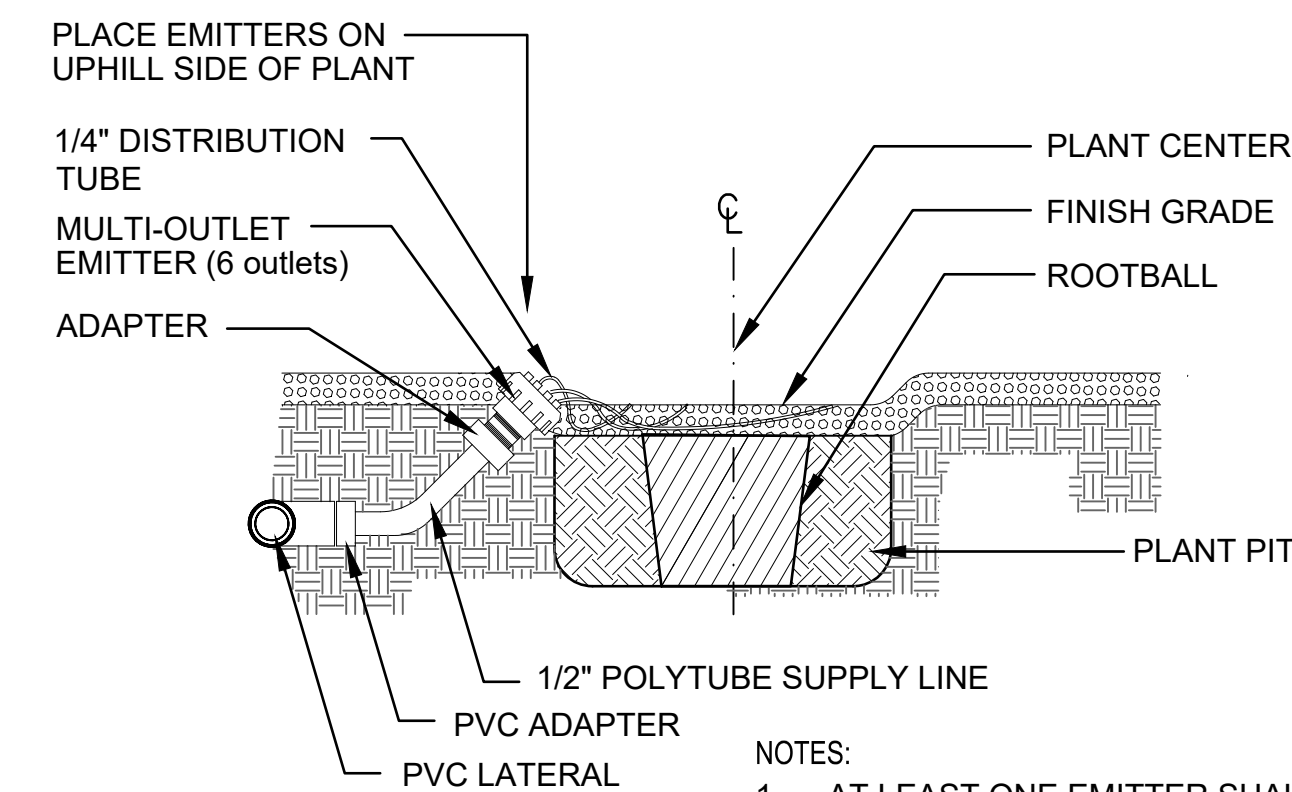


3 TRENCH
SCALE: NTS



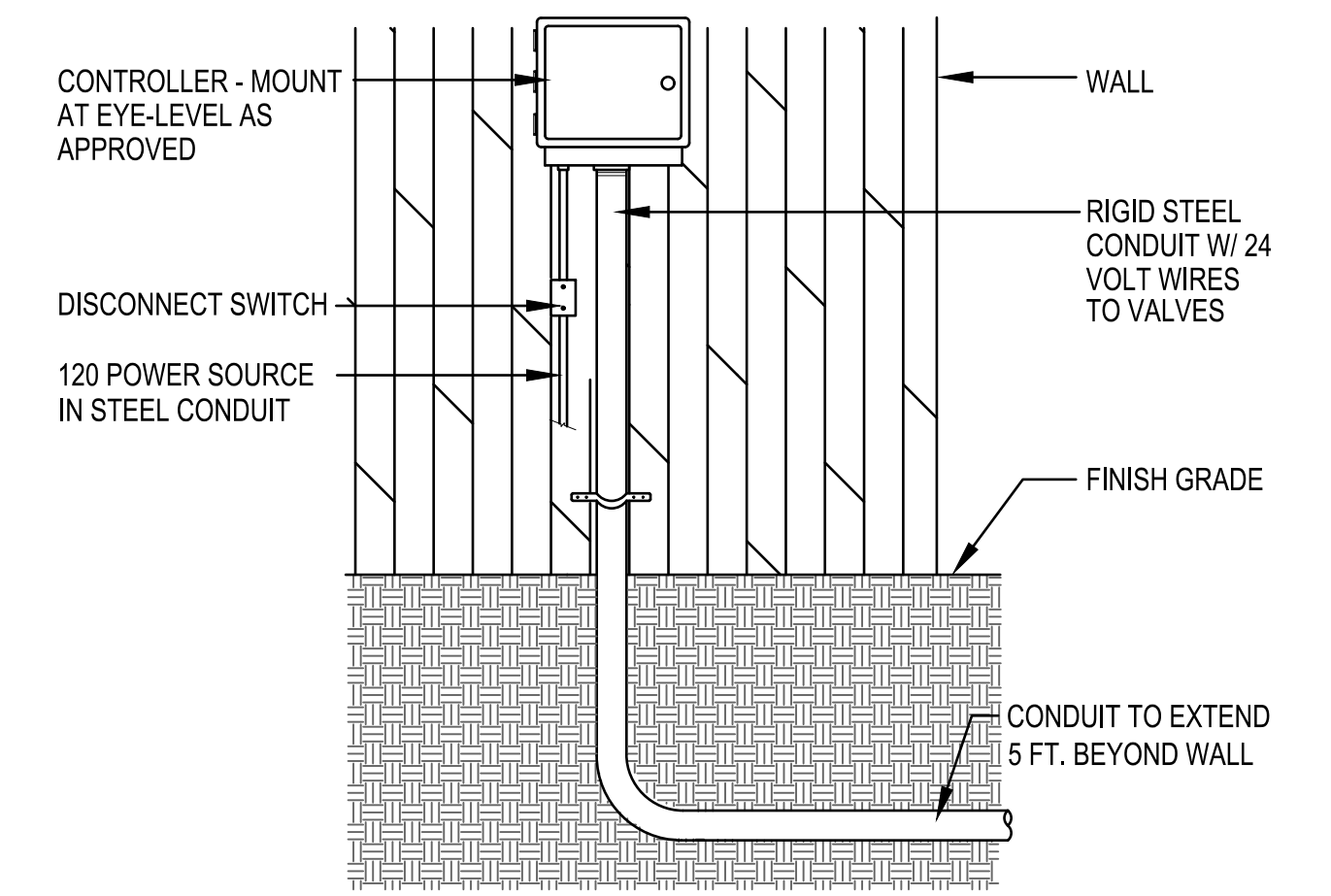
NOTE: BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH SPLICING MATERIAL.

4 DRIP VALVE ASSEMBLY
SCALE: NTS



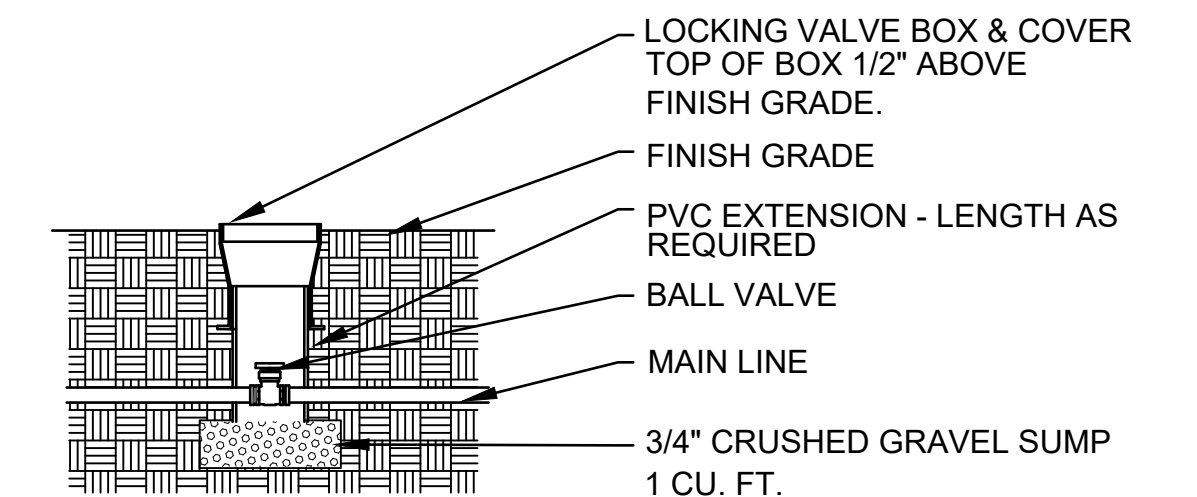
NOTES:
1. AT LEAST ONE EMITTER SHALL BE PLACED WITHIN 4" OF PLANT CENTER.
2. PLACE EMITTER SUCH THAT TOP EDGE IS VISIBLE ABOVE FINISH GRADE.

5 MULTI OUTLET EMITTER
SCALE: NTS

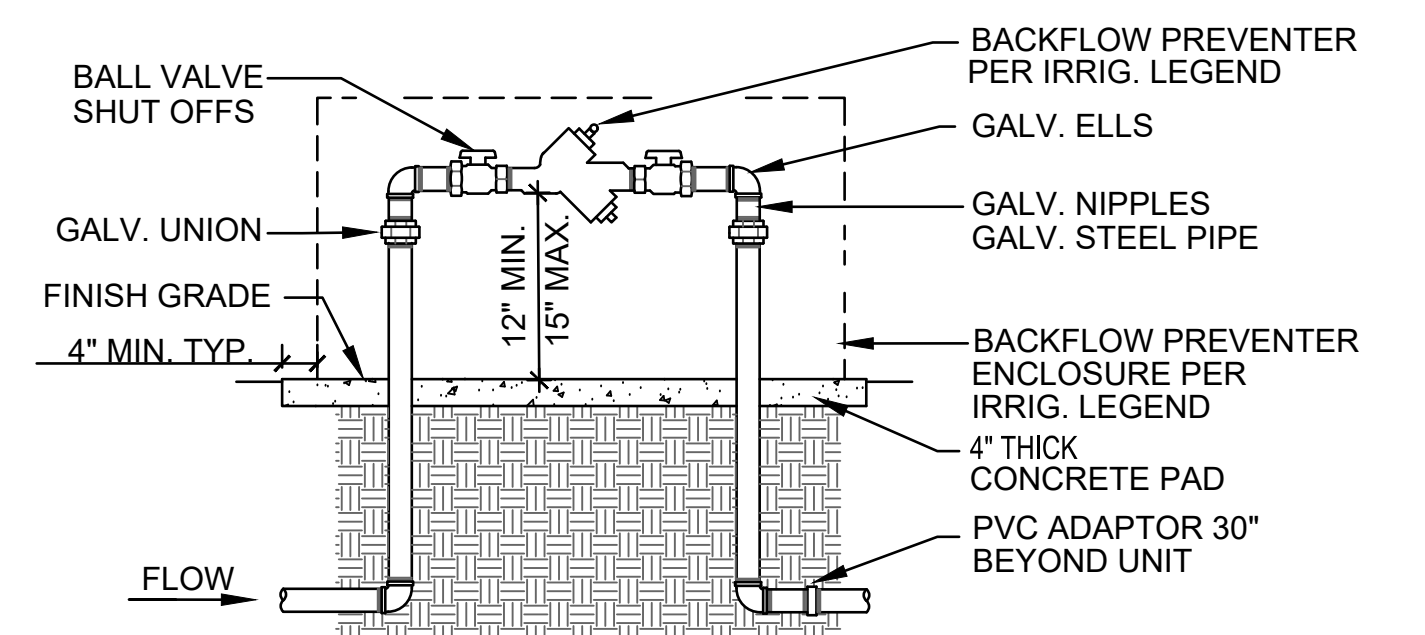


NOTE: GROUND CONTROLLER PER CONTROLLER MANUFACTURER RECOMMENDATIONS AND PER LOCAL CODE.

1 WALL MOUNT CONTROLLER
SCALE: NTS



2 ISOLATION VALVE
SCALE: NTS



NOTES: PROVIDE BACKFLOW TESTING PER WATER COMPANY STANDARDS. PROVIDE TAN COLOR R30 "FROSTGUARD" BLANKET

2 BACKFLOW PREVENTER
SCALE: NTS

LANDSCAPE WORK

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes the following:
1. Trees, Shrub and Cacti.
 2. Inert Ground Cover.

1.2 SUBMITTAL REQUIREMENTS

- A. General: The Contractor shall make the submittals identified below. Submittals shall be approved prior delivery or placement of materials.
- B. Certificates of Compliance: Submit 3 copies of the following certificates of compliance to the Owner's Representative for review and approval:
1. Fertilizer, Soil Sulfur, Gypsum, Manganese Sulfate: Manufacturer's certified statement of analysis for each.
 2. Organic Soil Conditioner: A certificate, signed by the supplier, stating that the product complies with the project specifications
 3. Soil Stabilizer: Manufacturer's certified statement of analysis.
- C. Materials Test Reports: for existing surface soil and imported soil.

D. Samples for Verification: For each of the following provide the following samples:

1. 5 lb of decomposed granite mulch for the color and gradation of decomposed granite proposed for use on the project, in labeled plastic bag.

1.3 COMPLIANCE WITH APPLICABLE REGULATIONS

- A. The Contractor shall comply with all local, state, and federal regulations regarding materials, methods of work, and disposal of excess and waste materials. The Contractor shall provide notices required by all governmental authorities, request required inspections, obtain required permits, and pay for all associated fees.

1.4 QUALITY ASSURANCE

- A. Installer Qualifications: All work shall be performed by a Contractor licensed by the State of Arizona Register of Contractors. The commercial license held by the Contractor shall be appropriate for the work being performed.
1. The Contractor shall maintain an experienced full-time supervisor on Project site during the construction period.
- B. Observation: Owner's Representative may observe plants either at place of growth or at site before planting for compliance with requirements for genus, species, variety, size, and quality. Owner's Representative retains right to observe plants further for size and condition of balls and root systems, insects, injuries, and latent defects and to reject unsatisfactory or defective material at any time during progress of work. Remove rejected plants immediately from Project site. Owner's Representative may observe any and all plant pits prior to backfilling or planting.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Do not prune trees, shrubs and cacti before delivery, except as approved by Owner's Representative. Protect bark, branches, and root systems from sun scald, drying, sweating, whipping, and other handling and tying damage. Do not bend or bind-tie trees, shrubs or cacti in such a manner as to destroy their natural shape. Provide protective covering of plants during delivery. Do not drop plants during delivery.
- B. Deliver plants after preparations for planting have been completed and install immediately. If planting is delayed more than six hours after delivery, protect from weather and mechanical damage, and keep roots moist. Do not remove container-grown stock from containers before time of planting.
- C. Inorganic Soil Amendments: Deliver in original sealed, labeled, and undamaged containers.
- D. Fertilizer: Deliver in original sealed, labeled, and undamaged containers.

1.6 COORDINATION

- A. Weather Limitations: Proceed with planting only when existing and forecasted weather conditions permit.
- B. Work that is completed or in-progress shall be protected during installation of landscape work. The Contractor shall coordinate all landscape related work with the Owner's Representative.

1.7 GUARANTEE

- A. The Contractor shall guarantee all Contractor provided plants for the period indicated, commencing on the date of Final Acceptance, against all defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner, causes deliberate, or incidents that are beyond Contractor's control.
1. Guarantee Period for Trees, Shrubs and Cacti: One year from date of Substantial Completion.
 2. Remove dead plants immediately. Replace immediately unless directed otherwise by Owner's Representative.
 3. Replace plants that are diseased, or that exhibit more than 25 percent die-back, at end of guarantee period.
 4. A limit of one replacement of each plant will be required, except for losses or replacements due to failure to comply with requirements.
 5. Include the following remedial actions for turf as a minimum:
 - a. Immediately remove dead turf and replace.
 - b. Repair failed areas due to erosion, replace erosion control materials in failed areas.

1.8 MAINTENANCE DURING CONSTRUCTION

- A. The Contractor shall maintain throughout the construction period all trees, shrubs, cacti, decomposed granite, and other landscape improvements. Maintenance during construction shall continue until the issue of a Certificate of Substantial Completion. All maintenance and plant replacements throughout the construction period shall be at no additional cost to the Owner.
1. Trees, Shrubs and Cacti: During the construction, maintain by pruning, cultivating, watering, weeding, fertilizing, restoring planting saucers, tightening and repairing stakes and guy supports, clean-up and resetting to proper grades or vertical position, as required to establish healthy, viable plantings. Spray as required to keep trees, shrubs, and cacti free of insects.
 2. Decomposed Granite (including stabilized and field mixes): During the construction, maintain by raking, weeding, recompacting, reapplying, regrading, and repairing eroded areas. Protect field areas from traffic.
- B. Inspection of Completed Landscape Work: Upon completion of the landscape work, the Contractor shall notify the Owner's Representative who will schedule an inspection of the landscape improvements. During the inspection, items that are incomplete or that must be repaired or replaced will be identified. Completion or correction of items noted will be required prior to the issuance of a Certificate of Substantial Completion.

1.9 MAINTENANCE AFTER SUBSTANTIAL COMPLETION

- A. Maintenance Period: Six months from date of Substantial Completion for trees, shrubs, cactus and other landscape improvements. All work shall be performed in a professional manner within the standards of the industry, using quality equipment methods and materials.
- B. Work Schedule: Contractor will supply the Owner's Representative with a proposed schedule of the expected day and time tasks listed below will be performed. This schedule shall be approved prior to project maintenance commencement.

Item No.	Task Work Item Description	Task Work Item Description	Time Frame
1	Prune Plants	Once	4th Month
2	Fertilize Plants	Once	4th Month
3	Irrigate Plants	Adjust per Season	---
4	Weed All Areas	2x Month	---
5	Apply Pre-Emergent Herbicide	Once	4th Month
6	Ensure Soil Conditions	Once	2nd Month
7	Insect, Rodent and Disease Control	Monthly	---
8	Granite Areas	Monthly	---
9	Police Site	Weekly	---

The frequencies of the tasks stated above are suggested minimums only. During extremely wet or dry periods, the Contractor must adjust schedules to ensure correct and proper conditions are maintained.

- C. After satisfactory completion of the maintenance period, the Owner will assume responsibility for landscape maintenance

1.10 SUSPENSION OF MAINTENANCE PERIOD FOR NON-COMPLIANCE

- A. Failure to comply with the specified maintenance requirements, as determined by the Owner's representative, may result in the suspension of the maintenance period until such time as the required remedial actions have been completed by the Contractor. A number of days equal to the number of days of the suspension will be added to the maintenance period.

PART 2 - PRODUCTS

2.1 TREE, SHRUB, AND CACTI MATERIAL

- A. General: All Contractor-provided plants used on the project shall be subject to the Owner's review and approval.
- B. Plant Form and Quality: All plants shall comply with the project specifications, be normally developed individuals of their species. Provide well-shaped, fully branched, healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement.
- C. Grade: Provide quality, size, genus, species, and variety of plants indicated, complying with applicable requirements in ANSI Z60.1, "American Standard for Nursery Stock" or "Arizona Nurseryman's Association Recommended Average Tree Specifications", whichever is the more stringent. Trees, shrubs, and cacti of a larger size may be used if acceptable to Owner's Representative and at no additional cost to Owner.
- D. Plant Root Systems: All plants shall have healthy root systems. Container-grown plants shall have been in containers for a sufficient time for the root system to hold the soil when the plant is removed from the container, but not long enough for the plant to become root-bound or to cause a hardening of the root system.
- E. Label at least one tree, shrub, and cacti of each variety and caliper with a securely attached, waterproof tag bearing legible designation of botanical and common name.

2.2 PREPARED PLANTING SOIL MIX FOR TREES, SHRUBS, AND CACTI

- A. Planting Soil Mix: Planting soil shall be native topsoil mixed to a uniform volume and loose measure, with the following soil amendments and fertilizers in the following quantities per cubic yard:
1. Trees and Shrubs: 20 cubic feet of (native) topsoil, 7 cubic feet of organic soil conditioner, 2 lbs soil sulfur, 1 lb of fertilizer (16-20-0). The prepared planting soil shall be thoroughly blended prior to placement in plant pits.
 2. Cacti: Planting soil shall be native topsoil with 0.25 lbs of soil sulfur incorporated into the soil backfill at each cactus.

2.3 FERTILIZER

- A. General Requirements: All fertilizers used on the project shall be in pelleted form and of recent manufacture.
- B. Slow-Release Fertilizer for Tree and Shrub Planting: Ammonium Phosphate consisting of 50 percent water-insoluble nitrogen, and phosphorus in the following composition:
1. Composition: 16 percent nitrogen, 20 percent phosphoric acid by weight.

2.4 INERT GROUND COVER

- A. Decomposed Granite: Decomposed granite shall be durable granite material size as shown on the plan. Except as may be approved by the Owner's Representative, all materials used on the project shall be from the same source and shall match the approved sample. Decomposed granite shall be free of loam, sand, clay, and other foreign substances.
1. Type: As indicated on plans.

2.5 TREE STAKING

- A. Tree Stakes: Tree Stakes shall be 2-inch (minimum) diameter by 8 feet (minimum) long peeled Lodge Pole Pine stakes. Treat with an EPA approved wood preservative. If required to support properly trees used on the project, stakes longer than specified shall be used at no cost to the Owner.
- B. Tie Wire: 12 gauge, annealed, galvanized wire.
- C. Chafing Guard: Biodegradable cotton tree ties with brass eyelet, provided in lengths required to protect tree trunks from damage. Cut tree ties are not acceptable.

2.6 HORTICULTURAL CHEMICALS

- A. Pre-Emergent Herbicide: "Surflan" or "Pendulum", or approved equal. Delivered in original, sealed, and fully labeled containers and mixed according to manufacturer's written instructions.
- B. Post-Emergent Herbicide: "Round-Up", or approved equal. Delivered in original, sealed, and fully labeled containers and mixed according to manufacturer's written instructions.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine areas to receive plants and decomposed granite for compliance with requirements and conditions affecting installation and performance. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 BLUE STAKING

- A. The Contractor shall have the work area Blue-Staked prior to the start of any excavation work. Blue Staking shall be kept current throughout the course of the work. All utilities damaged by the Contractor shall be repaired or replaced by the Contractor, as required by the Owner or applicable utility company, at the Contractor's expense.

3.3 SITE PREPARATION

- A. Protect structures, utilities, sidewalks, pavements and other facilities and existing plants from damage caused by landscape operations.
- B. Provide erosion-control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.
- C. Lay out individual tree locations. Stake locations, adjust locations when requested, and obtain Owner's Representative's acceptance of layout before planting. Make minor adjustments as required.

3.4 TREE AND SHRUB PIT EXCAVATION

- A. Seasonal Limitations: The planting of trees and shrubs may be done at any time selected by the Contractor consistent with the overall project schedule. Planting during excessively hot, cold, or windy weather shall be at the Contractor's risk. Plants that die or are damaged as a result of weather conditions shall be replaced by the Contractor at no additional cost to the Owner.
- B. Excavation of Plant Pits: Excavate circular pits with sides sloped inward, pit size according to the drawings. Do not disturb sub-grade. Scarify sides of plant pit if smeared or smoothed during excavation.
- C. Subsoil removed from excavations may be amended as specified and used as backfill.
- D. Obstructions: Do not install any plant if a large obstruction is encountered below the rootball. Notify Owner's Representative if unexpected rock or obstructions detrimental to trees, shrubs or cactus are encountered in excavations.

- E. Tests for Drainage: Partially fill plant pits with water and allow water to percolate away. For acceptance, all pits shall drain at least 6" per hour. All pits not draining at 6" per hour shall be deepened or relocated as directed by Owner's Representative. Drainage testing for up to 25 percent of all tree pits shall be performed by the Contractor at no additional cost to the Owner.
1. Deepening Tree Pits: Drill 6-inch diameter holes into free-draining strata or to a depth of ten feet, whichever is less, and backfill with free-draining material.
 2. Deepening all tree pits shall be performed by the Contractor at no additional cost to the Owner.

3.5 TREE AND SHRUB PLANTING

- B. Set container-grown stock plumb and in center of pit or trench with top of root ball one inch above adjacent finish grades. Plants that settle shall be excavated and re-planted at correct grade.
1. Carefully remove root ball, immediately prior to planting, from container, without damaging root ball, stems or foliage. Damaged plants shall be replaced by the Contractor at no additional cost to the Owner.
 2. Backfill planting soil mix around root ball in layers, tamping to settle mix and eliminate voids and air pockets. When pit is approximately one-half backfilled, water thoroughly before placing remainder of backfill. Repeat watering until no more water is absorbed. Water again after placing and tamping final layer of planting soil mix.

3.6 TREE AND SHRUB PRUNING

- A. Prune, thin, and shape trees and shrubs according to standard horticultural practice. Unless otherwise indicated by Owner's Representative, do not cut tree leaders; remove only injured or dead branches. Prune shrubs to ANA Standards to retain natural character. Shrub sizes indicated are sizes after pruning.
1. All dead wood, suckers, broken or bruised branches shall be removed.
 2. Pruning shall be carried out with clean, sharp tools.
 3. If, in the opinion of the Owner's Representative, pruning results in a plant not natural in character, the plant shall be replaced by the Contractor at no additional cost to the Owner.

3.7 TREE STAKING

- A. Upright Staking and Tying: Stake trees as detailed on the drawings. Use a minimum of 2 stakes of length required to penetrate at least 18 inches below bottom of backfilled excavation and to extend at least 72 inches above grade. Set vertical stakes and space to avoid penetrating root balls or root masses. Support trees with two tree ties at contact points with tree trunk. Allow enough slack to avoid rigid restraint of tree. Use the number of stakes shown on the drawings.
1. Staking and tying shall be capable of supporting the plant, without repair, for two years.

3.8 INORGANIC SURFACING INSTALLATION

- A. Decomposed Granite Surfacing: All areas to be surfaced with decomposed granite shall be brought to the lines and grades shown on the plans, with allowance made for depth of the decomposed granite. Install decomposed granite in accordance with the project drawings.
1. A reveal shall be provided adjacent to paved surfaces as shown on the project drawings. Where not detailed, the reveal shall be 3/4 inch.

3.9 HORTICULTURAL CHEMICALS

- A. Herbicides: Herbicides shall be applied according to manufacturer's written instructions by an Applicator licensed by the state of Arizona.

3.10 CLEANUP AND PROTECTION

- A. During landscape operations, keep adjacent paving and construction clean and work area in an orderly condition.
- B. Protect all plants and decomposed granite areas from damage due to landscape operations, operations by other contractors and trades, and others. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged items.
- C. Promptly remove soil and debris created by landscape work from paved areas. Clean wheels of vehicles before leaving site to avoid tracking soil onto roads, walks, or other paved areas.
- D. Erect barricades and warning signs as required, to protect newly landscaped areas from traffic.

3.11 DISPOSAL

- A. Disposal: Remove surplus soil and waste material, including excess subsoil, unsuitable soil, trash, and debris and trimmings, and dispose of them legally off Owner's property.



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4444 East Broadway
Tucson, Arizona (520) 881-7480

BAUTISTA MIXED-USE PROJECT
256 APARTMENT/COMMERCIAL UNITS
NLY PTN OF BLOCK 5 AND A PORTION OF SLY OF BLOCK 5 OF MISSION DISTRICT PER SEQUENCE NUMBER 20110840249
BEING A PORTION OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, PIMA COUNTY, ARIZONA

Sheet Title
DEVELOPMENT PACKAGE
LANDSCAPE SPECIFICATIONS

File: Q:\103010\Q-001 Bautista Plaza\04 Planting\02 DPDP_Bautista_22-Landscape Specifications.dwg Plot Date: 6/10/2021 3:44 PM By: ggrizzle

No.	Date	Item	Scale	N/A
			1:10	113010-Q-001-0105/0600
			JUNE 2021	
			CB / PNR	
			GLG	



RELATED CASE #s
CX-XX-XX
DP21-



Sheet **22**
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IRRIGATION
PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Codes and Standards:
 1. NFPA 70: National Electric Code
 2. American Water Works Association (AWWA) for pipe and fitting manufacturer compliance
 3. American Society for Testing and Materials International (ASTM) for pipe and fitting manufacturer compliance

1.2 SUMMARY

- A. Section Includes:
 1. Piping.
 2. Encasement for piping.
 3. Manual valves.
 4. Automatic control valves.
 5. Transition fittings.
 6. Miscellaneous piping specialties.
 7. Quick couplers.
 8. Drip irrigation specialties.
 9. Controllers.
 10. Boxes for automatic control valves.
 11. Backflow Preventer.
 12. Evapo-transpiration Sensor or Weather Station.

1.3 DEFINITIONS

- A. Circuit Piping: Downstream from control valves to sprinklers, specialties, and drain valves. Piping is under pressure during flow.
- B. Drain Piping: Downstream from circuit-piping drain valves. Piping is not under pressure.
- C. Main Piping: Downstream from point of connection to water distribution piping to, and including, control valves. Piping is under water-distribution-system pressure.

1.4 PERFORMANCE REQUIREMENTS

- A. Irrigation zone control shall be automatic operation with controller and automatic control valves.
- B. Location of Emission Devices and Specialties: It is hereby specified that the system shall be complete and fully operational covering 100% of the planted area.
- C. Minimum Working Pressures: The following are minimum pressure requirements for piping, valves, and specialties, unless otherwise indicated:
 1. Minimum Pressure at drip emission devices: 15 psi.

1.5 CLOSEOUT SUBMITTALS

- A. As-built Drawings: Document the piping sizes and layout, each zone, zone type, number of heads in each zone, note emitter spacing. In addition closeout submittals should include:
 1. Controller Keys.
 2. Controller manual.
 3. Quick Coupler key.
 4. As-built drawings.
 - Submit 2 copies; one 11"x17" laminated copy, one full-sized copy. Submit one electronic copy in .pdf format
 5. Controller schedule.
 6. Backflow preventer test certificate.
 7. Warranty documents for the irrigation system.
 8. Backflow preventer enclosure keys.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store plastic piping protected from direct sunlight. Support to prevent sagging and bending.

1.7 PROJECT CONDITIONS

- A. Interruption of Existing Water Service: Do not interrupt water service to facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging to provide temporary water service according to requirements indicated:
 1. Notify Owner's Representative no fewer than two (2) days in advance of proposed interruption of water service.
 2. Do not proceed with interruption of water service without Owner's Representative's permission.

1.8 MAINTENANCE SERVICE

- A. Initial Maintenance Service: Provide full maintenance by skilled employees of irrigation installer. Maintain as required in Part 3. Begin maintenance immediately after each area is planted and continue until not less than the following period:
 1. Maintain until 30 days after handover and approved at "30 Day Walk."

1.9 WARRANTY

- A. Special Warranty: Installer agrees to repair or replace irrigation and accessories that fail in materials or workmanship within on-year warranty period.

PART 2-PRODUCTS

2.1 PIPES, TUBES, AND FITTINGS

- A. Comply with requirements for applications of pipe, tube, and fitting materials, and for joining methods for specific services, service locations, and pipe sizes.
- B. PVC Pipe: ASTM D 1785, PVC 1120 compound, Schedule 40.
 1. PVC Socket Fittings: ASTM D 2466, Schedule 40.
 2. PVC Threaded Fittings: ASTM D 2464, Schedule 80.
 3. PVC Socket Unions: Construction similar to MSS SP-107, except both headpiece and tailpiece shall be PVC with socket ends.

2.2 PIPING JOINING MATERIALS

- A. Solvent Cements for Joining PVC Piping: ASTM D 2564. Include primer according to ASTM F 656.
- B. Plastic, Pipe-Flange Gasket, Bolts, and Nuts: Type and material recommended by piping system manufacturer unless otherwise indicated.

2.3 ISOLATION VALVES

Isolation Valves shall be as indicated on the irrigation plans.

2.4 AUTOMATIC CONTROL VALVES

- A. Automatic Circuit Control Valves shall be as indicated on the irrigation plans.

2.5 TRANSITION FITTINGS

- A. General Requirements: Same size as, and with pressure rating at least equal to and with ends compatible with, piping to be joined. Provide products compatible with piping, valves, heads and controllers for proposed system which conform to standards of practice.

2.6 QUICK COUPLERS

- A. Quick-Coupling Valves shall be as indicated on the irrigation plans.

2.7 DRIP IRRIGATION SPECIALTIES

- A. Drip Tubes:
 1. Tubing:
 - a. Body Material: PE or vinyl.
 - b. Mounting: On riser, inserted into lateral line at set intervals.
 2. Capacities and Characteristics: As indicated on the irrigation plans.
- B. Emission Device:
 1. Emitter: As indicated on Irrigation Plans.
- C. Off-Ground Supports: Plastic stakes.
- D. Application Pressure Regulators: Brass or plastic housing, NPS 3/4, with corrosion-resistant internal parts; capable of controlling outlet pressure to approximately 30 psig.
- E. Filter Units: Brass or plastic housing, with corrosion-resistant internal parts; of size and capacity required for devices downstream from unit.
- F. Air Relief Valves: Brass or plastic housing, with corrosion-resistant internal parts.
- G. Vacuum Relief Valves: Brass or plastic housing, with corrosion-resistant internal parts.

2.8 CONTROLLERS

- A. Controller shall be as indicated on the irrigation plans.
 1. Provide 2 spare - unused controller zones. Provide expansion modules as necessary to operate number of valves indicated on irrigation plans.
- B. Mount at location indicated on the irrigation plans.

2.9 BOXES FOR AUTOMATIC CONTROL VALVES AND FLUSH ENDS

- A. Plastic Boxes shall be as indicated on the irrigation plans. Description: Box and cover, with open bottom and openings for piping; designed for installing flush with grade.
 1. Size: 10" Round-Isolation Valve; "Jumbo" Rectangular-Control Valve. One Valve per Box.
 2. Shape: Round and Rectangular.
 3. Sidewall Material: PE.
 4. Cover Material: PE.
 5. Lettering: Irrigation Valve Box.

2.10 BACKFLOW PREVENTER

- A. Provide backflow preventer on concrete pad in lockable enclosure as indicated on the irrigation plans.
 - a. Provide R-30 Insulation cover.

2.11 WEATHER SENSOR

- A. Weather Sensor shall be as indicated on the irrigation plans.

PART 3 - EXECUTION

3.1 EARTHWORK

- A. Install warning tape directly above pressure piping, 12 inches below finished grades, except 6 inches below subgrade under pavement and slabs.
- B. Provide minimum cover over top of underground piping according to the following:
 1. Irrigation Main Piping: Minimum depth of 18 inches
 2. Circuit Piping: 12 inches.
 3. Drain Piping: 12 inches.
 4. Sleeves: 24 inches.

3.2 PREPARATION

- A. Set stakes to identify locations of proposed irrigation system. Obtain Owner's Representative's approval before excavation. Notify Owner's Representative of any conflicts prior to installation.

3.3 PIPING INSTALLATION

- A. Location and Arrangement: Drawings indicate location and arrangement of piping systems.
- B. Install piping at minimum uniform slope of 0.5 percent down toward drain valves.
- C. Install piping free of sags and bends.
- D. Install group of pipes parallel to each other, spaced to permit valve servicing.
- E. Install fittings for changes in direction and branch connections.
- F. Install unions adjacent to valves and to final connections to other components with NPS 2 or smaller pipe connection.
- G. Install flanges adjacent to valves and to final connections to other components with NPS 2-1/2 or larger pipe connection.
- H. Install expansion loops in control-valve boxes for plastic piping.
- I. Lay piping on solid sub-base, uniformly sloped without humps or depressions.
- J. Install PVC piping in dry weather when temperature is above 40 deg F. Allow joints to cure at least 24 hours at temperatures above 40 deg F before testing.
- K. Install pressure regulators with shutoff valve and strainer on inlet and pressure gauge on outlet. Install shutoff valve on outlet. Install aboveground or in control-valve boxes.
- L. Install piping in sleeves under parking lots, roadways, and sidewalks.
- M. Install sleeves made of 4" Schedule 40 PVC pipe and socket fittings, and solvent-cemented joints.
- N. Install transition fittings for plastic-to-metal pipe connections according to the following:
 1. Underground Piping:
 - a. NPS 1-1/2 and Smaller: Plastic-to-metal transition fittings.
 - b. NPS 2 and Larger: AWWA transition couplings.
 2. Aboveground Piping (Not permitted in markets of freezing environments):
 - a. NPS 2 and Smaller: Plastic-to-metal transition fittings and unions.
 - b. NPS 2 and Larger: Use dielectric flange kits with one plastic flange.

3.4 JOINT CONSTRUCTION

- A. Ream ends of pipes and tubes and remove burrs. Bevel plain ends of steel pipe.
- B. Remove scale, slag, dirt and debris from inside and outside of pipe and fittings before assembly.
- C. PVC Piping Solvent-Cemented Joints: Clean and dry joining surfaces. Join pipe and fittings according to the following:
 1. Comply with ASTM F 402 for safe-handling practice of cleaners, primers, and solvent cements.
 2. PVC Pressure Piping: Join schedule number, ASTM D 1785, PVC pipe and PVC socket fittings according to ASTM D 2672. Join other-than-schedule-number PVC pipe and socket fittings according to ASTM D 2855.
 3. PVC Non-pressure Piping: Join according to ASTM D 2855.

3.5 VALVE INSTALLATION

- A. Valve (All) Location:
 1. Valve and Control Boxes must be a minimum 3' behind face of curb or sidewalk.
 2. Top of all Irrigation Boxes must be at grade or slightly above.
- B. Above-ground Valves: Install as components of connected piping system.

3.6 DRIP IRRIGATION SPECIALTY INSTALLATION

- A. Install freestanding emitters on pipe riser to mounting height indicated.
- B. Install manifold emitter systems with tubing to emitters. Plug unused manifold outlets. Install emitters on off-ground supports at height indicated.
- C. Install multiple-outlet emitter systems with tubing to outlets. Plug unused emitter outlets. Install outlets on off-ground supports at height indicated.
- D. Install drip tubes with direct-attached emitters on in 6" round valve boxes.
- E. Install drip tubes with remote-discharge in 6" round valve boxes. with outlets on off-ground supports at height indicated.
- F. Install off-ground supports of length required for indicated mounted height of device.
- G. Install drip assembly pressure regulator and filter below grade in a 10" round valve box as shown on the detail. Locate within 2' of the electronic control valve.

3.7 AUTOMATIC IRRIGATION-CONTROL SYSTEM INSTALLATION

- A. Equipment Mounting: Install interior controllers in Low Voltage Cabinet.
 1. Place and secure anchorage devices. Use setting drawings, templates, diagrams, instructions, and directions furnished with items to be embedded.
 2. Install anchor bolts to elevations required for proper attachment to supported equipment.
- B. Install control wire in same trench as irrigation piping and at least 2 inches beside piping. Provide conductors of size not smaller than recommended by controller manufacturer. Install cable in separate sleeve under paved areas.

3.8 CONNECTIONS

- A. Drawings indicate general arrangement of piping, fittings, and specialties.
- B. Install piping adjacent to equipment, valves, and devices to allow service and maintenance.
- C. Connect wiring between controllers and automatic control valves.

3.9 FIELD QUALITY CONTROL

- A. Tests and Inspections:
 1. Leak Test: After installation, charge system and test for leaks. Repair leaks and retest until no leaks exist.
 2. Operational Test: After electrical circuitry has been energized, operate controllers and automatic control valves to confirm proper system operation.
 3. Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.
- B. Any irrigation product will be considered defective if it does not pass tests and inspections.

3.10 START UP SERVICE

- A. Perform startup service.
 1. Complete installation and startup checks according to manufacturer's written instructions.
 2. Verify that controllers are installed and connected according to the Contract Documents.
 3. Verify that electrical wiring installation complies with manufacturer's submittal.

3.11 ADJUSTING

- A. Adjust settings of controllers.
- B. Adjust automatic control valves to provide flow rate at rated operating pressure required for each irrigation circuit.
- C. Adjust devices, except those intended to be mounted aboveground, so they will be flush with finish grade.

3.12 CLEANING

- A. Flush dirt and debris from piping before installing emission devices.

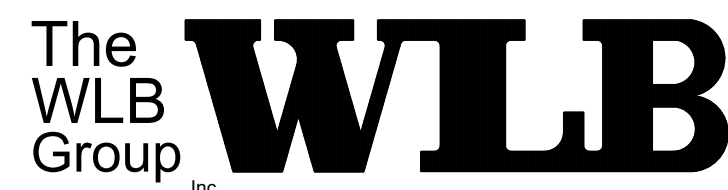
3.13 DEMONSTRATION

- A. Coordinate an operating demonstration and acceptance meeting with Owner's Representative.



RELATED CASE #s
CX-XX-XX

DP21-



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Sheet Title
DEVELOPMENT PACKAGE
IRRIGATION SPECIFICATIONS

File:Q:\103010\Q-001 Bautista Plaza\04 Plotting\02 DPDP_Bautista_23-Irrigation Specifications.dwg Plot

No.	Date	Item	Scale	N/A
			25621	
			GARY L GRIZZLE	
			Date	JUNE 2021
			Designed By	CB / PNR
			Checked By	GLG



Sheet **23**

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