



Special Districts Application

Expansion of existing bar into former bar & microbrewery space, and exterior modifications.

Application Stage: Pre-application Application

Permit Activity Number(s): T21CM08562 Case Number(s): RNA-DRB-22-01
T21SA00548 HPZ-22-

Date Accepted: 1/12/2022

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): Highwire Expansion

Property Address: 30 S. Arizona Ave. Tucson, AZ 85701

Pima County Tax Parcel Number/s: 117-06-195A

Current Zoning: ocr-2

Applicable Overlay Zone/Special District:

- Grant Road Investment District (GRID) Main Gate District (MGD) Rio Nuevo Area
- Historic Preservation Zone (HPZ) Neighborhood Preservation Zone
- Infill Incentive District (IID) Sunshine Mile District

Neighborhood Association (if any):

PROJECT TYPE (check all that apply): Change of use to existing building/site

New building(s) on vacant land New building(s) on developed land

New addition to existing building Other:

Description of Proposed Land Use: Highwire expansion- Facade improvement of windows and door.

Number of Buildings and Stories/Height of Proposed Structure(s): 1 building, 1 story/22' existing height.

Total Site Area (sq ft): 12,210 SF Total Gross Floor Area of Proposed Building(s) (sq ft): 4,709 SF

HISTORIC STATUS

- Site is within a: Historic Preservation Zone Please List:
- National Register District Please List: **Downtown National Register**
- Site is/includes: Contributing structure(s) Non-contributing structure(s)
- Is adjacent to a contributing structure Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Jose Ceja

ROLE: Property owner Architect Engineer Attorney Developer
 Other: _____

EMAIL: jose@exaarchitects.co PHONE: 520.440.4941

ADDRESS: 4544 E. Camp Lowell Dr., #146

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): Jose Ceja

EMAIL: jose@exaarchitects.co PHONE: 520.440.4941

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT*

***If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization*

Date: 1/6/2024



HIGHWIRE
TUCSON

HIWIRE BAR & LOUNGE EXPANSION

30 S. ARIZONA AVE. TUCSON, AZ 85701

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12/17/21

To whom it may concern,

As owner of the parcel that includes 30 S Arizona Avenue, I grant permission for the addition of the new glass roll up door, man door and the four glass windows. Please contact me if you have any questions. We are pleased with the improvements Highwire is installing to the Gibson's downtown buildings and the positive impact to our historic district.

Thank you,

A handwritten signature in black ink, appearing to read "Steve Gibson", enclosed in a circular scribble.

Steve Gibson

Gibson Family LLC,

520-403-7804

steve@stevegibson.com



4544 East Camp Lowell Suite #146
Tucson, Arizona 85712
520-877-3177 phone
520-457-5830 fax
www.exaarchitects.com

December 6, 2021

From Jose Ceja
Exa Architects Inc.
520.440.4941

RE: T21CM08562
Highwire Expansion Façade
30 S. Arizona Ave, Tucson AZ. 85701

Parcel: 117-06-195A

Project Statement:

Highwire Expansion Façade – improvements requested are intended to support the continued evolution of this vibrant urban development in downtown Tucson, Arizona.

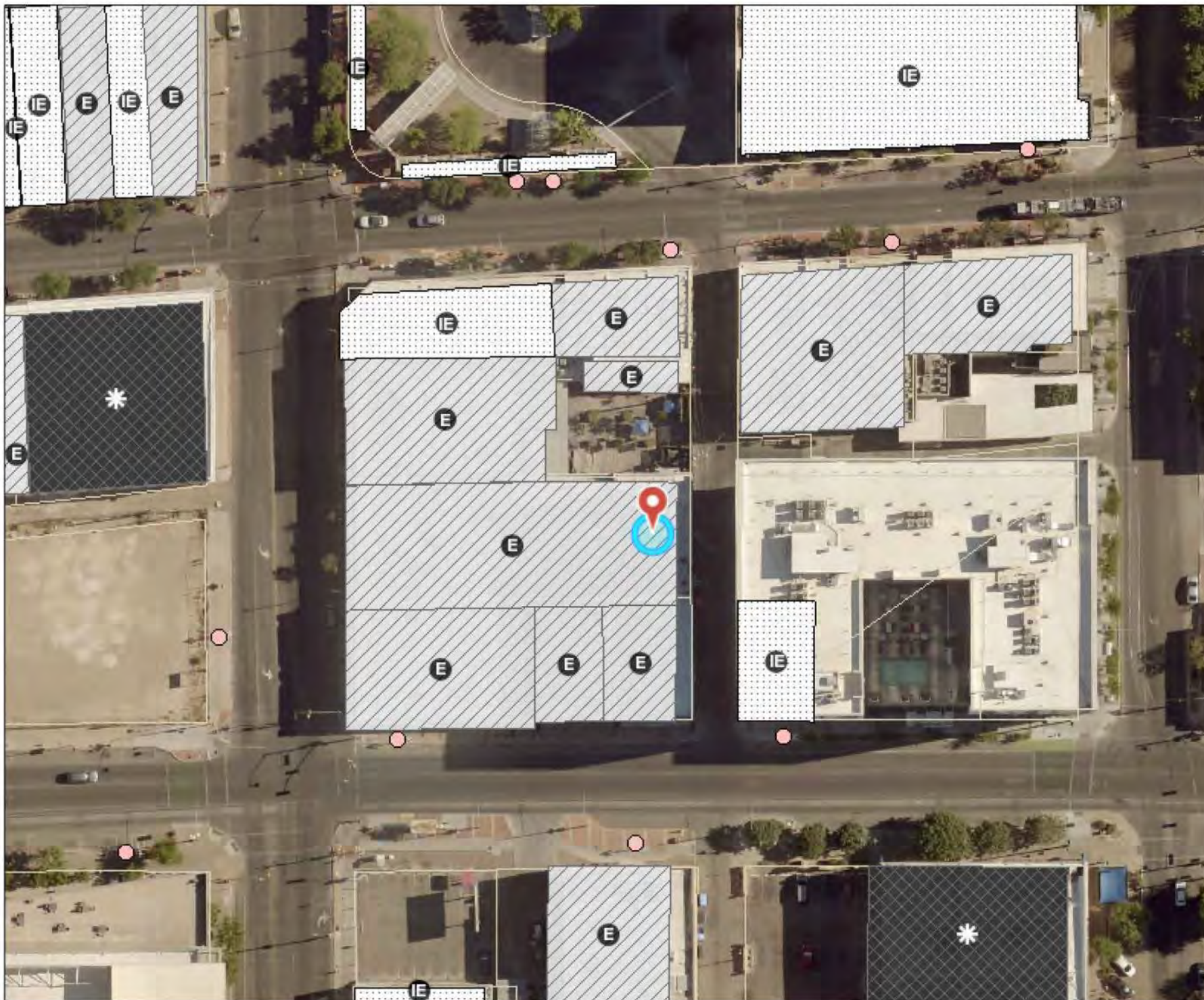
The new windows and operable door are to match the façade of the existing Highwire. The façade faces east towards Arizona street. The windows are currently boarded up and will be replaced with glass to allow natural light to enter the building. Due to the surrounding structures, the building will receive indirect sunlight as the space is mostly shaded throughout the day. The roll up garage style door will allow a transition between the outdoors and indoors for natural ventilation. The current door opening will be enclosed with brick below the roll up door to match the existing façade preventing egress. The door will also allow us to keep the current window frame size to honor the original design geometry of the historical building.

If you have any questions, please contact me at Jose@exaarchitects.com or 520.440.4941.

Thank you,

Jose Ceja

A handwritten signature in blue ink, appearing to read "Jose Ceja", written over the typed name.



Legend

Historic Streetlights

- Historic Wall Mount
- Original
- Reproduction

No Data

Demolished Contributor

Demolished

Demolished

Historic Properties

- Listed
- Listed and Local
- Contributor
- Eligible
- Ineligible
- Non-Contributor

Vacant

Outside of HD

Parcels

1: 1,128



0.0 0 0.02 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© City of Tucson

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



HIGHWIRE BAR LOUNGE

ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701

PARCEL: 117-06-1910

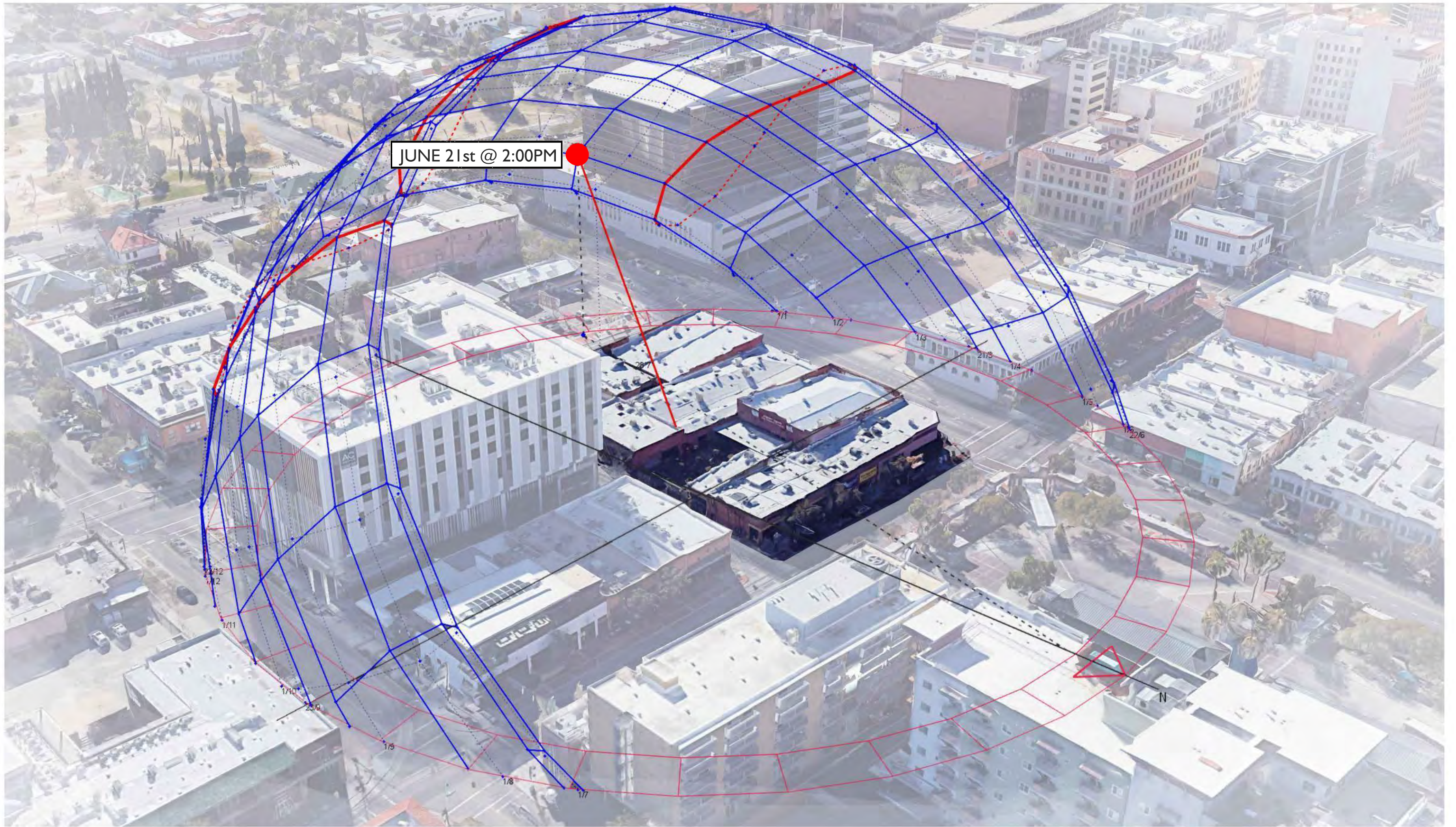
LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

DEVELOPMENT ZONE



4544 E. Camp Lowell Dr., #146
Tucson, AZ 85712
www.exaarchitects.com

o: 520.877.3177
c: 520.440.4941
f: 520.457.5830



JUNE 21st @ 2:00PM



HIGHWIRE BAR LOUNGE
 ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701
 PARCEL: 117-06-1910
 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

SUN STUDY



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 www.exaarchitects.com

o: 520.877.3177
 c: 520.440.4941
 f: 520.457.5830



HIGHWIRE BAR LOUNGE
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 PARCEL: 117-06-1910
 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

SUN CALCULATOR - <https://www.suncalc.org/>



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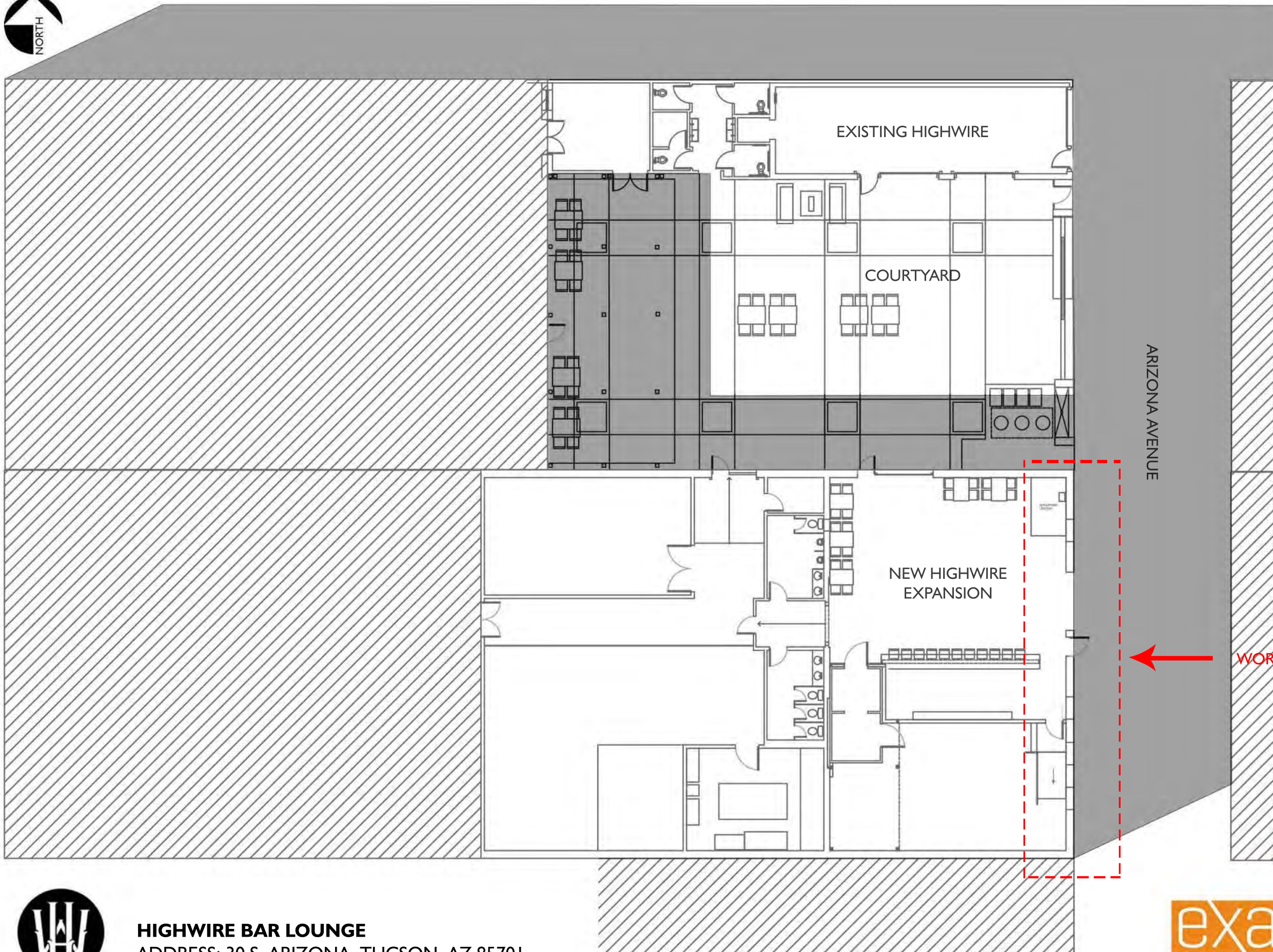
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SIDEWALK AREA = 11,749 SQ FT
SHADED AREA = 8,207 SQ FT

PERCENTAGE OF
SIDEWALK IN SHADE = 70%

6TH AVENUE



ARIZONA AVENUE

WORK AREA



HIGHWIRE BAR LOUNGE
ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701
PARCEL: 117-06-1910
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SHADE STUDY ANALYSIS



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HIGHWIRE FACADE

30 S. ARIZONA AVE., TUCSON, AZ 85701



Expires 03.31.22

REVISIONS:

ABBREVIATIONS LIST:

AC	AIR CONDITIONING
ACC	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFB	ABOVE FINISH FLOOR
ALUM	ALUMINUM
AMP	AMPERAGE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BOB	BOTTOM OF BEAM
BOC	BOTTOM OF CEILING
BOH	BOTTOM OF HEADER
BOS	BOTTOM OF SOFFIT
CAB	CABINET
CD	CONDENSATE DRAIN
CKT	CIRCUIT
CLG	CEILING
CLR	CLEAR/CLEARANCE
CM	CONSTRUCTION MANAGER
CMNT	CEMENT
CMU	CONCRETE MASONRY UNIT
CNTRS	CENTERS
CO	COMPANY
CL	CENTER LINE
CTR	CENTER
COL	COLUMN
COMP	COMPARTMENT
CONC	CONCRETE
CONT	CONTINUOUS
CONST	CONSTRUCTION
CJ	CONTROL JOINT
CR	CORNER
DA	DIAMETER
DM	DIMENSION
DISP	DISPENSER
DN	DOWN
DT	DRIVE THRU
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWINGS
EACH	EACH
EC	ELECTRICAL CONTRACTOR
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FCO	FLOOR CLEANOUT
FR	FINISHED
FRXT	FRITURE
FLEX	FLEXIBLE
FOIC	FURNISHED BY OWNER
FLR	FLOOR
FT	FOOT/FEET
FR	FIELD VERIFY
FRRT	FIRE RETARDANT TREATED
FR	FIRE RATED
FCR	FINISH CONCRETE ELEVATION
GA	GAUGE
GWB	GYPSUM WALL BOARD
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GRND	GROUND
HM	HOLLOW METAL
HDR	HEADER
HORZ	HORIZONTAL
HOUR	HOUR
HT	HEIGHT
HVAC	HEATING VENTILATING AIR CONDITIONING
HW	HOT WATER
INSUL	INSULATION
INFO	INFORMATION
LAND	LANDSCAPE
LX	LANDSCAPE
MC	MECHANICAL CONTRACTOR
MECH	MECHANICAL
MEP	MECHANICAL, ELECTRICAL & PLUMBING
MIN	MINIMUM
MFR	MANUFACTURE
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
PC	PLUMBING CONTRACTOR
PEMB	PRE ENGINEER METAL BUILDING
PLYWD	PLYWOOD
PM	PROJECT MANAGER
R	RADIUS
RECEPT	RECEPTACLE
REF	REFRIGERATOR
REV	REVISION
RND	ROUND
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SH	SIMILAR
SOL	SOLID
SPECS	SPECIFICATIONS
SQ	SQUARE
SS	STAINLESS STEEL
STRUCT	STRUCTURAL
STL	STEEL
SUSP	SUSPENDED
T&G	TONGUE AND GROOVE
TEL	TELEPHONE
TEMP	TEMPORARY
TYP	TYPICAL
UC	UNDER COUNTER
UNO	UNLESS NOTED OTHERWISE
V	VENT
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
WD	WOOD
WH	WATER HEATER

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE CITY, COUNTY AND STATE CODES CONFORM TO THE INDUSTRIAL COMMISSION OF THE ARIZONA 'GENERAL CONSTRUCTION SAFETY CODE' AND OSHA REQUIREMENTS. REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REQUIREMENTS.
- CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL CONDITIONS AND BRING ANY DISCREPANCIES FROM THE DRAWINGS TO THE ARCHITECTS ATTENTION PRIOR TO BIDDING/CONSTRUCTION.
- CONTRACTOR SHALL SCHEDULE AND COORDINATE WORK, VERIFY DELIVERY DATES FOR ANY LONG LEAD ITEMS & MATERIALS TO ENSURE THEIR INSTALLATION IN THEIR PROPER SEQUENCE OF THE JOB.
- PROVIDE TWO YEARS GUARANTEE FOR MATERIALS AND WORKMANSHIP.
- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECTS ATTENTION. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS FOR INTERIOR WALLS USUALLY ARE TO CENTER LINE OF WALL UNLESS OTHERWISE NOTED.
- DETAILS ARE USUALLY KEYED ONCE ON THE PLANS OR ELEVATIONS AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AS WELL AS REMOVE DEBRIS AND MATERIALS COMPLETELY FROM SITE UPON COMPLETION OF WORK. MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES.
- ALL DRYWALL SURFACES TO RECEIVE TAPE, TEXTURE AND PAINT. DO NOT USE PAINTS, PRIMERS, SEALERS OR GLUES THAT EMIT FLAMMABLE, TOXIC OR NOXIOUS FUMES. EACH TRADE SHALL BE RESPONSIBLE TO VERIFY THE MATERIALS TO BE USED AND COMPLY WITH THE MANUFACTURER'S WRITTEN INSTRUCTION FOR THEIR USE AND/OR INDUSTRIAL ASSOCIATION STANDARDS.
- FRAMING CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS FOR BACKING AND/OR BLOCKING REQUIRED FOR MOUNTING MILLWORK. SPECIAL EQUIPMENT AND OTHER ITEMS.
- CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION DAMAGED BY THIS WORK AND AS REQUIRED TO MATCH EXISTING UNDAMAGED FINISHES.
- CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON NEW DOORS AND PROVIDE TWO SETS OF KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNER/TENANT.
- HEIGHT OF BUILDING ADDRESS TO BE 24', MADE VISIBLE FROM STREET.

PROPERTY INFORMATION

MAIL NAME AND ADDRESS:
 PARCEL: # 117-06-195A
 CITY OF TUCSON
 REAL ESTATE DIVISION
 ATT: GIBSON FAMILY LLC
 5211 N CALLE LA CIMA
 TUCSON AZ 85718-4808
 ZONING: OCR-2

LEGAL DESCRIPTION:

TUCSON LOT 10 BLK 92 (CREATED IN MISC BK 14 PG 336)

SCOPE OF WORK

THE SCOPE OF THIS PROJECT IS A TENANT IMPROVEMENT IN AN EXISTING BAR. THE BUILDING IS TO REMAIN AS IS WITH WINDOW AND DOOR REPLACEMENT.

DEFERRED SUBMITTALS

SPRINKLER SYSTEM

CODE REVIEW CHECKLIST

CITY OF TUCSON DEVELOPMENT SERVICES

JOB ADDRESS: 30 S. ARIZONA, TUCSON, AZ, 85701 ARCHITECT: EXA ARCHITECTS
 SIGNATURE: JOSE CEJA DATE: 11/11/2022

CODE ANALYSIS DATA
 TO FACILITATE PLAN REVIEW, ATTACH COMPLETED COPY TO APPLICATION/DRAWINGS
 Summary of Governing Regulations

Code	Title	Edition	Local Amendments
Building Code	IBC	2018	YES
Accessibility Code	IBC / ANSI	2009	YES
Mechanical Code	IMC	2018	YES
Electrical Code	NEC	2017	YES
Plumbing Code	IPC	2018	YES
Fire Prevention Code	IFC	2018	YES
Zoning Code	UDC	2013	-
Energy Conservation Code	IECC	2018	YES
International Fuel Gas Code	IFGC	2018	YES
Int. Existing Building Code	IEBC	2018	YES

General Building Summary

Height and Area	Occupancy Group(s)	Type of Construction	Sprinkler	Building Area (sq ft)	Building Height (# of Stories)
EXISTING	A-2	V-B	YES	12,210 SF TI SPACE 4,709 S.F.	24,000 SF TO REMAIN 26'-0"

Allowable Area Calculation
 (Provide additional calculations for each building or separated use)

Area Modifications (IBC 506): THIS PROJECT ONLY- TYPE A-2 OCCUPANCY
 Allowable Area per Floor (Aa) 24,000 S.F.

Occupant Load and Existing
 THIS PROJECT ONLY- TYPE A-2 OCCUPANCY
 TOTAL OCCUPANCY-DINING OPEN SPACE 1295 / 15 = 86.33, BACK OF HOUSE 1305/200 = 6.5, RESTROOM 416/300 = 1.3. TOTAL OCCUPANTS 94.13 = 95 OCCUPANTS
 Number of Exits and exit widths required: (2) EXITS REQ'D - (3) PROVIDED ; 95x20 = 19' REQ'D EXIT WIDTH, 108" PROVIDED

exit signs = provided and lighted
 panic hardware - provided
 corridor protection-n/a

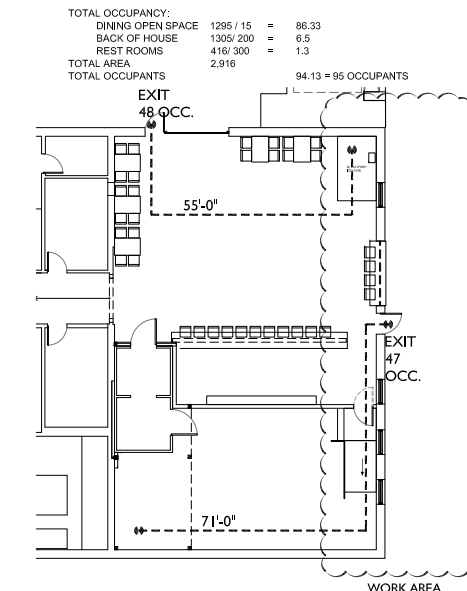
Plumbing Fixture Calculations
 Minimum Plumbing Facility (See table 2902.1)
 THIS PROJECT ONLY- TYPE A-2 OCCUPANCY
 WC- 1 per 75. 1 required for each sex: 1 F & 1 M provided
 Lavs - 1 per 200. 1 for each sex required, 1 F & 1 M provided
 Service Sink - 1 required and 1 provided.
 Drinking Fountains - 1 required and 1 provided (point of use dispenser)
 Per IPC410.1 where water is served in restaurants or where bottled water coolers are provided, drinking fountains shall not be required. Drinking fountains and Water Coolers to comply with ADA 309.4 and ADA 602.3



SITE PLAN

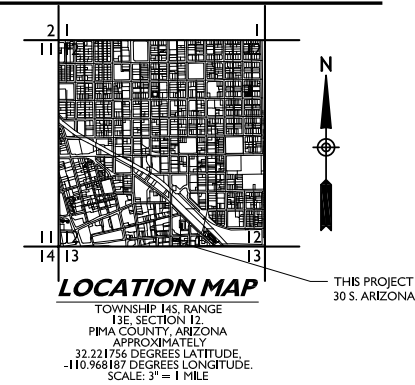
SCALE: 1" = 20'

THIS PROJECT:
 30 S. ARIZONA,
 TUCSON, AZ. 85701



EXITING PLAN

SCALE: 3/32" = 1'-0"



LOCATION MAP

3" = 1 MILE

CONTACTS

ARCHITECT: EXA ARCHITECTS
 4544 E CAMP LOWELL SUITE 146
 TUCSON, AZ 85712
 P. 520-877-3177
 CONTACT: JOSE CEJA

OWNER: PP TWO INC.
 LAS MARGARITAS
 6011 N. ORACLE RD.
 TUCSON, AZ 85704-5309

STRUCTURAL: JIM GALVIN, P.E.
 STRUCTURAL ENGINEER PLLC
 11441 N. INGOT LOOP,
 ORO VALLEY, AZ 85737
 PHONE: 520-982-7423

PLUMBING: PH MECHANICAL ENGINEERING
 335 N. WILMOT RD., #460
 TUCSON, AZ 85711
 P. 520-731-206
 CONTACT: ERIC HEIN

ELECTRICAL: STEVE MARKER
 MARKER ENGINEERING, LLC
 9644 E. PASEO SAN BERNARDO
 TUCSON, AZ 85747
 P. 520-812-9419
 CONTACT: STEVE MARKER

CONTRACTOR: TBD

SHEET INDEX

ARCHITECTURAL:
 A1.0 GENERAL INFORMATION & CODE REVIEW CHECKLIST.
 A2.0 DEMO FLOOR PLAN, FLOOR PLAN, & EXTERIOR ELEVATION.

GENERAL INFO, SITE PLAN
 & CODE SUMMARY
 HIGHWIRE
 30 S. ARIZONA AVE.
 TUCSON, AZ 85701



Project 21111
 Date 1.11.2022
 Scale Noted

Sheet:

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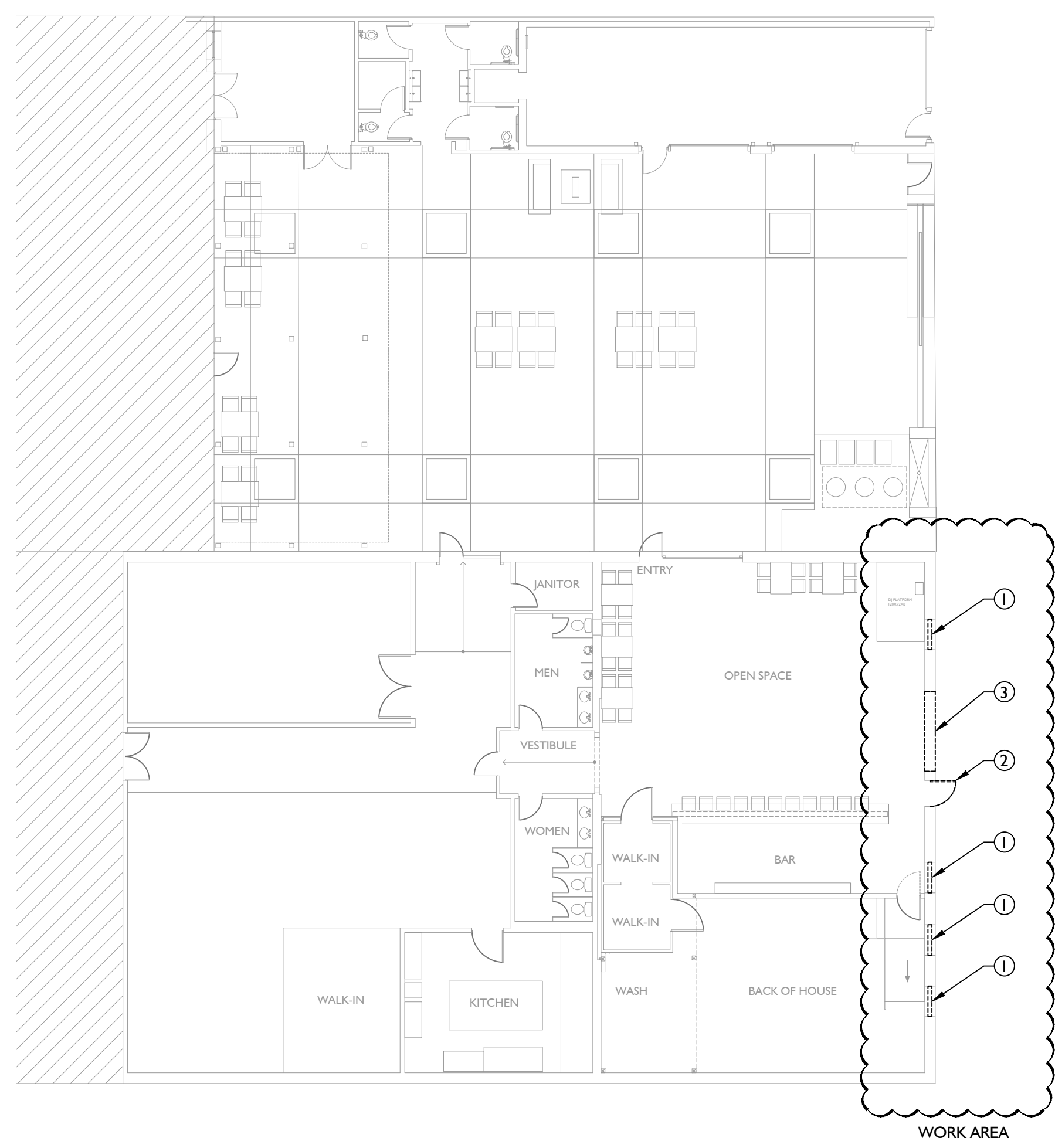
NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



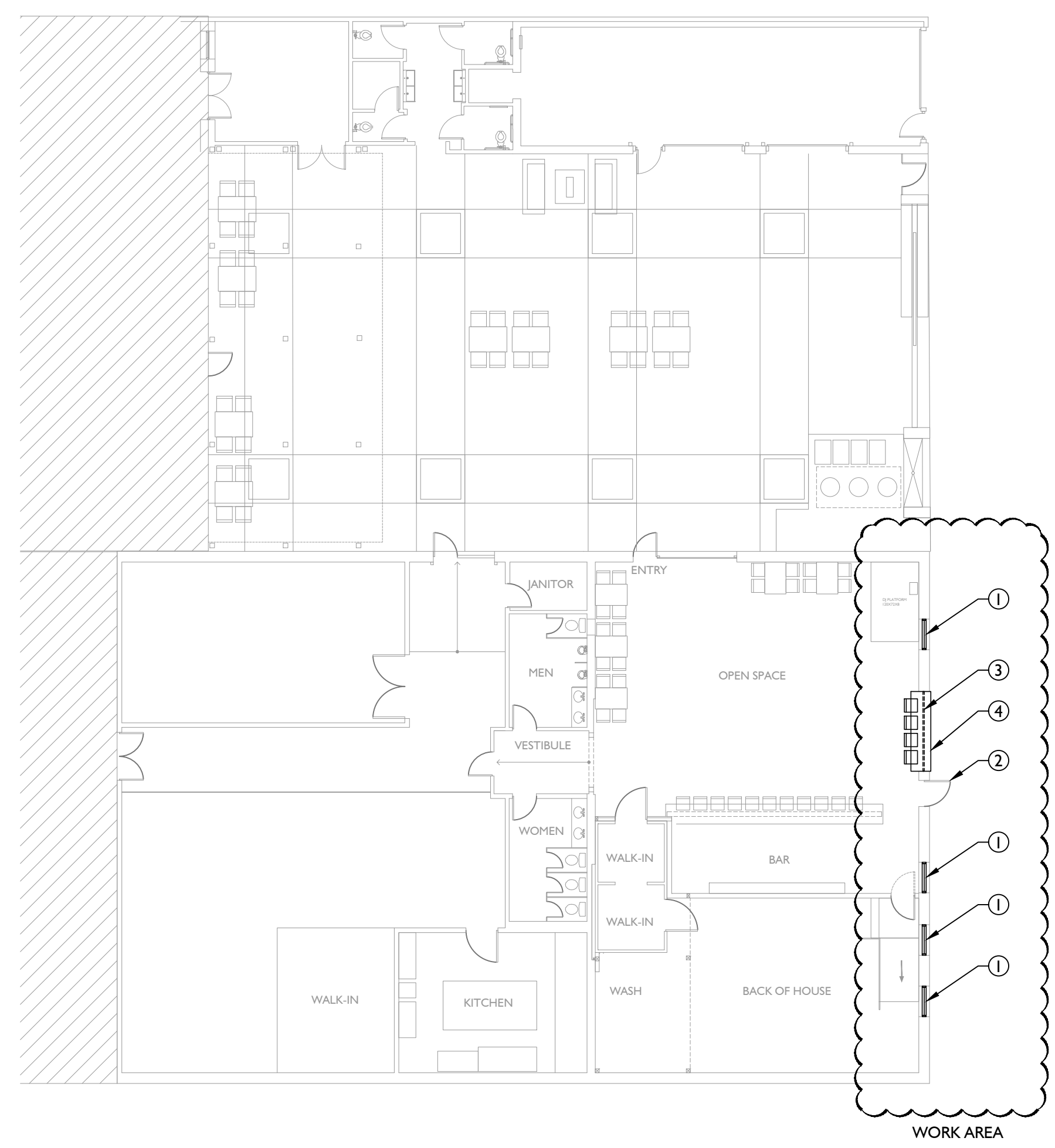
Expires 03.31.22
REVISIONS:

KEYNOTES: #

1. REPLACE 4 BOARDED UP WINDOWS WITH GLASS PANES, FIXED WINDOWS.
2. REPLACE ENTRY DOOR TO MATCH HIGHWIRE BUILDING 14 S.
3. REPLACE WOOD DOOR WITH ROLL-UP GARAGE WINDOW TO MATCH EXISTING HIGHWIRE BUILDING 14 S.



DEMO FLOOR PLAN
SCALE 1/8" = 1'-0"



FLOOR PLAN
SCALE 1/8" = 1'-0"

**DEMO FLOOR PLAN, FLOOR PLAN,
& ELEVATION**

**HIGHWIRE
30 S. ARIZONA AVE.
TUCSON, AZ 85701**

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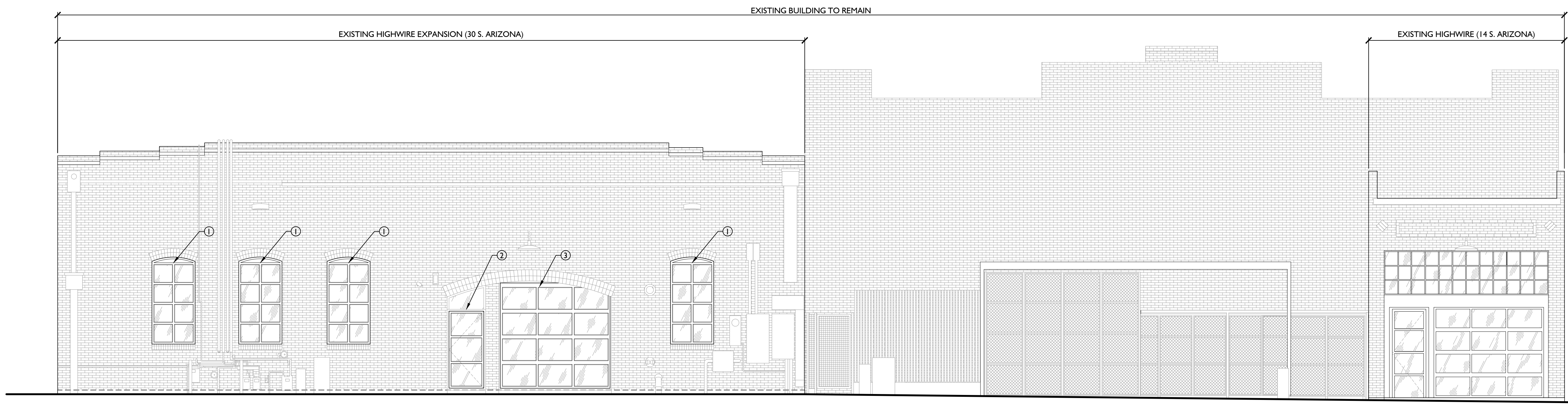
EXA ARCHITECTS
4544 East Camp Lowell Building #146
Tucson, Arizona 85712
520.977.3177 phone
520.977.3177 fax
www.exaarchitects.com

Project 21111
Date 1.11.2022
Scale Noted

Sheet:

A2.0

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



EAST ELEVATION 'A'
SCALE 1/4" = 1'-0"

- Address Range Search
- Parcel Search
- Activity Search
- Map Search
- 
- FAQ
- Disclaimer

Permit Review Details

Permit: T21CM08562
 Parcel: 11706195A

Addresses:
 30 S ARIZONA AV

Review Status: **Completed**

Review Details

Show **10** entries Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
11/9/2021	ROBERT SHERRY	WATER	REVIEW	Completed	None
11/9/2021	ROBERT SHERRY	PLUMBING-COMMERCIAL	REVIEW	Passed	None
11/9/2021	ROBERT SHERRY	MECHANICAL-COMMERCIAL	REVIEW	Reqs Change	Show how the new fenestration complies with Sections C402.1.5, C402.2.4.3, or C407, IECC 2018. Reference: Section CS03.3.2, IECC 2018.
11/15/2021	ERIC NEWCOMB	BUILDING-COMMERCIAL	REVIEW	Approved	None
11/16/2021	JPEELDA1	FIRE	REVIEW	Approved	None
11/17/2021	NROSS1	COMMERCIAL IMPACT FEE	COMMERCIAL IMPACT FEE PROCESSING	Completed	None
11/17/2021	NICHOLAS ROSS	ZONING	REVIEW	Reqs Change	P&DS TRANSMITTAL FROM: Nick Ross PROJECT: T21CM08562 Highwire Façade - 30 S. Arizona TRANSMITTAL: November 17, 2021 COMMENTS: the following comments are relative to a project located within the Rio Nuevo Area. This project is located within the Rio Nuevo Area and any exterior work must first be approved by the Design Review Board. Additionally, please correct the project location map. Please contact Maria.Gayosso@tucsonaz.gov for further information.
11/17/2021	NROSS1	ENGINEERING	REVIEW	Passed	None
12/1/2021	DAN SANTA CRUZ	ELECTRICAL-COMMERCIAL	REVIEW	Passed	None

Showing 1 to 9 of 9 entries Previous **1** Next



HIGHWIRE BAR LOUNGE
 ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701
 PARCEL: 117-06-1910
 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

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 Tucson, AZ 85712
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RENDERING #1

exa ARCHITECTS

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RENDERING #2

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NEW EXPANSION

NEW WINDOWS AND DOORS TO MATCH EXISTING HIGHWIRE BUILDING MATERIALS.



EXISTING HIGHWIRE



NEW ROLL UP DOOR TO MATCH EXISTING HIGHWIRE



DOOR TO MATCH EXISTING HIGHWIRE WITH ARCHED WINDOW ABOVE



STEEL/WINDOWS TO MATCH EXISTING HIGHWIRE ADAPTED TO ARCH

SAMPLES OF PROPOSED MATERIALS

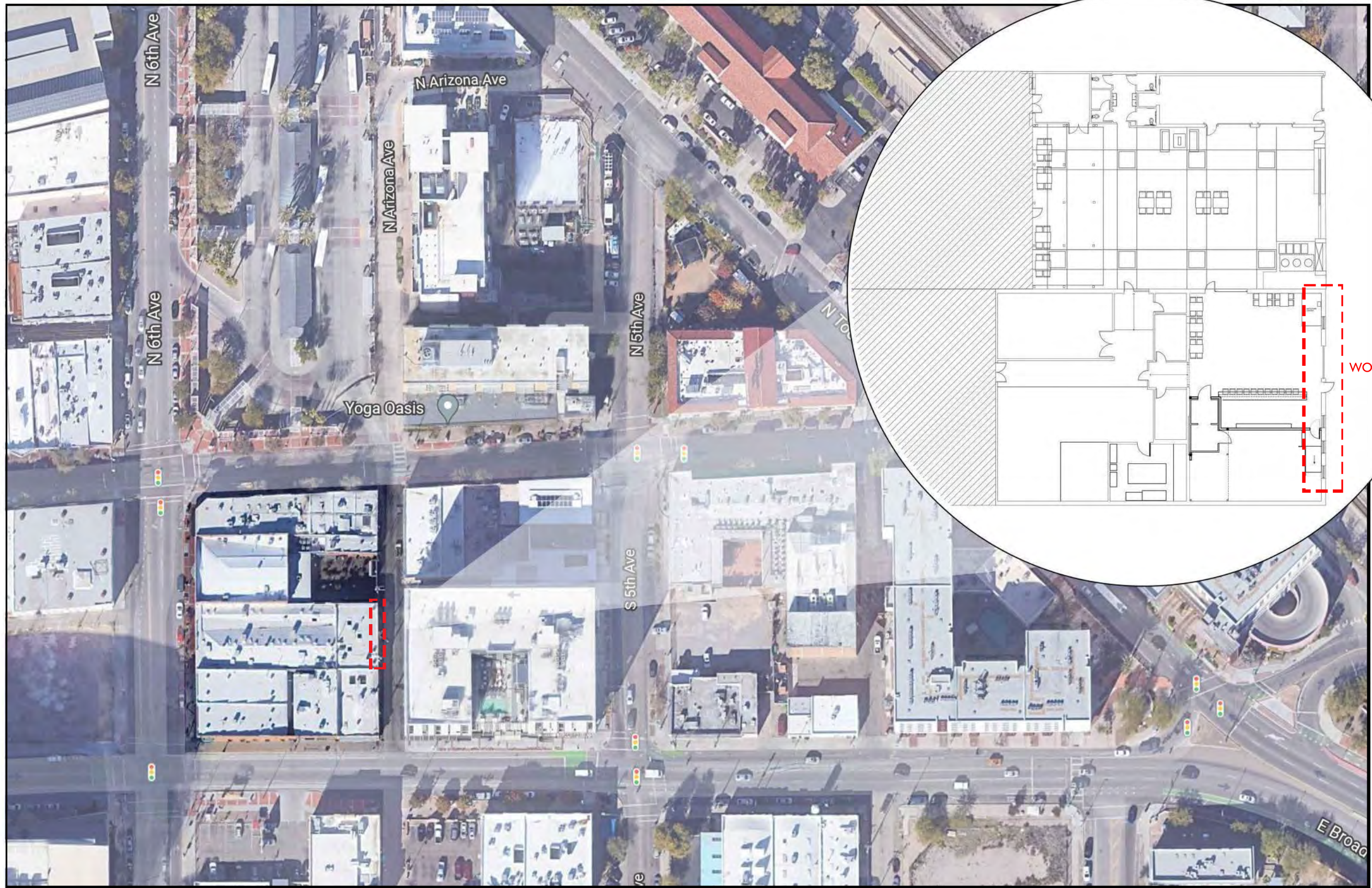


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AERIAL PHOTOGRAPH



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EAST



WEST

SITE CONTEXT PHOTOS



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NORTH



SOUTH

SITE CONTEXT PHOTOS



HIGHWIRE BAR LOUNGE
 ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701
 PARCEL: 117-06-1910
 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

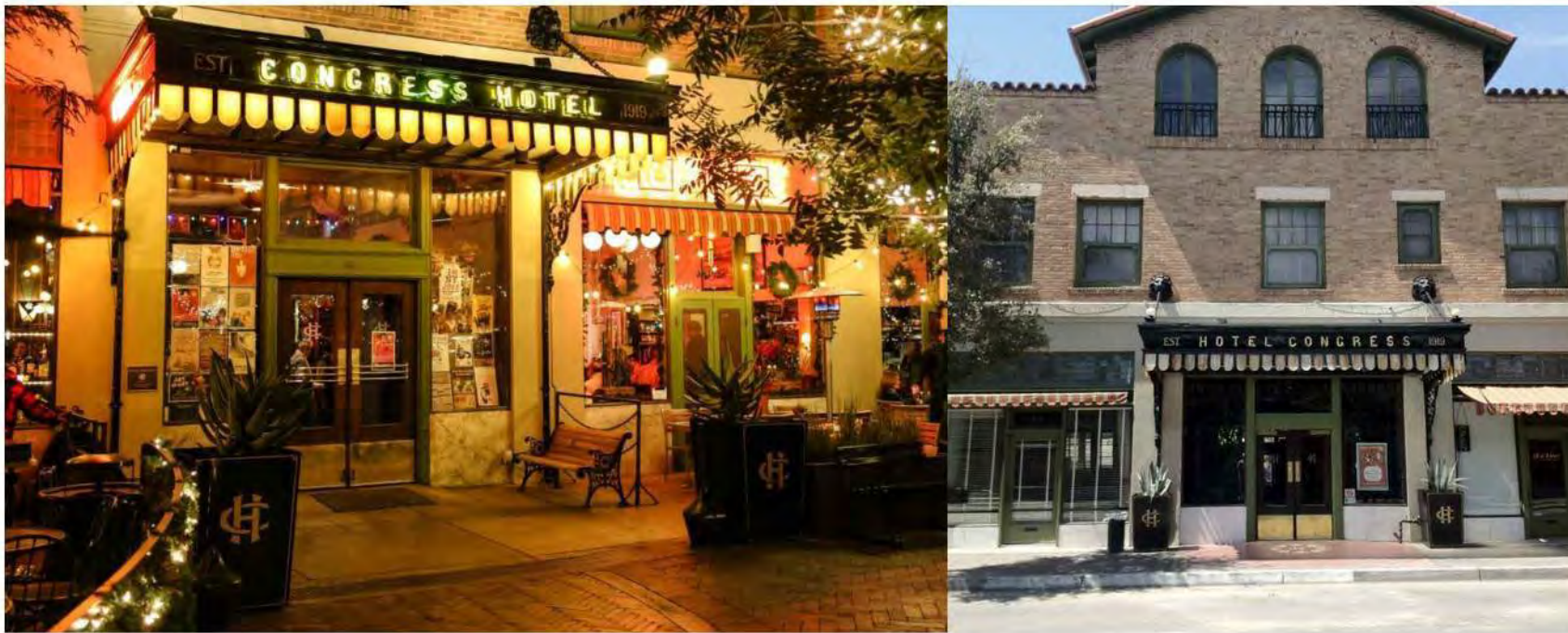


4544 E. Camp Lowell Dr., #146
 Tucson, AZ 85712
 www.exaarchitects.com

o: 520.877.3177
 c: 520.440.4941
 f: 520.457.5830



THE BUFFET - BAR
538 E 9th St, Tucson, AZ 85705



HOTEL CONGRESS - HOTEL, RESTAURANT, ENTERTAINMENT VENUE, AND BAR
311 E Congress St, Tucson, AZ 85701



CHE'S LOUNGE - BAR
350 N 4th Ave, Tucson, AZ 85705



HIGHWIRE BAR LOUNGE
ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701
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PRECEDENT EXAMPLES



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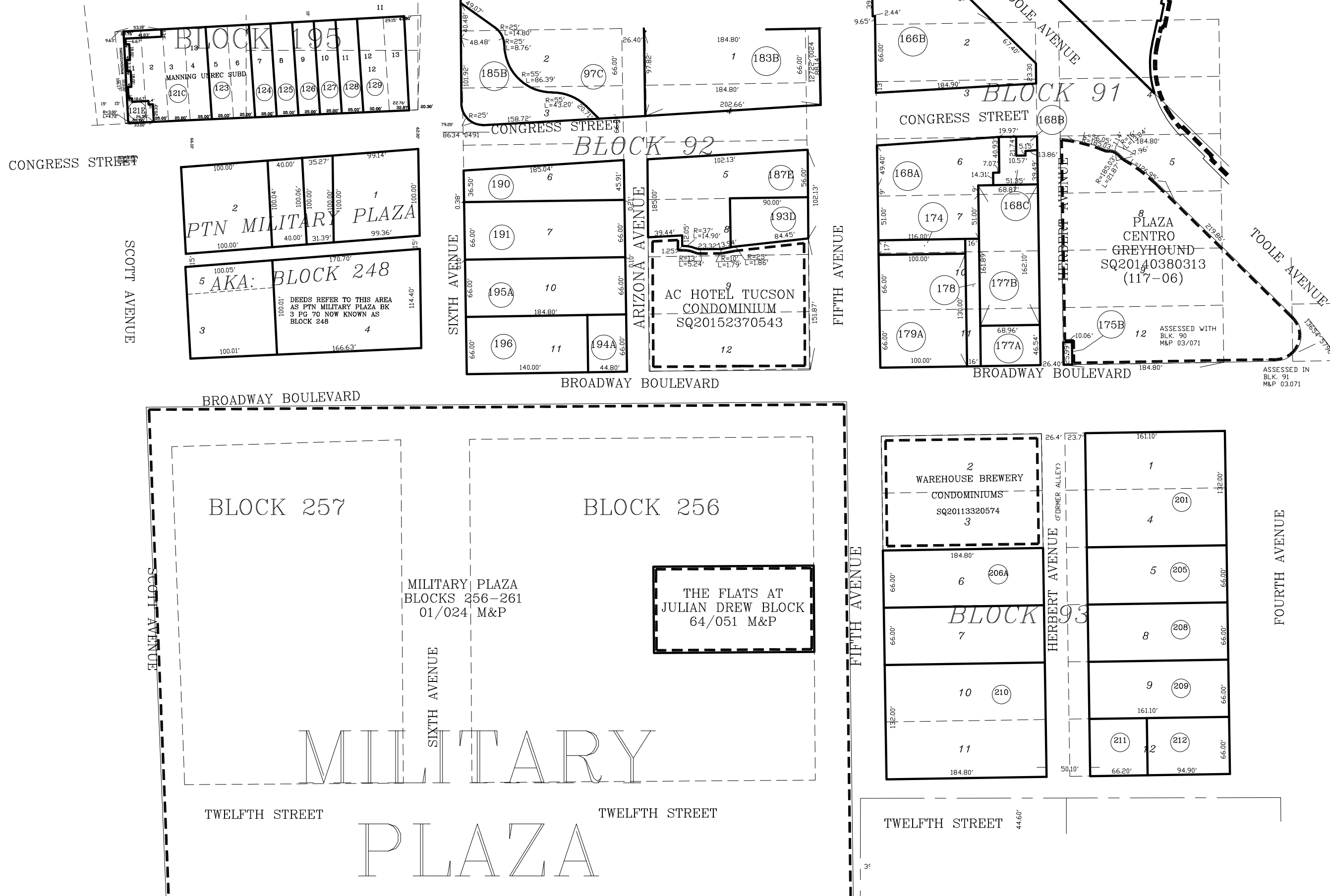
ASSESSOR'S RECORD MAP

(COTALL)

117-06
117-12

CITY OF TUCSON DETAIL 21

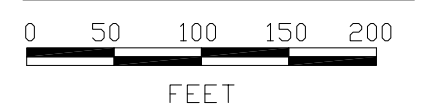
BLOCKS 91-93; 195; 248; MILITARY PLAZA



SEE BOOK 03 PAGE 070 M&P
SEE BOOK 03 PAGE 071 M&P
2020-1

S13,T14S,R13E

:\COT_ALL\COT_D021-10/22/19



pima
county
assessor

Property Address

Street Number	Street Direction	Street Name	Location
33	S	6TH AV	Tucson
30	S	ARIZONA AV	Tucson

Contact Information

Property Owner Information:	Property Description:
CITY OF TUCSON REAL ESTATE DIVISION ATTN: GIBSON FAMILY LLC 5211 N CALLE LA CIMA 85718-4808	TUCSON LOT 10 BLK 92 (CREATED IN MISC BK 14 PG 336)

Valuation Data

Property Appraiser: Sarah Rushing Phone:

Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2021	COMMERCIAL (1)	18.0	\$219,668	\$686,182	\$905,850	\$747,779	\$134,600
2022	COMMERCIAL (1)	18.0	\$219,668	\$686,061	\$905,729	\$785,168	\$141,330

Property Information

Township:	14.0	Section:	12	Range:	13.0E
Map:	3	Plat:	71	Block:	092
Tract:		Land Measure:	12,197.00F	Lot:	00010
Census Tract:	100	File Id:	1	Group Code:	
Use Code:	9710 (MUNICIPAL RESIDENTIAL PROPERTY)			Date of Last Change:	2/13/2020

Valuation Area

District Supervisor: ADELITA GRIJALVA District No: 5

DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	08021001	03071 DEL	30

Recording Information (4)

Sequence No.	Docket	Page	Date Recorded	Type
20162300272	0	0	8/17/2016	WTDEED
19862970653	7897	1497	10/24/1986	
96183016	10408	3217	10/25/1996	
92094893	9323	2682	6/30/1992	

Commercial Characteristics

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	12,078	\$296,949	\$0	\$686,061

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1916	111/3	0000000	9,240	\$627,205	\$238,338	RETAIL STORE
002-001	1917	371/3	0000000	2,838	\$154,240	\$58,611	WAREHOUSE STORAGE

Petition Information (2)

Tax Year	Owner's Estimate	Petition	Work Up
2007	\$220,000		
2002	\$90,000		

Permits (10)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T19CM06981	CALT ~ ISSUED	11/13/2019		TUC	\$25,000	0	3/*				
Description: TI: ADDING NEW HOOD EQUIPMENT											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	01/29/2015		40
Description: BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	07/16/2015		80
Description: BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	08/10/2015		80
Description: BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	08/14/2015		80
Description: BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	09/18/2015		100
Description: BAR/DISTILLERY											
CSPEC13765	SPEC ~	04/21/2014	05/11/2014	ASR							
Description: Update Apex & photos to book/map											
T07BU02220	COTH ~ FINAL	11/13/2007	01/18/2008	TUC	\$36,985	0	3/*				0
Description: Add 211 re sprinklers											
T07CM03301	CALT ~ FINAL	09/20/2007	04/11/2008	TUC	\$75,000	8,827	3/*				0
Description: TI: ART SALES & STUDIO											
T05OT02835	COTH ~ C OF O	11/15/2005	11/21/2005	TUC	\$0	12,025	3/*				0
Description: C OF O											

Notes (8)

Created: 2/13/2020 Modi ed: 2/13/2020	Miscellaneous Book 14 Page 336 established property line between Lots 6, 7 & 10 (1916) based on common wall
Created: 9/21/2018 Modi ed: 9/21/2018	2020N No change to use code 9710. No change to Land/IMP class 1/0. Renovations on going, Updated Photos in Book-Map
Created: 11/7/2016 Modi ed: 11/7/2016	TRCNo 1611122: City of Tucson-owned GPLET property Special Warranty Deed SQ20162300272
Created: 9/1/2016 Modi ed: 9/1/2016	2017S Sq20162300272 date recorded 8/17/2016 per 42-16258 use change 1120 > 9710 (229 taxable days 2016)
Created: 8/14/2015 Modi ed: 9/18/2015	2016S No change to use code 1120. No change to Land/IMP class 1/0. Renovation for distillery ongoing. Updated Photos in Book-Map.
Created: 9/18/2015 Modi ed: 9/18/2015	2017N No change to use code 1120. No change to Land/IMP class 1/0. Updated CCS IMP 002, renovations complete. Updated APEX/Photos in Book-Map
Created: 1/30/2015 Modi ed: 1/30/2015	No change to use code 1120. No Change to Land IMP class 1/0. CCS IMP 002, under renovation, APROX 70 % complete. Updated APEX/ Photos in Book-Map
Created: 4/21/2014 Modi ed: 4/21/2014	Per FC 4/21/14. Update Apex & Photos to book/map

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: 117-06-195A Survey Area: Downtown Tucson Historic District

Historic Name(s): Roberts-Reynolds Garage

(Enter the name(s), if any that best reflects the property's historic importance.)

Address: 33 S. 6th Avenue

City or Town: Tucson vicinity County: Pima Tax Parcel No.: 117-06-195A
Township: 14S Range: 13E Section: 13 Quarter Section: NE Acreage: <1

Block: 92 Lot(s): 10 Plat (Addition): Tucson Townsite Year of plat (addition): 1871

UTM reference: Zone 12 Easting: 502984 Northing: 3564995 USGS 7.5' quad map: Tucson, Arizona

Architect: not determined known (source:)

Builder: not determined known (source:)

Construction Date: 1917 known estimated (source: Pima County Assessor)

STRUCTURAL CONDITION

- Good (well maintained, no serious problems apparent)
Fair (some problems apparent)
Poor (major problems; imminent threat) Describe:
Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

Historic
COMMERCE/specialty store
Current:
COMMERCE/specialty store

Sources:
Field observation, City Directories

PHOTO INFORMATION

Date of photo: 1/25/2012
View Direction (looking towards)
East
Negative No.: DSC07988



SIGNIFICANCE

To be eligible for the National Register of Historic Places, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible for the National Register.

- A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)
- B. PERSON (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)
- C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

INTEGRITY

To be eligible for the National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property’s integrity. Use continuation sheets if necessary.

- 1. LOCATION Original Site Moved (date____) Original Site:_____
- 2. DESIGN (Describe alterations from the original design, including dates – known or estimated – when alterations were made) Façade altered to Art Deco in about 1940. In 2011, windows were altered and façade revitalized with paint. Transoms have been covered but essential form of windows are still evident. Shade canopy was already missing in 2011.
- 3. SETTING (Describe the natural and/or built environment around the property) Describe how the setting has changed since the property’s period of significance: Characteristic urban commercial setting. Surrounding buildings are mostly one- or two-stories tall with a few high-rise offices. Sidewalks enhanced with suburban landscaping and brick pavers.
- 4. MATERIALS (Describe the materials used in the following elements of the property)
 Walls (structure): Brick Foundation: Concrete Roof: Rolled asphalt
 Windows: Wood storefront What were they originally? n/a
 Wall Sheathing: Stucco If sheathing altered, what was it originally? Exposed brick
- 5. WORKMANSHIP (Describe the distinctive elements, if any, of craftsmanship or method of construction)
 Art Deco concrete pilasters bookend the storefront with inner pilasters only on the top half where structural columns are located as well as a double central ornamental pilaster. Additional concrete plaster corrugated detailing is located between the single pilasters. There is a ceramic tile spandrel below original display windows. Original entry doors survive.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

- Individually listed; Contributor Non-contributor to _____ Historic District
- Date Listed: _____ Determined eligible by Keeper of National Register (date: _____)

RECOMMENDATIONS OF ELIGIBILITY (opinion of SHPO staff or survey consultant)

- Property is is not eligible individually.
- Property is is not eligible as a contributor to a potential historic district.
- More information needed to evaluate.
- If not considered eligible, state reason:

FORM COMPLETED BY:

Name and Affiliation: Don W. Ryden, AIA - Ryden Architects, Inc.
Mailing Address: 902 W. McDowell Rd, Phoenix, AZ 85007

Date: 15 Jan 2015
Phone No.: 602-253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Name of property 33 S. 6th Ave., Tucson, AZ Continuation Sheet No. 1
=====

A. HISTORIC EVENTS/TRENDS (describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)

The Roberts-Reynolds Garage contributes to the significance of the Downtown Tucson for its association with the advent and growth of automobile travel during the 20th century. The transformation from its original Commercial style in 1917 to its Art Deco style in about 1940 mirrors the paradigm shift of automobile design from the boxy 1914 Model T Ford to the sleek 1935 Chrysler Air Stream. The business owners evidently used the popular trends in architecture to convey to customers that their automotive repair services were keeping up with the technology of the time. The remodeling of the façade clearly demonstrates the evolution of commercial architecture in response to commercial competition within the automobile zone (6th Avenue and Broadway Boulevard) of Downtown Tucson.

B. PERSON (describe how the property is associated with the life of a person significant in the past.)

None determined.

C. ARCHITECTURE (describe how the property embodies the distinctive characteristics of a type, period, or method of construction.)

As a Progressive-period commercial building remodeled with an Art Deco-style façade transitioning to the Modern period, it contributes to the evolving 20th-century urban character of the Downtown Tucson HD.

Single-story, box-like building with a historic-period Art Deco-style façade remodel. Typical one-part commercial block façade composition. Remodeled façade retains its essential components (piers, storefronts, upper wall, and parapets) of the original Commercial-style massing and openings. Recessed entrance and storefront pattern convey traditional approach to retail store design.

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

None.