



Ms. Lexy Wellott
The Planning Center
2 E Congress Street #600
Tucson, AZ 85701

April 5, 2022

Subject: Minor Amendment to Valencia Crossing – TPC Project No: KBT-50

Dear Ms. Wellott

I have reviewed your letter dated February 18, 2022 (see attached) requesting a minor amendment to the Valencia Crossing PAD (PAD-21).

The proposed minor amendment request:

- 1) Amend Section III.D: Landscape Borders and Screening of PAD-21 (“Landscaping” for Development Area A) to include language that suggests appropriate landscape treatments for residential uses when development adjacent to other residential uses or zones. Suggested language: *"For residential uses, landscape borders and screening requirements shall be provided in accordance with UDC Section 7.6."*

The Valencia Crossing PAD allows for minor amendments and adjustments over time to respond to the changing market demands, or financial conditions, or to respond to all the unanticipated needs for new users.

When PAD-21 was initially proposed in 2012, it was envisioned that Development Area ‘A’ would develop with higher intensity commercial and office uses, and high-density residential uses to provide the surrounding community with employment opportunities and commercial services needed to sustain the existing and planned residential communities. A landscape border along the eastern edge of Development Area ‘A’ was proposed to ensure compatibility with the existing neighboring school (Lauffer Middle School).

The site in question is proposing lower density residential (single-family homes) in Development Area ‘A’, east of the middle school. Adding the landscape border would create an unsafe space between the screen wall and the school’s fence.

The current and incoming principals of Lauffer Middle School agreed that removing the 10-foot landscape border is appropriate as it removes an indefensible space that typically invites unwanted activities.

City of Tucson - Department of Planning and Development Services, Landscape Division has reviewed the minor amendment request and attachments and supports the amendment.

Planning and Development Services Department (PDSD)
201 North Stone Avenue
P.O. Box 27210 – Tucson, AZ 85726-7210
Website: www.tucsonaz.gov/pdsd

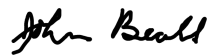
Therefore, it is determined that this minor amendment request is not in conflict with the overall intent of the Valencia Crossing PAD, and the proposed amendment conforms to the goals and objectives of the PAD.

This minor amendment is supported and approved by the following as a non-substantial change:

1. This change does not alter the allowable uses or building heights;
2. This change does not alter or vary a PAD policy;
3. This change does not result in a change in the traffic circulation;
and
4. This change is supported by both the current and incoming principals of Lauffer Middle School.
 - a. Comments include: Agreed that removing the 10-foot landscape border is appropriate as it removes an indefensible space that typically invites unwanted activities. Expressed excitement for the proposed subdivision and stated that they were looking forward to the partnership with KB Homes.
5. This change is supported by City of Tucson - Department of Planning and Development Services – Landscape Division.
 - a. Comments include: Requiring a 10' landscape border on the east boundary would result in a tunnel between the two uses, creating an unsafe situation, disregarding the principals of Safe by Design. Further, there are existing mature trees on the school's property along most of this boundary that provide visual relief. Recommended that the landscape required for this border be planted in a more appropriate location on the project site, including adding trees to the southeast.

This amendment approval is only for this specific request and location in Development Area 'A'. Please note that a copy of this letter and included attachments must be attached to any development plan / plat submitted for the Valencia Crossing PAD, and that all the revised Exhibits will be made part of the Valencia Crossing PAD – Minor Amendment.

Sincerely,



John Beall, Section Manager - Entitlements
Planning and Development Services Department

Attachments: Applicant's Request



February 18, 2022

Mr. John Beall
Entitlement Section Manager
City of Tucson Planning and Development Services
201 North Stone Avenue
Tucson, AZ 85701

Subject: Valencia Crossing PAD Minor Amendment Request
TPC Project No: KBT-50

Dear Mr. Beall:

On behalf of KB Home - Tucson (3501 East Speedway Boulevard, Suite 101 Tucson, AZ 85716), this letter respectfully requests an administrative amendment to the Valencia Crossing PAD (PAD-21) to revise the landscape border requirements for a portion of Development Area 'A'. Approved in 2012 by Mayor and Council, the Valencia Crossing PAD rezoned approximately 195 acres of land located at the intersection of East Valencia Road and East Littletown Road from R-1, C-1, and I-1 to a PAD with the intent of developing employment-generating uses (office, commercial and retail centers), industrial uses, and higher-density residential uses (refer to rezoning case no. C9-12-03).

KB Home - Tucson is currently processing a development plan to construct The Reserve at Valencia Crossing in Development Area 'A'. As described in PAD-21, Development Area 'A' is an 85-acre area bisected by Valencia Road at the intersection of Valencia Road and Littletown Road. The area subject to this administrative amendment, herein referred to as the 'Property,' is approximately 10.1 acres located at the northeast corner of Valencia Road and Littletown Road (APN 140-36-005C). As demonstrated in *Attachment A: The Reserve at Valencia Crossing Development Plan*, KB Home - Tucson proposes to construct a 50-lot single-family subdivision that is accessed from a single entrance on Littletown Road. Per PAD-21 and the underlying base zone (C-2), single-family residential uses are permitted on the Property.

When PAD-21 was initially proposed in 2012, it was envisioned that Development Area 'A', and more specifically, the Property would develop with higher intensity commercial and office uses, and high-density residential uses to provide the surrounding community with employment opportunities and commercial services needed to sustain the existing and planned residential communities in the Littletown Area. Due to the intense nature of the uses contemplated at the time of rezoning and to ensure compatibility with the existing school (Billy L. Lauffer Middle School) located to the east of the Property, a 10-foot-wide landscape border with a 5-foot screen wall was proposed along the eastern edge of Development Area 'A' (refer to *Attachment B: Exhibit III.D: Landscape Border Plan*). However, PAD-21 does not specify landscape border or screening treatments for lower intensity residential uses that are compatible with schools (i.e., single-family homes) which becomes problematic for KB Home's proposal.

This oversight effectively creates an unsafe and indefensible space between the proposed screen wall and the school's fence. Rather than creating a dangerous situation for future residents and users of the school, KB Home – Tucson is proposing to remove the 10-foot landscape border along the eastern Property boundary. Instead, the 5-foot screen wall will be placed on the Property line. This treatment is consistent with the landscape and screening requirements as prescribed by *Unified Development Code (UDC) Section 7.6: Landscape and Screening* for single-family residential subdivisions adjacent to residentially-zoned properties. In the spirit of installing a landscape border, KB Home is committed to providing additional vegetation in the southeast corner of the Property adjacent to Littletown Road and providing one canopy tree in every front yard of the proposed subdivision. This aids in offsetting the project's urban heat island effect, furthers the City's climate change initiative and beautifies the streetscape. Per email dated December 10, 2021, Ms. Anne Warner of PDSO concurs with removing the landscape border for the proposed single-family subdivision (see *Attachment C*).

To codify this, The Planning Center proposes to amend *Section III.D: Landscape Borders and Screening* of PAD-21 to include language that suggests appropriate landscape treatments for residential uses when developed adjacent to other residential uses or zones. Such language may include:

"No landscape borders or screen walls are required for single-family subdivisions when proposed adjacent to other residential uses or zones."

or

"For residential uses, landscape borders and screening requirements shall be provided in accordance with UDC Section 7.6."

Aside from including the language mentioned above, no other modifications to PAD-21 are proposed. Upon determining the acceptable language to include in the PAD with PDSO staff, a revised PAD will be provided in clean and redlined versions.

We appreciate your time and are prepared to discuss any questions you may have.

Thank you,
THE PLANNING CENTER



Lexy Wellott, AICP
Project Manager

MEMORANDUM

Date: April 1, 2022 **Job No:** KBT-50

To: John Beall

From: Lexy Wellott, AICP

Project: Valencia Crossing PAD – Minor Amendment for The Reserve at Valencia Crossing
SUSD Meeting Summary

This memorandum provides a brief account of the virtual meeting held on March 31, 2022, via Zoom with Mr. John Bellisario (current principal of Lauffer Middle School), Mr. Matthew Craft (incoming principal of Lauffer Middle School), Mrs. Kelly Lee (KB Home) and Miss Lexy Wellott (The Planning Center) to discuss the KB Home’s proposed subdivision, and precisely, the removal of the 10-foot landscape border on the eastern boundary as required by the Valencia Crossing PAD.

Miss. Wellott and Mrs. Lee described the current zoning requirements, the impetus for the landscape border when the PAD was crafted (i.e., to ensure compatibility between commercial/employment generating uses proposed and the school), the details of the proposed subdivision, the request to remove the border, and the potential unintended consequences of installing the required landscape border. Mrs. Lee explained that instead of a 10-foot landscape border, KB Home is committed to providing a canopy tree on each lot in the subdivision and additional vegetation in the detention/retention areas adjacent to Littletown Road.

Mr. Bellisario and Mr. Craft agreed that removing the 10-foot landscape border is appropriate as it removes an indefensible space that typically invites unwanted activities. Both Mr. Bellisario and Mr. Craft expressed excitement for the proposed subdivision and stated that they were looking forward to the partnership with KB Homes.

Should you have any questions, please do not hesitate to contact me.

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 11 AS MONUMENTED BY A 3.5 INCH DISC STAMPED "1/4 S11 S14 RLS 31591" AT THE SOUTH ONE QUARTER CORNER OF SAID SECTION 11 AND BY A 3" ALUMINUM DISC IN STREET WELL STAMPED "A.D.O.T. HIGHWAY DIV. AT THE SOUTHWEST CORNER OF SAID SECTION 11, AS SHOWN ON THE FINAL PLAT FOR VALENCIA CROSSING LOTS 1-4 RECORDED AT SEQ. #20181380735. SAID BEARING BEING: NORTH 89°09'23" WEST.

BASIS OF ELEVATION

A CGS DISK IN CONCRETE STAMPED "C 317 1952", LOCATED BETWEEN 2 SETS OF RAILROAD TRACKS, ELEVATION BEING 2668.43 NAVD88.

GENERAL NOTES

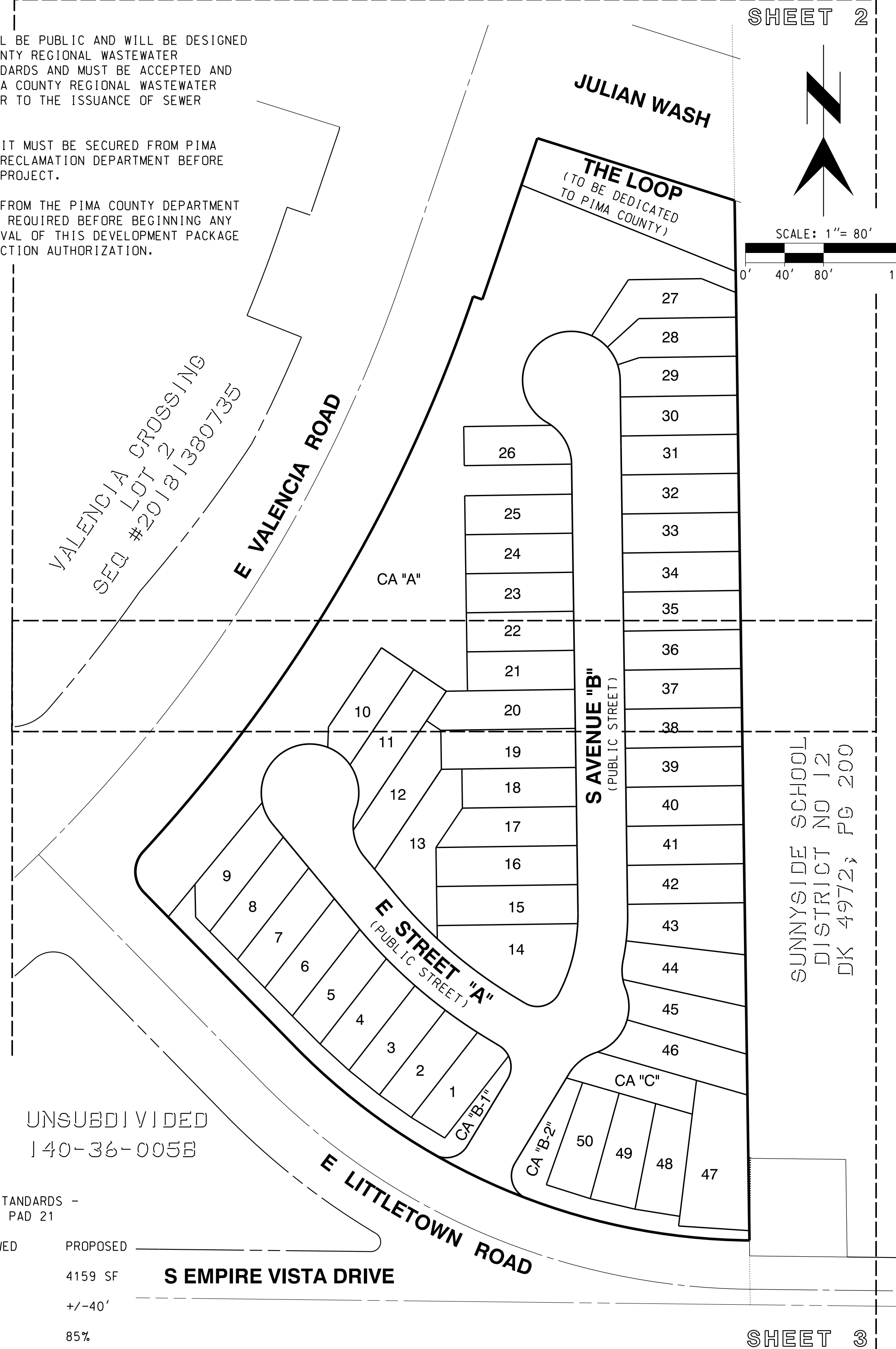
- EXISTING ZONING IS: PAD-21. (SEE SHEET 3 FOR PAD BOUNDARIES)
- GROSS AREA OF THIS SUBDIVISION IS 10.1 AC OR 441,698 SF
- EXISTING USE: VACANT
- TOTAL NUMBER OF LOTS IS 50.
- THIS PROJECT IS SUBJECT TO:
 - THE CONDITIONS OF REZONING CASE C9-12-03, VALENCIA CROSSING PLANNED AREA DEVELOPMENT (PAD-21) APPROVED ON MAY 22, 2012
 - THE AIRPORT ENVIRONS ZONE AFFECTS LOTS 1-50.
- THE PROJECT IS DESIGNED TO COMPLY WITH THE TECHNICAL MANUAL SECTION 4-02, FLOODPLAIN, WASH, AND ERZ STANDARDS.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOW AGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.
- THE RESPONSIBILITY OF MAINTAINING THE LOCAL DETENTION BASIN RESTS WITH THE HOMEOWNER'S ASSOCIATION, PER SEC. 1.5 AND 14.3 OF THE CITY OF TUCSON DEPARTMENT OF TRANSPORTATION AND ENGINEERING DIVISION STANDARD MANUAL FOR DRAINAGE DESIGN AND FLOODPLAIN MANAGEMENT, DEC., 1989.
- ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. CONSTRUCTION PLANS WILL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- TOTAL MILES OF NEW PUBLIC STREETS IS 0.25 MILES.
- PAVING PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR SEPARATE REVIEW AND APPROVAL. ALL PUBLIC ROADS AND DRAINAGE IMPROVEMENTS WITHIN AND ADJACENT TO THIS DEVELOPMENT SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF TUCSON DEVELOPMENT STANDARDS AND THE PIMA/CITY OF TUCSON STANDARD SPECIFICATIONS AND DETAILS.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- THE EASTERN PIMA COUNTY TRAILS SYSTEM MASTER PLAN SHOWS THE JULIAN WASH LOOP TRAIL WITHIN AND ADJACENT TO THE DEVELOPMENT SITE.
- ADDITIONAL FIRE HYDRANTS SHALL BE PROVIDED BY THE DEVELOPER AS REQUIRED BY THE FIRE CODE IN ACCORDANCE WITH CITY OF TUCSON STANDARDS.
- THE APPROVED GRADING AND PAVING PLAN FOR THIS PROJECT IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON -SITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAN AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE COT DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THESE APPROVED GRADING AND PAVING PLANS BUT IS NEEDED FOR COMPLETION OF WORK.
- REFUSE AND RECYCLING SERVICE IS TO BE INDIVIDUAL WEEKLY CURBSIDE SERVICE. PLASTIC CONTAINERS (APA'S) SHALL BE PLACED AND REMOVED FROM THE CURBSIDE COLLECTION AREA ON THE DAY OF THE SERVICE AND SCREENED FROM PUBLIC VIEW WHEN STORED.
- THE PERIMETER YARD REQUIREMENTS OF SECTION 6.3.4 MAY BE REDUCED FOR SETBACKS ALONG INTERIOR LOT LINES TO THE EXTENT PERMITTED BY THE CITY'S ADOPTED BUILDING CODES.
- SIDEWALKS ARE NOT TO EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.
- THE PROPERTY OWNER WILL RECORD AN AVIGATION EASEMENT PRIOR TO THE APPROVAL OF THE FINAL PLAT THAT DISCLOSES THE EXISTENCE, AND OPERATIONAL CHARACTERISTICS OF THE TUCSON INTERNATIONAL AIRPORT TO FUTURE OWNERS OR TENANTS OF THE PROPERTY AND CONVEYS TO THE RIGHT OF THE PUBLIC TO LAWFULLY USE THE AIRSPACE ABOVE THE PROPERTY.
- ACCORDING TO THE FAA NOTICE CRITERIA TOOL, THIS PROJECT IS LOCATED IN PROXIMITY TO A NAVIGATION FACILITY AND COULD IMPACT NAVIGATION SIGNAL RECEPTION. THE APPLICANT SHALL FILE FORM 7460 WITH THE FAA AT LEAST 45 DAYS BEFORE CONSTRUCTION ACTIVITIES BEGIN FOR THE PROJECT.
- THE DEVELOPER SHALL PROVIDE THE AIRPORT DISCLOSURE STATEMENT FORM, AT TIME OF SALE, TO THE NEW PROPERTY OWNERS WITH NEW UNIT PURCHASES. IN THE EVENT THE DEVELOPMENT OF ANY RESIDENTIAL USES DOES NOT INVOLVE THE SALE OF NEW UNITS, BUT IS INSTEAD OFFERING RENTAL RESIDENTIAL UNITS TO THE PUBLIC, THE NEW TENANT OF THE RENTAL UNIT SHALL BE PROVIDED A COPY OF THE AIRPORT DISCLOSURE STATEMENT FORM.

DEVELOPMENT PLAN FOR THE RESERVE AT VALENCIA CROSSING

LOTS 1-50 & COMMON AREAS "A", "B-1" - "B-2" & "C"

SEWER GENERAL NOTES

- ON-SITE SANITARY SEWERS WILL BE PUBLIC AND WILL BE DESIGNED AND CONSTRUCTED TO PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT STANDARDS AND MUST BE ACCEPTED AND RELEASED FOR SERVICE BY PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT PRIOR TO THE ISSUANCE OF SEWER CONNECTION PERMITS.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- CONSTRUCTION AUTHORIZATION FROM THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY IS REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT. APPROVAL OF THIS DEVELOPMENT PACKAGE DOES NOT CONSTITUTE CONSTRUCTION AUTHORIZATION.



SHEET INDEX

- 1 COVER SHEET
- 2-3 TENTATIVE PLAT SHEETS
- 4-7 GRADING PLANS
- 8-10 DETAILS
- 11 NATIVE PLANT PRESERVATION PLAN
- 12-21 LANDSCAPE SHEETS
- 22 EROSION CONTROL PLAN

LEGEND

ITEM	SYMBOL
CENTERLINE	---
SECTION LINE	---
SUBDIVISION BOUNDARY	---
PROPERTY LINE	---
EXIST ROW LINE	---
EASEMENT BOUNDARY	---
EXIST CONTOUR LINE
EXIST SPOT ELEVATION	X 2751.1
PROPOSED 100 YR FLOOD PRONE LINE	---
EXIST 100 YR FLOOD PRONE LINE	---
BUILDING EROSION SETBACK LINE	---
LANDSCAPE BUFFER YARD LIMITS	---
BUILDING SETBACKS	---
EXIST PAVEMENT EDGE	---
EXIST SEWER LINE W/MH	---
EXIST WATERLINE W/VALVE	---
EXIST UNDERGROUND LINE	---
EXIST FIBER OPTIC LINE	---
EXIST GAS LINE	---
EXIST TELEPHONE LINE	---
EXIST CABLE LINE	---
EXIST OVERHEAD ELECTRIC LINE	---
PROPOSED STORM DRAIN W/MH	---
PROPOSED SEWER W/MH	---
PROPOSED SEWER MANHOLE DATA	NEW MH *X RIM=XXXX.XX IE=XXXX.XX
PROPOSED SEWER MAIN, LENGTH AND SLOPE	X" PVC (PUBLIC) XXX.XX LF @ XX.XXX
LOT REQUIRES BACKWATER VALVE	---
PROPOSED FIRE HYDRANT	---
LANDSCAPE/SCREENWALL	---
PROPOSED SLOPE	---
CURB ACCESS RAMPS	---
SIGHT VISIBILITY TRIANGLE	---
A.C. PAVING	---
CONCRETE PAVING	---

RELATED CASES: C9-12-03, C15-12-01

ADMINISTRATIVE ADDRESS

5251 EAST LITTLE TOWN ROAD
TUCSON, AZ 85756

TABULATIONS

USE: SINGLE FAMILY RESIDENTIAL

UNSUBDIVIDED
140-36-005B

REQUIRED/ALLOWED	PROPOSED
MIN. SITE AREA:	NONE 4159 SF
MIN. LOT WIDTH:	NONE +/-40'
MAX. SITE COVERAGE:	85% 85%
MAX. FLOOR AREA RATIO:	NONE
MAX. HEIGHT:	120' 30'
MIN. BLDG SEPARATION:	BLDG CODE BLDG CODE
MIN. PERIMETER SETBACK:	20' 20'

DEVELOPMENT STANDARDS FROM THE UNIFIED DEVELOPMENT CODE

STREET SETBACKS:	REQUIRED	PROPOSED
VALENCIA ROAD	21' OR "H"*	21' OR "H"*
LITTLE TOWN ROAD	21' OR "H"*	21' OR "H"*
LOCAL STREETS	21' OR "H"*	21' OR "H"*

* FROM BACK OF CURB ** FROM TRAVEL LANE

OWNER

VALENCIA CROSSING LONG TERM INVESTMENT CO. L.L.C.
ATTN: DESERT PARCEL 510 ASSOCIATES L.L.C.
ROBERT MORKEN
2200 EAST RIVER ROAD, SUITE 105
TUCSON AZ 85718-6516

DEVELOPER

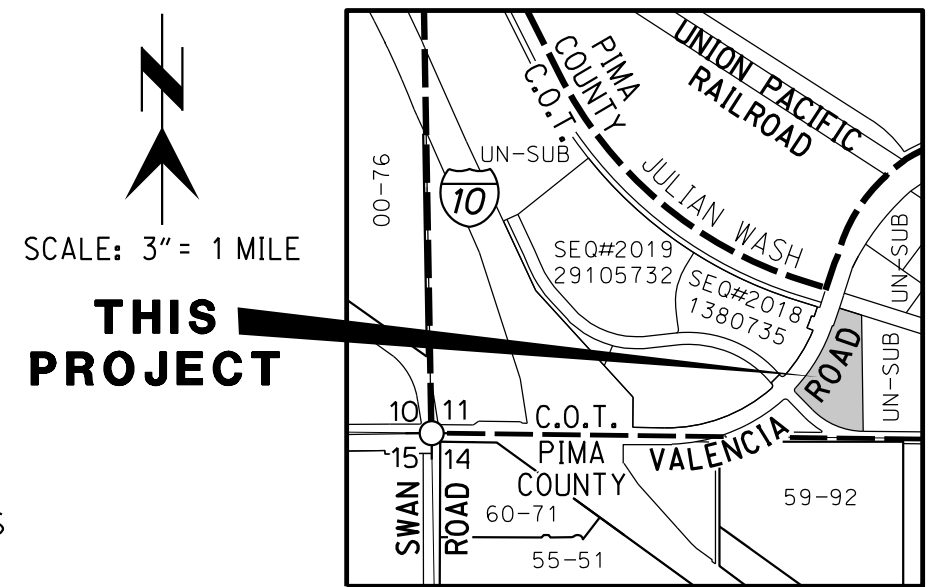
KB HOME TUCSON
3501 EAST SPEEDWAY SUITE 101
TUCSON, AZ 85716
PHONE: (520) 664-5219
ATTN: KELLY LEE
kelee@kbhome.com

CIVIL ENGINEER

RICK ENGINEERING COMPANY, INC.
3945 EAST FORT LOWELL ROAD, SUITE 111
TUCSON, AZ 85712
PHONE: (520) 795-1000
ATTN: PAUL IEZZI
piezzi@rickengineering.com

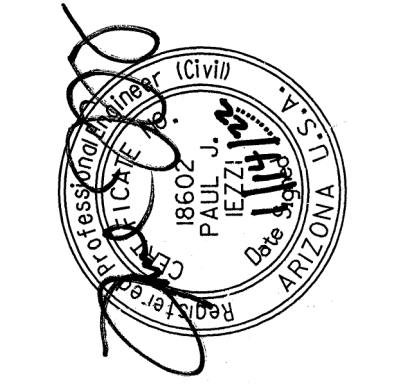
LANDSCAPE ARCHITECT

GRS LANDSCAPE ARCHITECTS, L.L.C.
35974 SOUTH DESERT SUN DRIVE
TUCSON, AZ 85739
PHONE: (520) 909-4678
ATTN: GREG SHINN
gregs@grslandscapearchitects.com



LOCATION MAP
SECTION 11, T 15 S, R 14 E
G & SRM
CITY OF TUCSON WARD #5
PIMA COUNTY, ARIZONA

NO.	BY	DATE	REVISION	APPR DATE



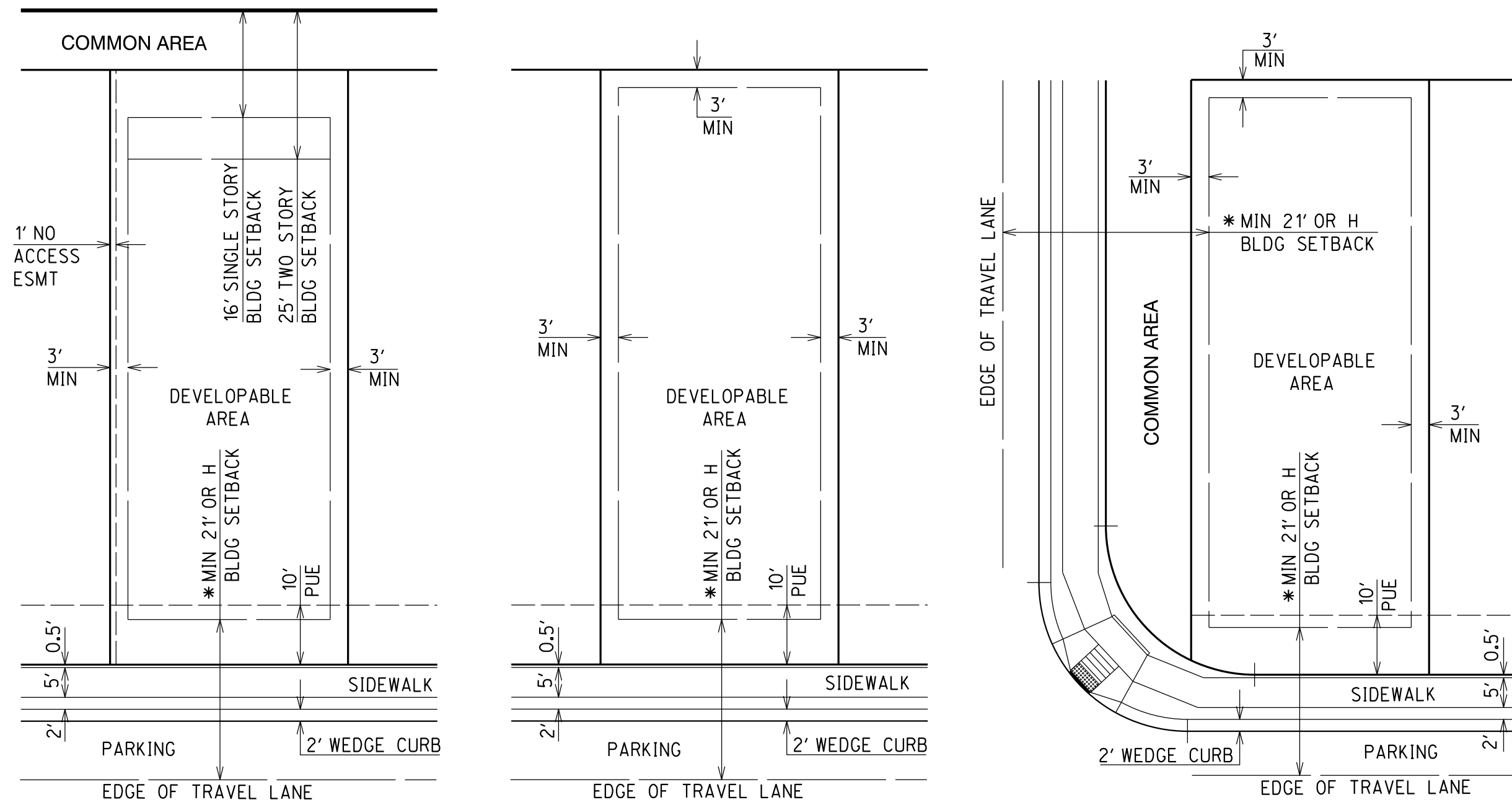
3945 EAST FORT LOWELL ROAD - SUITE 111
TUCSON, AZ 85712
520-795-1000
rickengineering.com
San Diego • Riverside • Orange • Sacramento • San Jose • Chicago • Phoenix • Denver

RICK
ENGINEERING COMPANY
Tucson

DESIGNED BY: BNC DATE: 12/21 CHECKED BY: P-JJ DATE: 12/21
DRAWN BY: RSM DATE: 12/21 APPROVED BY: P-JJ DATE: 12/21

DEVELOPMENT PACKAGE
THE RESERVE AT VALENCIA CROSSING
LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING, DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE, GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS)
A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH, RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

P22AD00XXX
P22WS000XX
DP22-0XXX
HORIZ : 1" = 80'
VERT : N/A
SHEET 1 OF 22



PERIMETER LOTS

INTERIOR LOT

CORNER LOT

* WHICHEVER IS GREATER

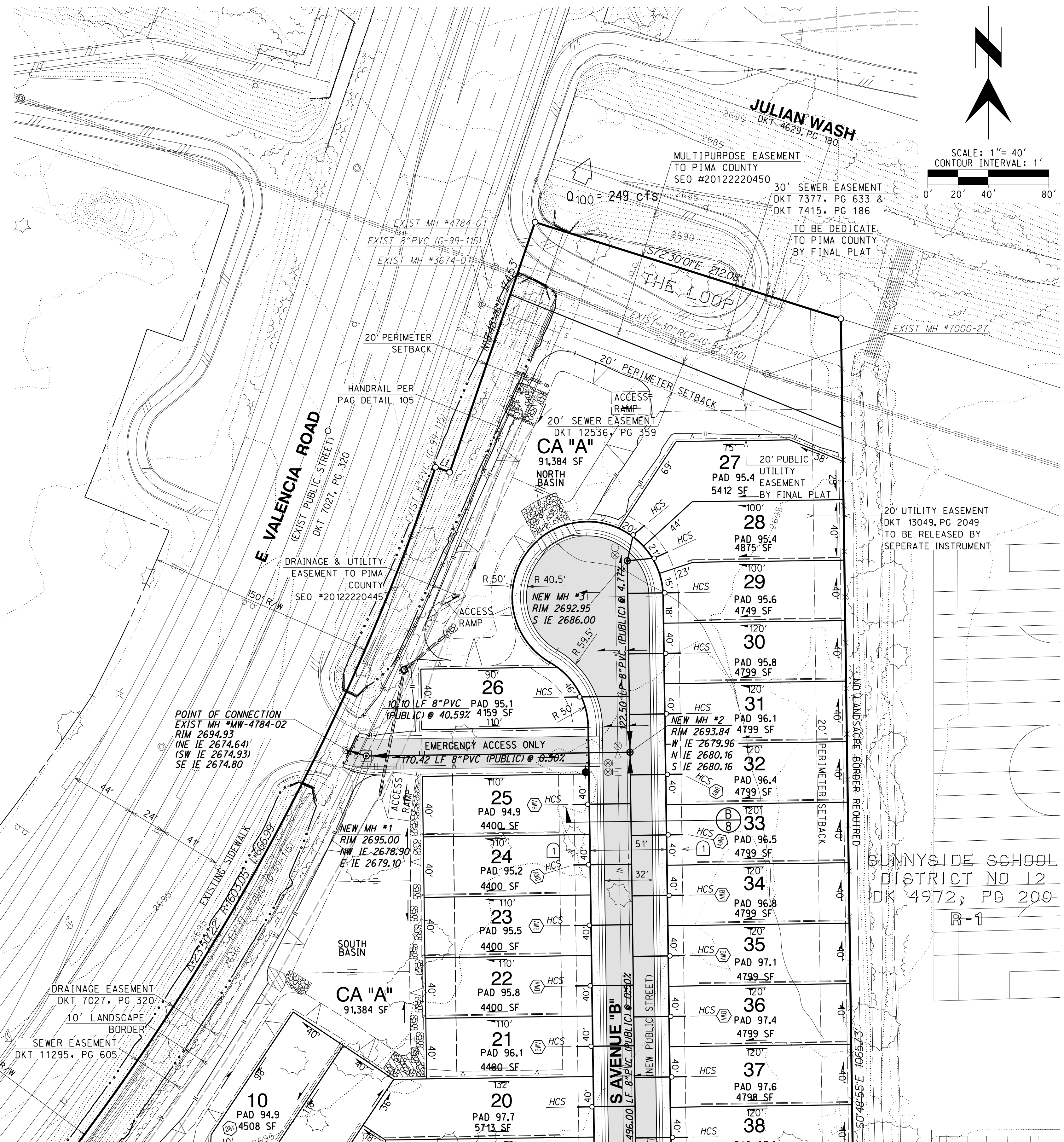
19 FEET TO GARAGE FROM BACK OF SIDEWALK

18 FEET MUST BE PROVIDED IN FRONT OF THE GARAGE AND MEASURED SO THAT THE FULL 18 FOOT PARKING SPACE IS AVAILABLE FOR PARKING ON-SITE

A TYPICAL LOT SETBACKS

DTL: TYPLTSET

NO SCALE



SCALE: 1" = 40'
CONTOUR INTERVAL: 1'

VALENCIA CROSSING
LOT 2
SEQ #20181380735
PAD 21

KEYNOTES

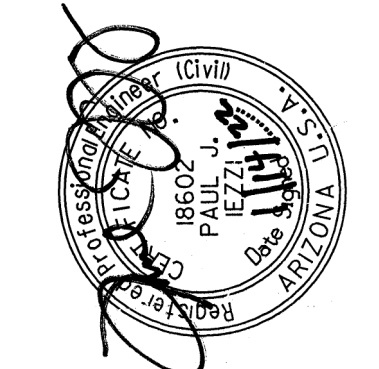
- 1 10' PUBLIC UTILITY EASEMENT GRANTED TO PUBLIC UTILITY COMPANIES AND PIMA COUNTY BY FINAL PLAT
- 2 180' SIGHT VISIBILITY TRIANGLE (NEAR SIDE)
- 3 110' SIGHT VISIBILITY TRIANGLE (FAR SIDE)
- 4 260' SIGHT VISIBILITY TRIANGLE (NEAR SIDE)
- 5 10' X 10' ELECTRIC EASEMENT GRANTED TO TEP BY FINAL PLAT
- 6 15' X 15' ELECTRIC EASEMENT GRANTED TO TEP BY FINAL PLAT

RELATED CASES: C9-12-03, C15-12-01

LINE AND CURVE DATA

NAME	DIRECTION	LENGTH
L1	S71°11'12"E	10.00'

NAME	DELTA	RADIUS	ARC
C1	87°04'35"	30.00	45.59'



J-51418
3945 EAST FORT LOWELL ROAD - SUITE 111
TUCSON, AZ 85712
5209395-1000
rickengineering.com
San Diego • Riverside • Orange • Sacramento • Salt Lake City • Phoenix • Denver

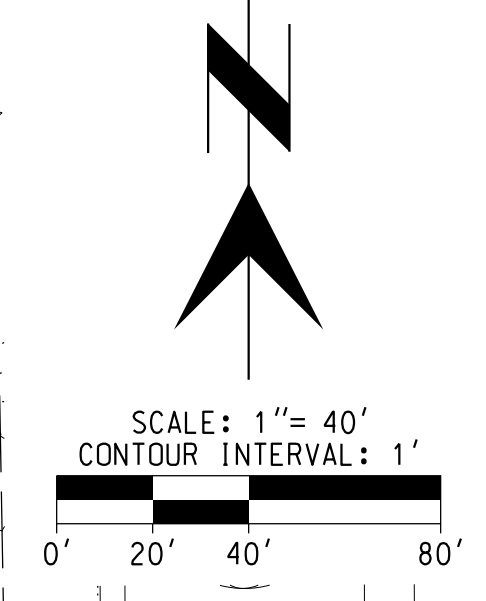
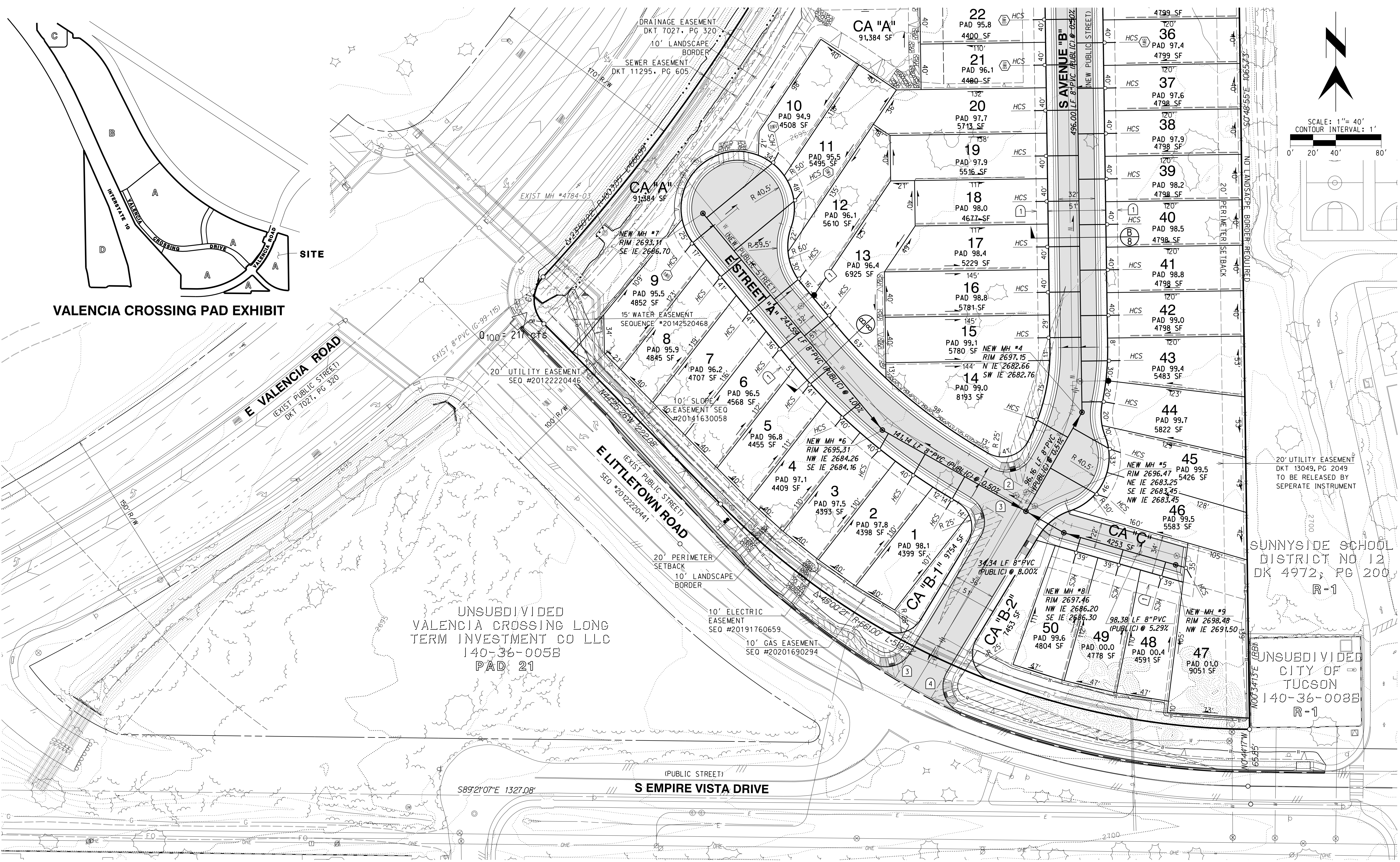


DEVELOPMENT PACKAGE
THE RESERVE AT VALENCIA CROSSING
LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING, DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE, GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS) A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH, RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

P22AD00XXX
P22WS000XX
DP22-0XXX

HORIZ : 1" = 40'
VERT : N/A

SHEET 2 OF 22



VALENCIA CROSSING PAD EXHIBIT

UNSUBDIVIDED
VALENCIA CROSSING LONG
TERM INVESTMENT CO LLC
140-36-005B
PAD 21

SUNNYSIDE SCHOOL
DISTRICT NO 12
DK 4972, PG 200
R-1

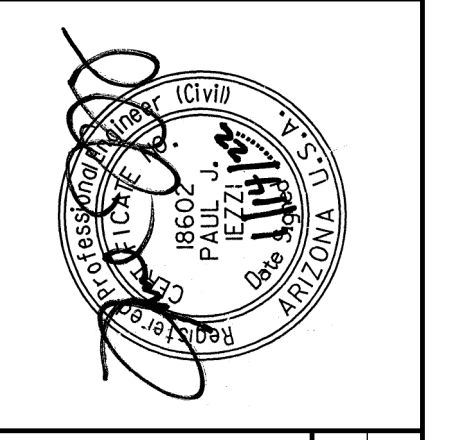
UNSUBDIVIDED
CITY OF
TUCSON
140-36-008B
R-1

KEYNOTES

- 1) 10' PUBLIC UTILITY EASEMENT GRANTED TO PUBLIC UTILITY COMPANIES AND PIMA COUNTY BY FINAL PLAT
- 2) 180' SIGHT VISIBILITY TRIANGLE (NEAR SIDE)
- 3) 110' SIGHT VISIBILITY TRIANGLE (FAR SIDE)
- 4) 260' SIGHT VISIBILITY TRIANGLE (NEAR SIDE)
- 5) 10' X 10' ELECTRIC EASEMENT GRANTED TO TEP BY FINAL PLAT
- 6) 15' X 15' ELECTRIC EASEMENT GRANTED TO TEP BY FINAL PLAT

RELATED CASES: C9-12-03, C15-12-01

NO.	BY	DATE	REVISION	APPR DATE



J-51418
3945 EAST FORT LOWELL ROAD - SUITE 111
TUCSON, AZ 85712
520-935-1000
San Diego • Riverside • Orange • Sacramento • San Jose • Chicago • Phoenix • Denver

RICK
ENGINEERING COMPANY

DESIGNED BY: BNC
DATE: 12/21
CHECKED BY: P-JJ
DATE: 12/21

DRAWN BY: RSM
DATE: 12/21
APPROVED BY: P-JJ
DATE: 12/21

DEVELOPMENT PACKAGE
TENTATIVE PLAT
THE RESERVE AT
VALENCIA CROSSING
LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING, DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE, GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS) A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH, RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

P22AD00XXX
P22WS000XX
DP22-0XXX
HORIZ : 1" = 40'
VERT : N/A
SHEET 3 OF 22

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 11 AS MONUMENTED BY A 3.5 INCH DISC STAMPED "1/4 S11 S14 RLS 31591" AT THE SOUTH ONE QUARTER CORNER OF SAID SECTION 11 AND BY A 3" ALUMINUM DISC IN STREET WELL STAMPED "A.D.O.T. HIGHWAY DIV." AT THE SOUTHWEST CORNER OF SAID SECTION 11. AS SHOWN ON THE FINAL PLAT FOR VALENCIA CROSSING LOTS 1-4 RECORDED AT SEQ. 20181380735. SAID BEARING BEING: NORTH 89°09'23" WEST.

BASIS OF ELEVATION

A CGS DISK IN CONCRETE STAMPED "C 317 1952", LOCATED BETWEEN 2 SETS OF RAILROAD TRACKS, ELEVATION BEING 2668.43 NAVD88.

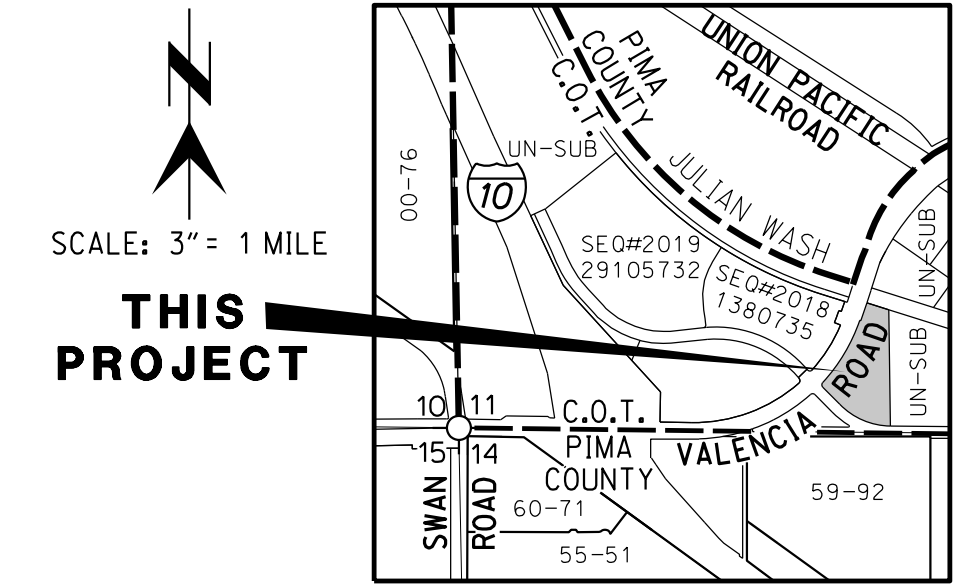
GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, 2015 EDITIONS. THESE MAY BE MODIFIED AND/OR SUPPLEMENTED BY THE REQUIREMENTS OF THESE PLANS.
- AN APPROVED COPY OF THIS PLAN SHALL BE KEPT AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED SEPTEMBER 16, 2021, PE JN 21-161.
- THE SOILS ENGINEER SHALL OBSERVE, INSPECT, AND TEST ALL EARTHWORK OPERATIONS, INCLUDING, BUT NOT LIMITED TO, CLEARING AND GRUBBING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACKFILL, AND PLACEMENT AND COMPACTION OF FILL, IN ACCORDANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT.
- THIS APPROVED GRADING PLAN IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT OR DEVELOPMENT PLAN FOR CONSTRUCTION PURPOSES. THIS PLAN IS TO BE USED FOR GRADING CONSTRUCTION ONLY. THE CONTRACTOR SHALL USE OTHER SPECIFIC IMPROVEMENT PLANS FOR CONSTRUCTION OF ALL IMPROVEMENTS OTHER THAN GRADING.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL ARIZONA 811 AT 811, AT LEAST 2 WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED.
- THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS, AND/OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEER. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- ALL CONCRETE SHALL COMPLY WITH PIMA COUNTY/CITY OF TUCSON, STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, SECTION 1006, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATIONS AND REQUESTS BY THE CITY OF TUCSON AND PIMA COUNTY REGARDING DUST POLLUTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID BASED THEREON.
- ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF SIX (6) INCHES AND HAULED FROM THE SITE PRIOR TO GRADING.
- BUILDING SITES SHALL BE CONSTRUCTED TO WITHIN 0.1 FOOT OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. STREETS AND PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.1 FEET OF FINISH SUBGRADE AS DESIGNED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED AND/OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, AND/OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
- ANY ENGINEERING WORK TO BE DONE BELOW GRADE (I.E. TOE-DOWNS, CUTOFF WALLS, DRAINAGE PIPES/STRUCTURES, ETC.) SHALL NOT BE BACK FILLED UNTIL A PLANNING AND DEVELOPMENT SERVICES DEPARTMENT (PDS) INSPECTOR INSPECTS THE WORK AND APPROVES IT.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON PDS.
- CALL FOR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTION AND PRE-CONSTRUCTION MEETINGS. FOR A PDS ENGINEERING INSPECTION, CALL IVR AT (520) 740-6970, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PDS, OR CONTACT PDS ENGINEERING AT (520) 791-5550, EX 2101, OR SCHEDULE INSPECTIONS ONLINE AT: [HTTP://CMS3.TUCSONAZ.GOV/PDS/INSPECTIONS](http://cms3.tucsonaz.gov/pds/inspections)
- THE PROJECT WILL BE IN COMPLIANCE WITH CITY OF TUCSON TECHNICAL STANDARDS MANUAL SECTION 2-01.0.0 (EXCAVATING AND GRADING).

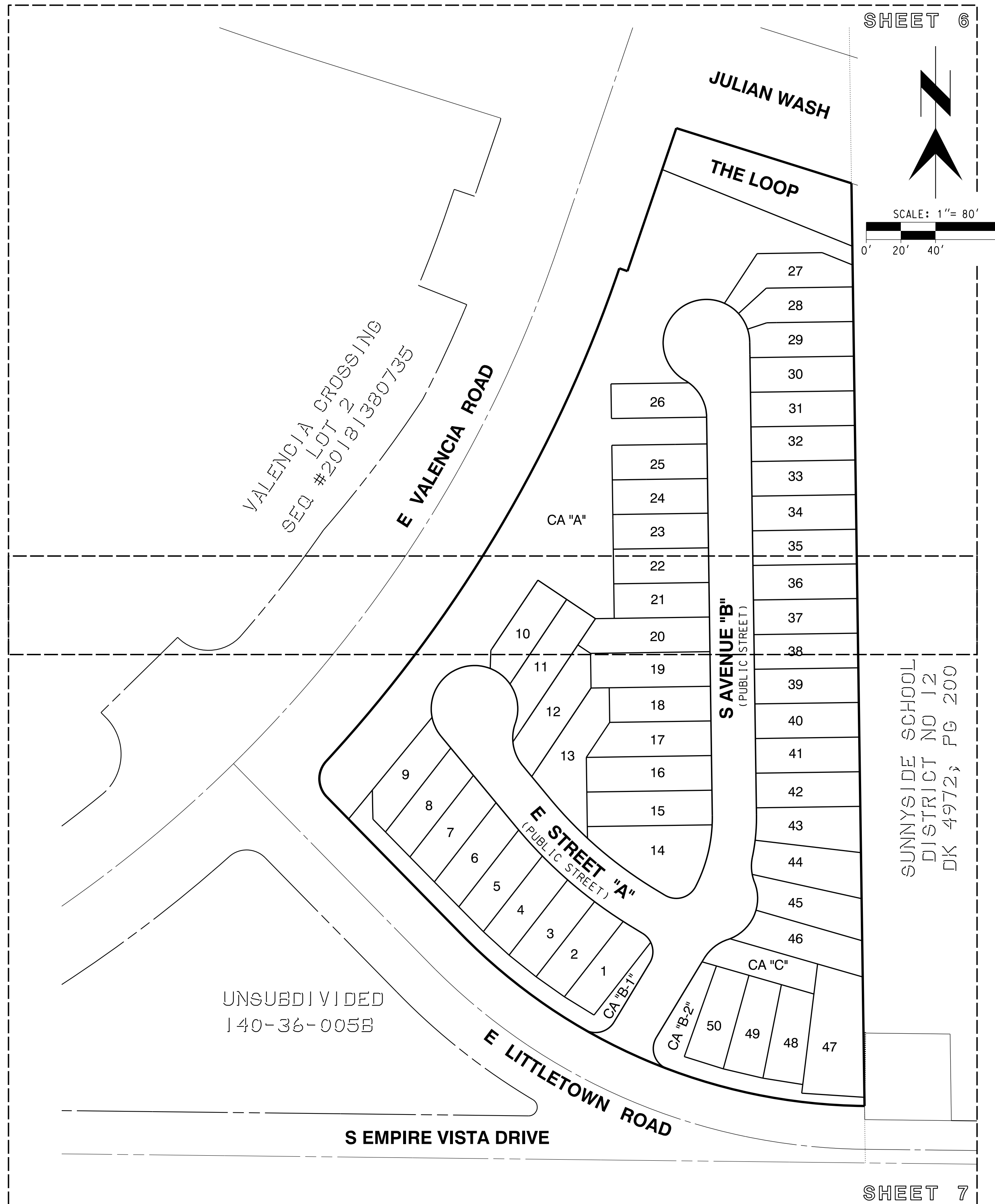
FOR CONTINUATION OF GRADING NOTES SEE SHEET 5

GRADING PLAN FOR THE RESERVE AT VALENCIA CROSSING

LOTS 1-50 & COMMON AREAS "A", "B" & "C"



LOCATION MAP
SECTION 11, T 15 S, R 14 E
G & SRM
CITY OF TUCSON WARD #5
PIMA COUNTY, ARIZONA



EARTHWORK QUANTITIES:

CUT: 8,760 CY
FILL: 8,760 CY
IMPORT/EXPORT: 0 CY

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT USED FOR PAYMENT QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES.

WORK TO BE DONE

THE IMPROVEMENTS AND GRADING CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND SPECIFICATIONS AND STANDARD DETAILS:

STANDARD SPECIFICATIONS

- STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (2015 EDITION), PIMA ASSOCIATION OF GOVERNMENTS (PAG).

STANDARD DETAILS/DRAWINGS

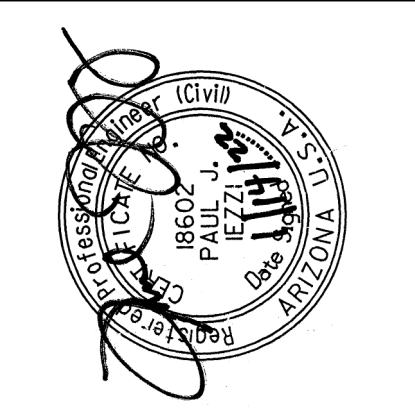
- STANDARD DETAILS FOR PUBLIC IMPROVEMENTS (2015 EDITION), PIMA ASSOCIATION OF GOVERNMENTS (PAG).
- THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.

LEGEND

ITEM	STANDARD DETAIL	SYMBOL
TOP OF CURB ELEVATION		TC 52.50
FINISHED SURFACE ELEVATION		FS 52.0
FINISHED GRADE ELEVATION		FL 52.00
FLOW ELEVATION		FL 52.00
TOP OF BERM		TB 64.0
BEGIN VERTICAL CURVE		BVC
POINT OF VERTICAL CURVE		PI
END OF VERTICAL CURVE		EVC
HIGH POINT		HP
LOW POINT		LP
TOP OF WALL		TW 64.0
EXIST ELEVATION		(49.50)
PAD ELEVATION		PAD 49.5
RIDGE LINE		
STORM DRAIN	SD 108. SEE NOTES	
STORM DRAIN W/MH	SD 300, SD 301	
RIP RAP PAD		
DETAIL REFERENCE	A = DETAIL IDENTIFICATION, 1 = SHEET SHOWING DETAIL	
PROPOSED SLOPE		
RIP RAP SLOPE PROTECTION	SEE TYPICAL SLOPE TREATMENT SEE BOX NOTE ON SHEETS	
GROUTED RIP RAP	SEE DETAIL D SHEET 8	
EXIST CONTOUR		2750
PROPOSED CONTOUR		2800
DAYLIGHT LINE		
EASEMENT LINE		---
DIRECTION OF FLOW OR SWALE		→
RETAINING WALL	FOR REFERENCE ONLY, SEE GENERAL NOTE 7 SHEET 5	
0100DISCHARGE		→
PROPOSED 100-YEAR FLOOD PRONE LIMITS		○
EXIST SEWER AND MANHOLE		W
EXIST WATERLINE W/VALVE		E
EXIST UNDERGROUND ELECTRIC LINE		T
EXIST GAS LINE		G
EXIST TELEPHONE LINE		
EXIST CURB & PAVEMENT		
PROJECT BOUNDARY		---
EXIST ROW LINE		---
CENTERLINE		---
VARIABLE SLOPE		
LOT NUMBERS		23

RELATED CASES: C9-12-03, C15-12-01

NO.	BY	DATE	REVISION	APPR DATE



3945 EAST FORT LOWELL ROAD - SUITE 111
TUCSON, AZ 85712
520-935-1000

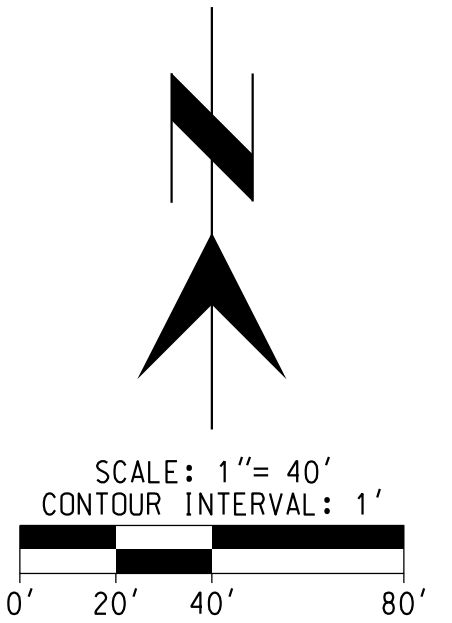
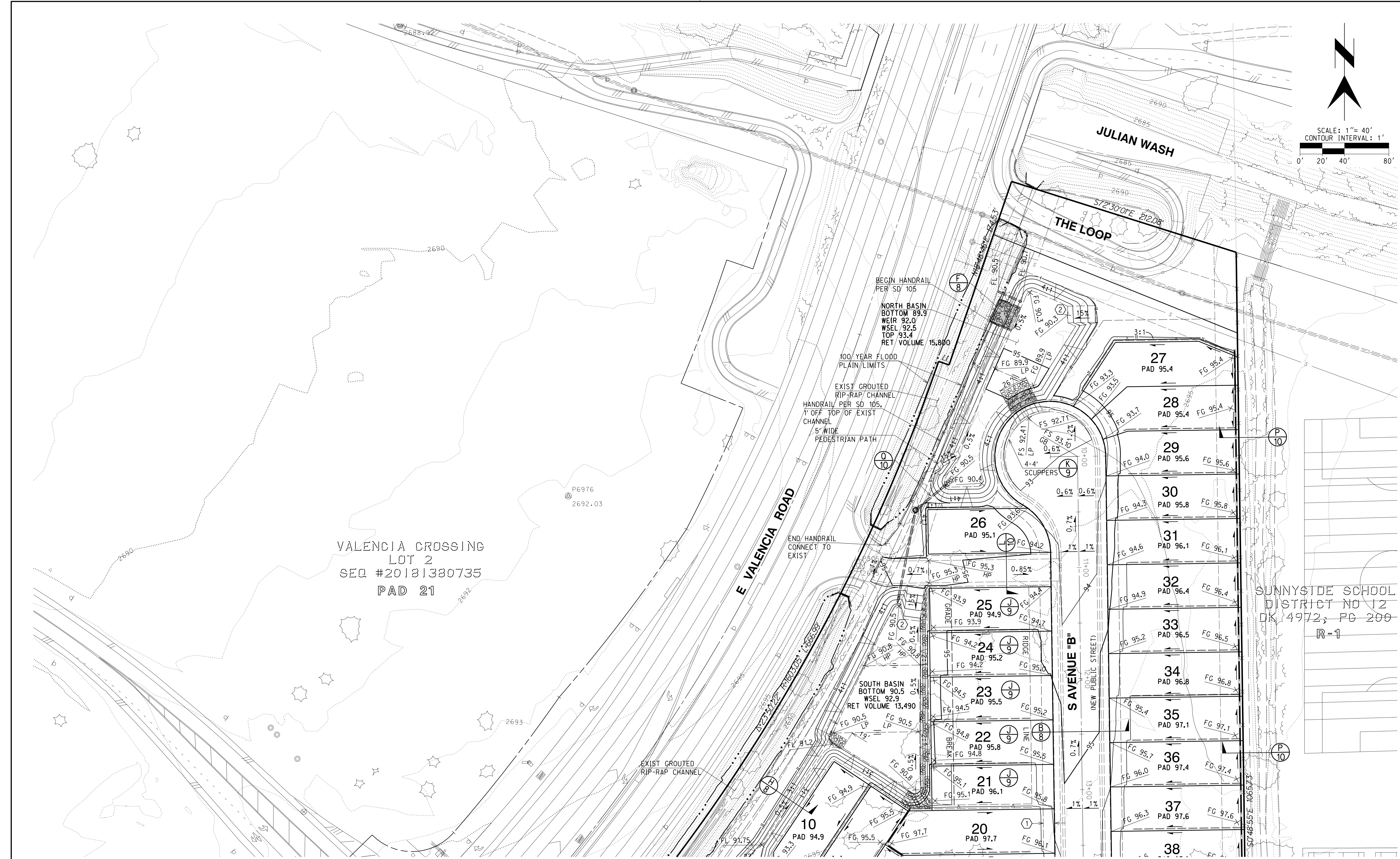
RICK
ENGINEERING COMPANY
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DESIGNED BY: BNC DATE: 12/21 CHECKED BY: PJJ DATE: 12/21
DRAWN BY: RSM DATE: 12/21 APPROVED BY: PJJ DATE: 12/21

DEVELOPMENT PACKAGE
THE RESERVE AT VALENCIA CROSSING
LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING, DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE, GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS)
A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH, RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

P22AD00XXX
P22WS000XX
DP22-0XXX
HORIZ : 1" = 80'
VERT : N/A
SHEET 4 OF 22



VALENCIA CROSSING
 LOT 2
 SEQ #20181380735
 PAD 21

SUNNYSIDE SCHOOL
 DISTRICT NO 12
 DK 4972, PG 200
 R-1

TYPICAL SLOPE TREATMENT	
FINAL SLOPE TREATMENT (UNLESS OTHERWISE NOTED IN THE SOILS REPORT OR ON THIS PLAN) SHALL BE AS FOLLOWS:	
1:1 TO 1.99:1 OVER 2' IN HEIGHT	- GROUDED ROCK RIP RAP PER DETAIL (D 8)
2:1 TO 2.99:1 OVER 2' IN HEIGHT	- HAND PLACED ANGULAR ROCK RIP RAP D50=8" MIN, T=8" MIN (UON) OVER 1 LAYER MIRAFIT 180N FILTER FABRIC OR EQUIVALENT
3:1 OR FLATTER	- REVEGETATED PER LANDSCAPE ARCHITECT'S RECOMMENDATION (UON)

- KEYNOTES**
- ① 10' PUBLIC UTILITY EASEMENT GRANTED TO PUBLIC UTILITY COMPANIES AND PIMA COUNTY BY FINAL PLAT
 - ② MIN 15' WIDE MAINTENANCE ACCESS RAMP

NOTE:
 NOT ALL RIP RAP SHOWN FOR CLARITY

RELATED CASES: C9-12-03, C15-12-01

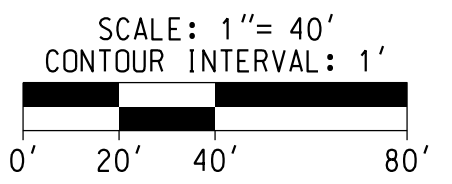
	J-5141B 3945 EAST FORT LOWELL ROAD - SUITE 111 TUCSON, AZ 85712 520-935-1000 RICK ENGINEERING COMPANY <small>Tucson</small>	DESIGNED BY: BNC DRAWN BY: RSM CHECKED BY: P.JJ APPROVED BY: P.JJ	DATE: 12/21 DATE: 12/21 DATE: 12/21 DATE: 12/21	NO. BY DATE REVISION APPR. DATE
DEVELOPMENT PACKAGE THE RESERVE AT VALENCIA CROSSING LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING, DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE, GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS) A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH, RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA				
GRADING PLANS P22AD00XXX P22WS000XX DP22-0XXX				
HORIZ : 1" = 40' VERT : N/A				
SHEET 6 OF 22				

VALENCIA CROSSING
LOT 1
SEQ #20181380735
PAD 21

UNSUBDIVIDED
VALENCIA CROSSING LONG
TERM INVESTMENT CO LLC
140-36-0058
PAD 21

SUNNYSIDE SCHOOL
DISTRICT NO 12
DK 4972, PG 200

UNSUBDIVIDED
CITY OF
TUCSON
140-36-0088



TYPICAL SLOPE TREATMENT

FINAL SLOPE TREATMENT (UNLESS OTHERWISE NOTED IN THE SOILS REPORT OR ON THIS PLAN) SHALL BE AS FOLLOWS:

- | | | |
|---------------------------------|--|--|
| 1:1 TO 1.99:1 OVER 2' IN HEIGHT | - GROUDED ROCK RIP RAP PER DETAIL | |
| 2:1 TO 2.99:1 OVER 2' IN HEIGHT | - HAND PLACED ANGULAR ROCK RIP RAP
D50=8" MIN, T=8" MIN (UON) OVER 1 LAYER
MIRAFI 180N FILTER FABRIC OR EQUIVALENT | |
| 3:1 OR FLATTER | - REVEGETATED PER LANDSCAPE ARCHITECT'S
RECOMMENDATION (UON) | |

KEYNOTES

- ① 10' PUBLIC UTILITY EASEMENT GRANTED TO PUBLIC UTILITY COMPANIES AND PIMA COUNTY BY FINAL PLAT
- ② MIN 15' WIDE MAINTENANCE ACCESS RAMP

NOTE:
NOT ALL RIP RAP
SHOWN FOR CLARITY

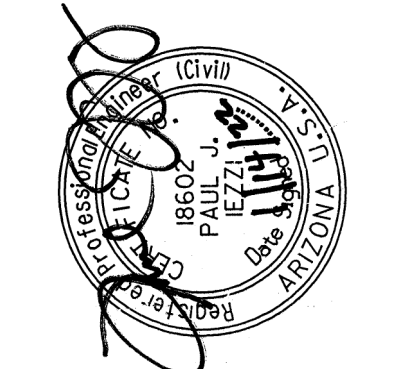
RELATED CASES: C9-12-03, C15-12-01

DEVELOPMENT PACKAGE
**THE RESERVE AT
VALENCIA CROSSING**
LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING,
DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE,
GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS)
A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH,
RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

P22AD00XXX
P22WS000XX
DP22-0XXX

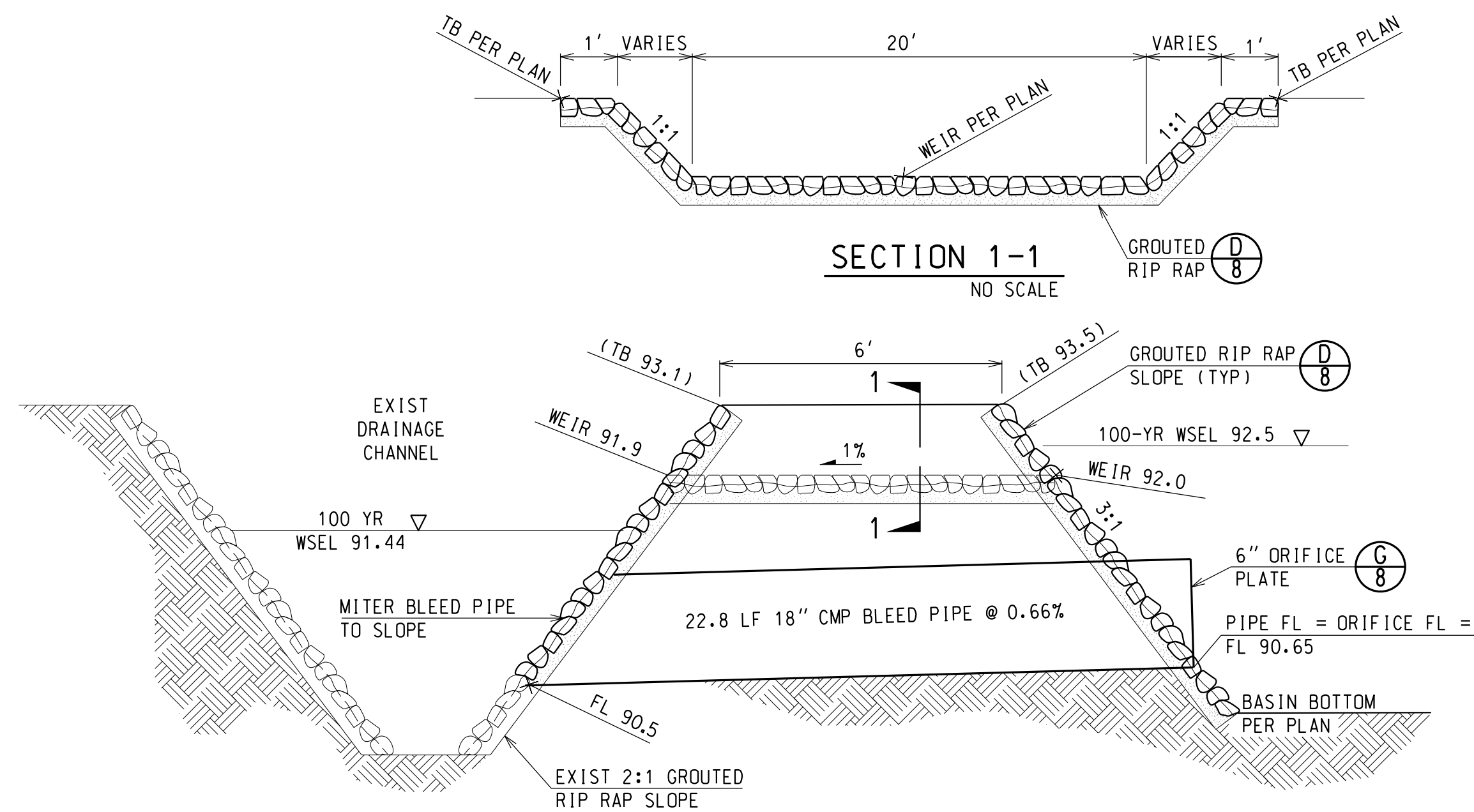
HORIZ : 1" = 40'
VERT : N/A

SHEET 7 OF 22

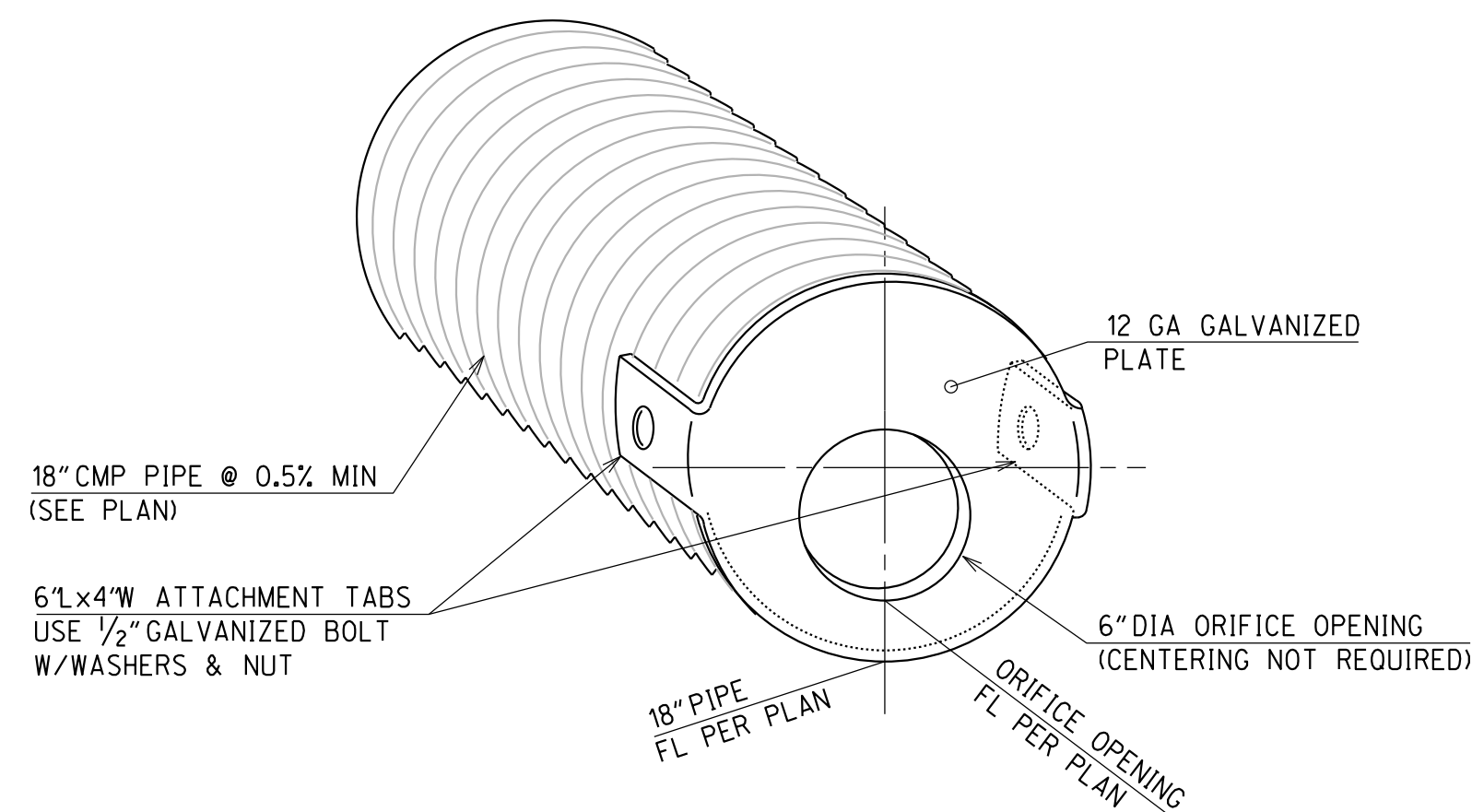


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DATE: 12/21
DRAWN BY: RSM
DATE: 12/21
APPROVED BY: P-J
DATE: 12/21

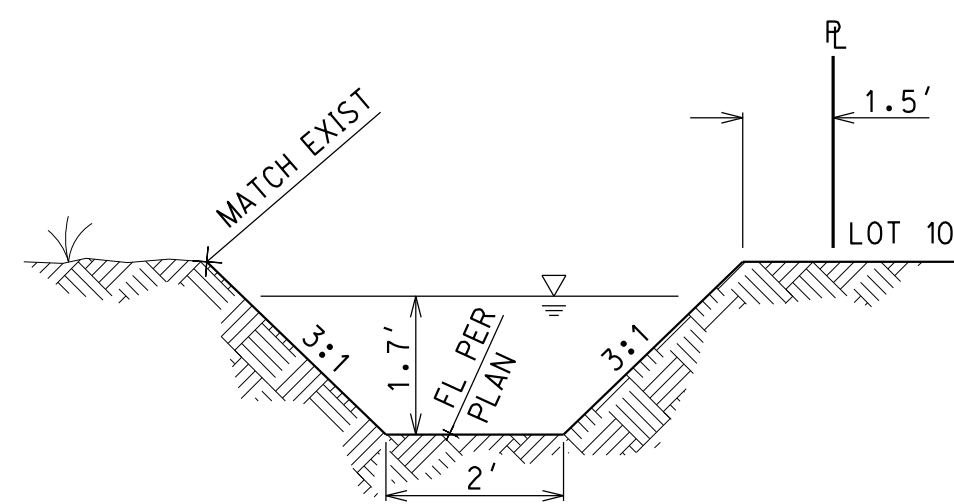
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rickengineering.com



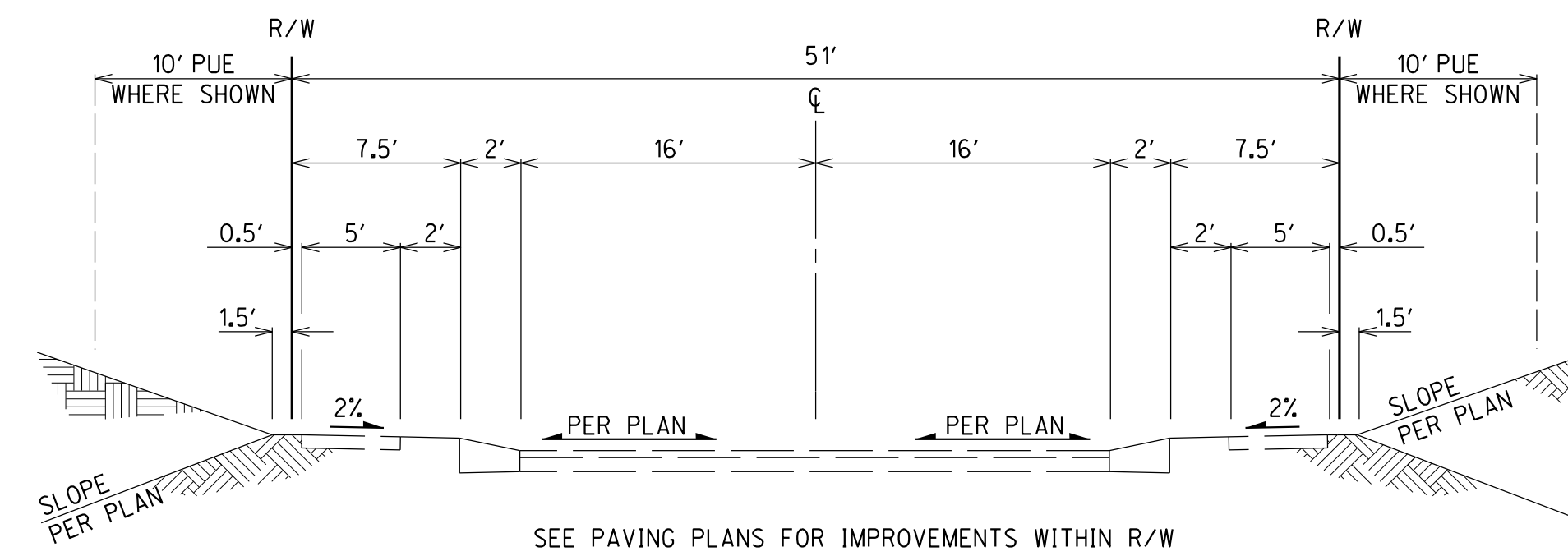
F BASIN OUTLET WEIR
NO SCALE



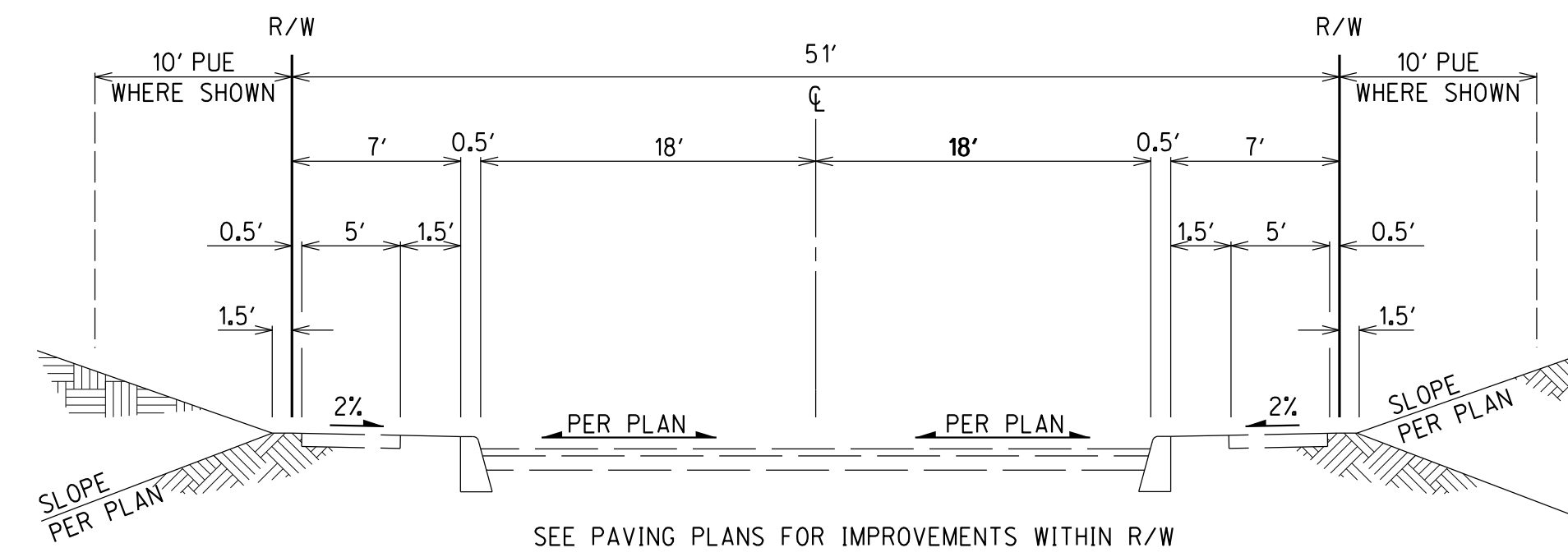
G 18" BASIN BLEED PIPE
DTL: BLEEDPIPE18 NO SCALE



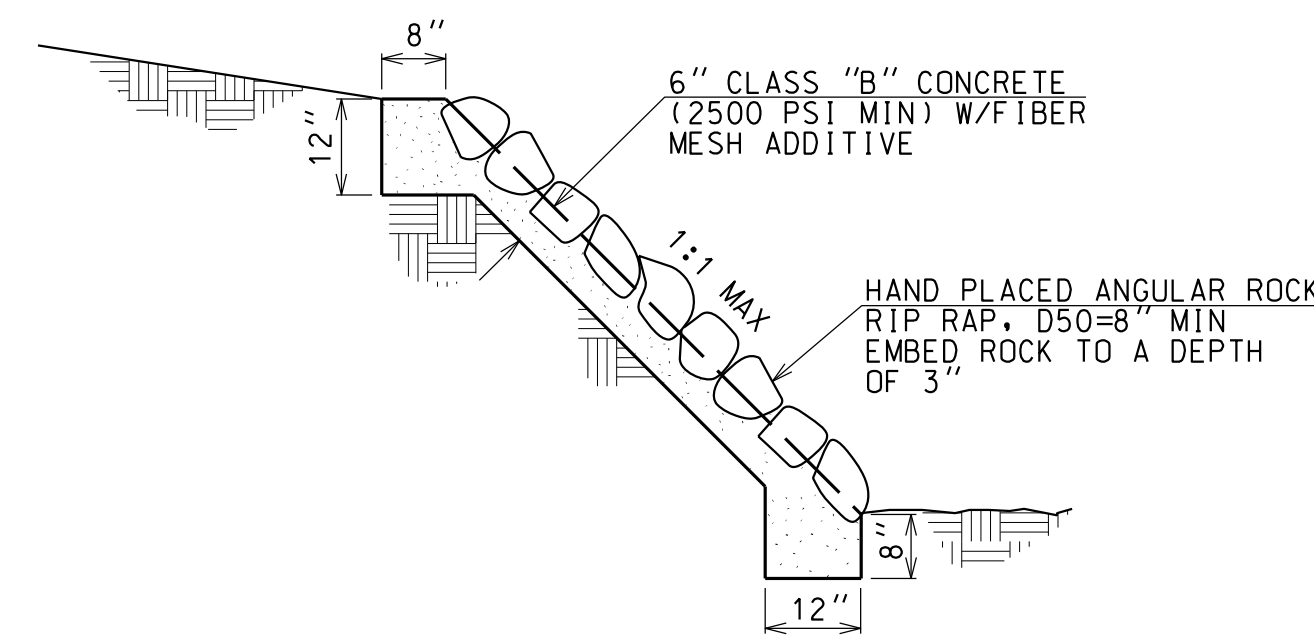
H CHANNEL BESIDE LOT 10
NO SCALE



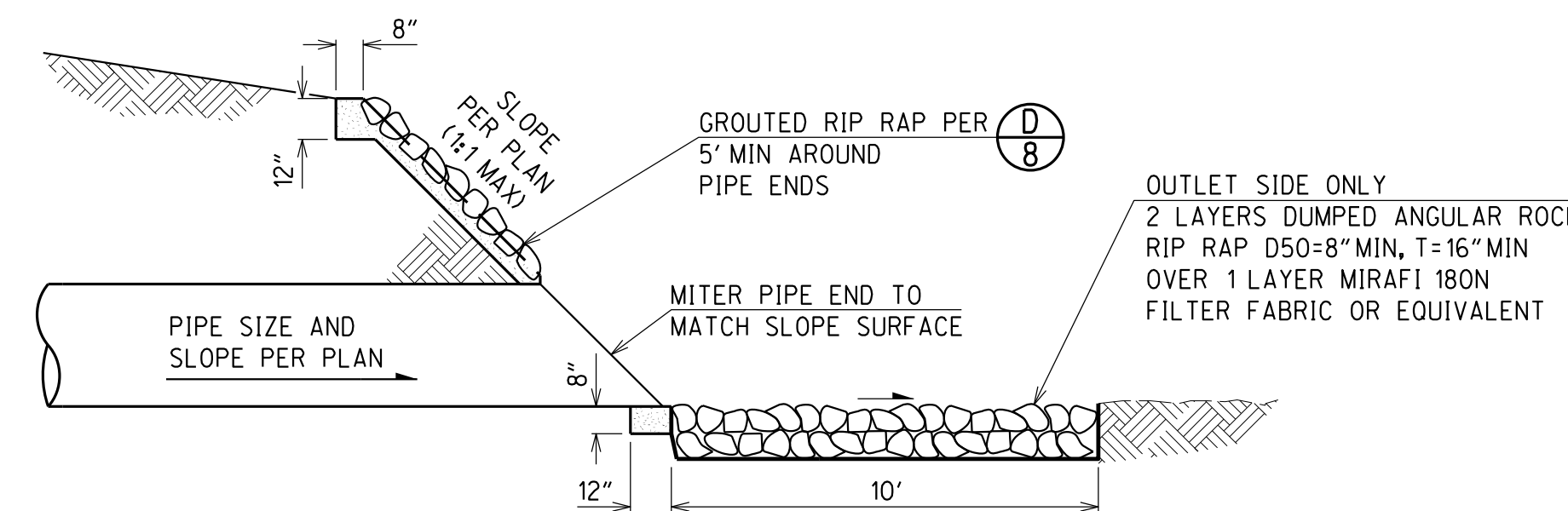
B 51' R/W STREET SECTION
DTL: COT51XSWC NO SCALE



C 51' R/W STREET SECTION
DTL: COT51XSWC NO SCALE



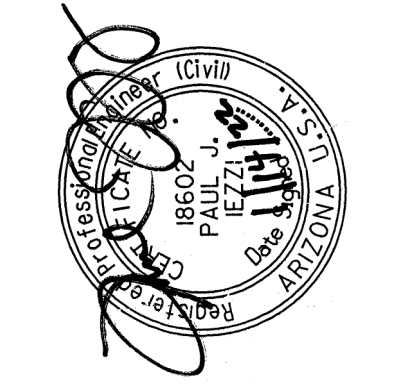
D GROUTED RIP RAP SLOPE TREATMENT
DTL: GRRSLOPES NO SCALE



E INLET & OUTLET GROUTED RIP RAP SLOPE TREATMENT
DTL: GRRSLOPES NO SCALE

RELATED CASES: C9-12-03, C15-12-01

NO.	BY	DATE	REVISION	APPR DATE



3945 EAST FORT LOWELL ROAD - SUITE 111
TUCSON, AZ 85712
520-795-1000

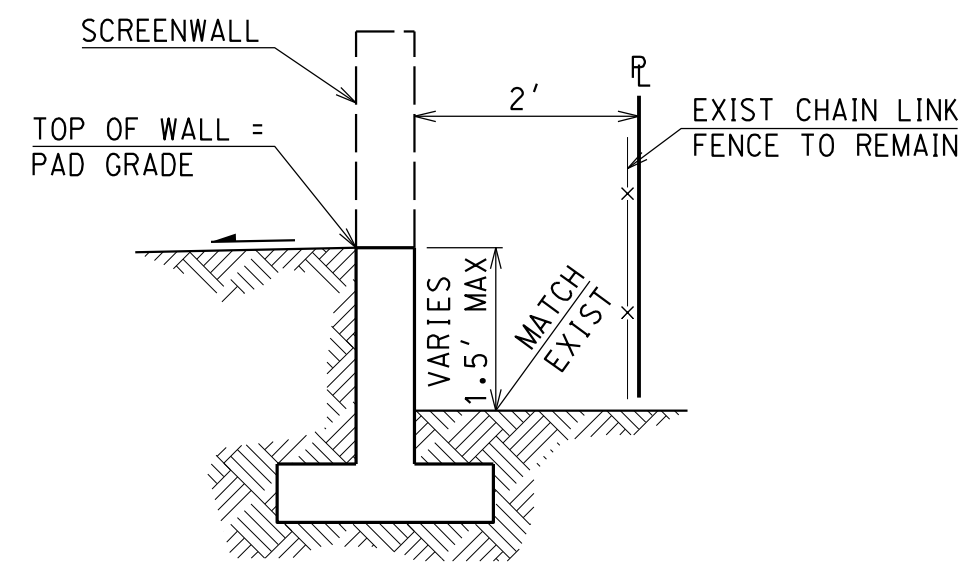
RICK
ENGINEERING COMPANY
Tucson

J-51418
J-51418
J-51418

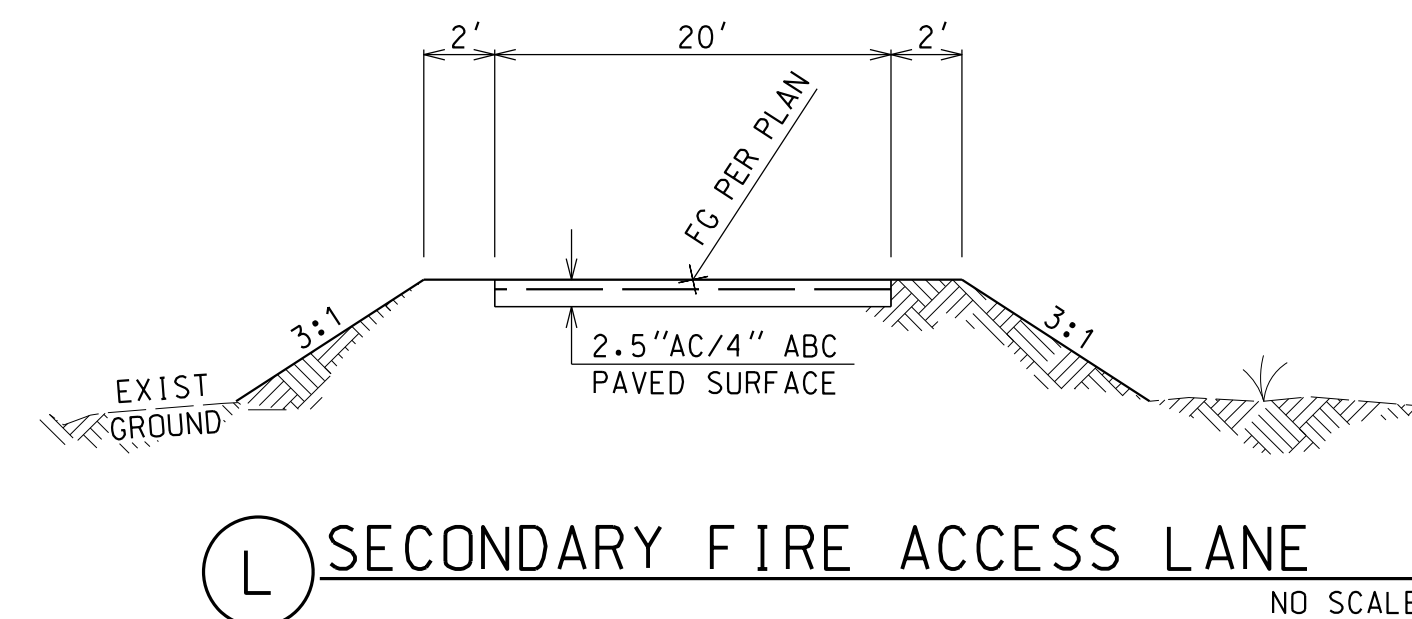
DESIGNED BY: BNC DATE: 12/21
DRAWN BY: RSM DATE: 12/21
CHECKED BY: PJJ DATE: 12/21
APPROVED BY: PJJ DATE: 12/21

DEVELOPMENT PACKAGE
THE RESERVE AT VALENCIA CROSSING
LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING, DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE, GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS)
A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH, RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

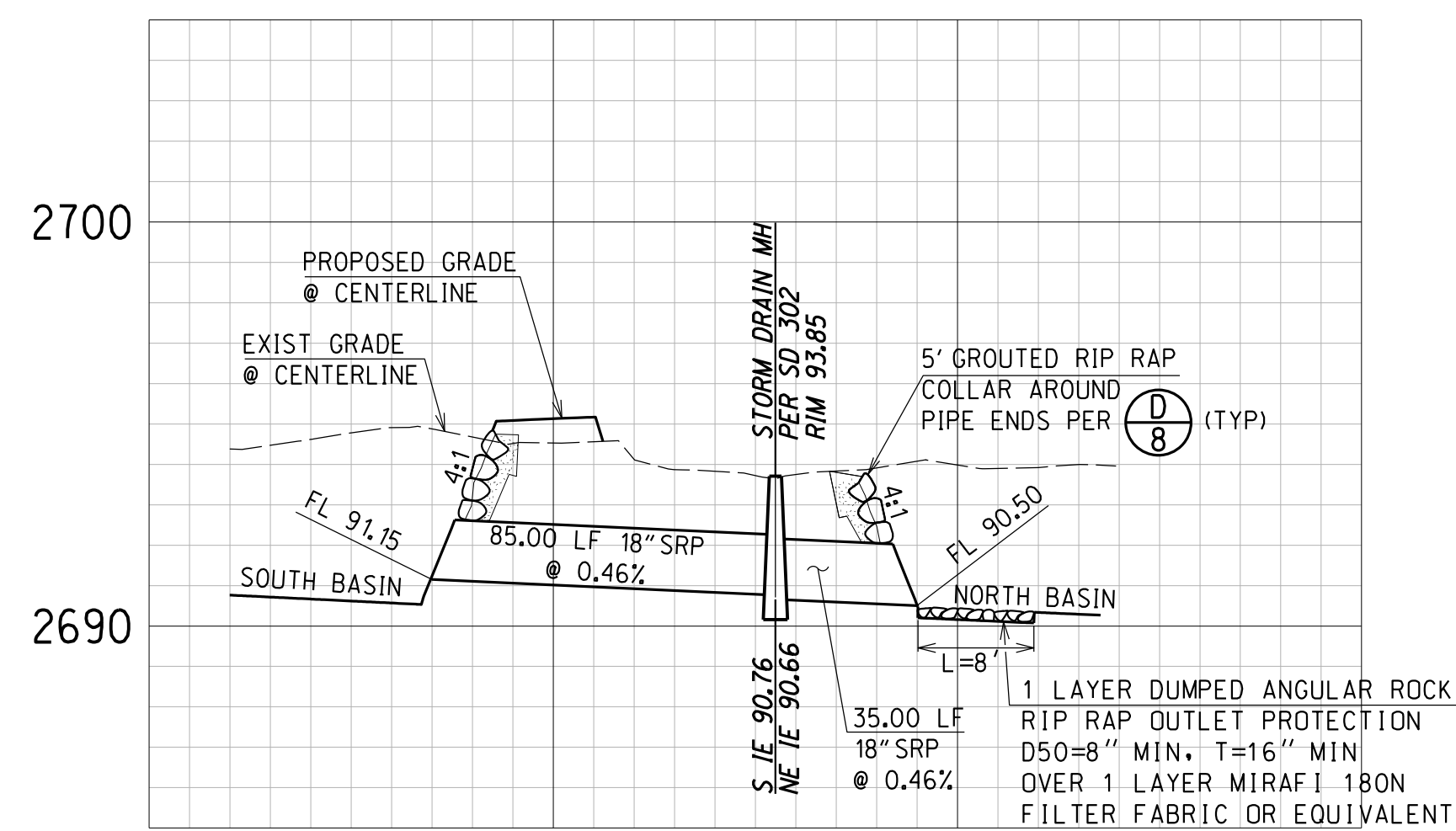
P22AD00XXX
P22WS000XX
DP22-0XXX
HORIZ : N/A
VERT : N/A
SHEET 8 OF 22



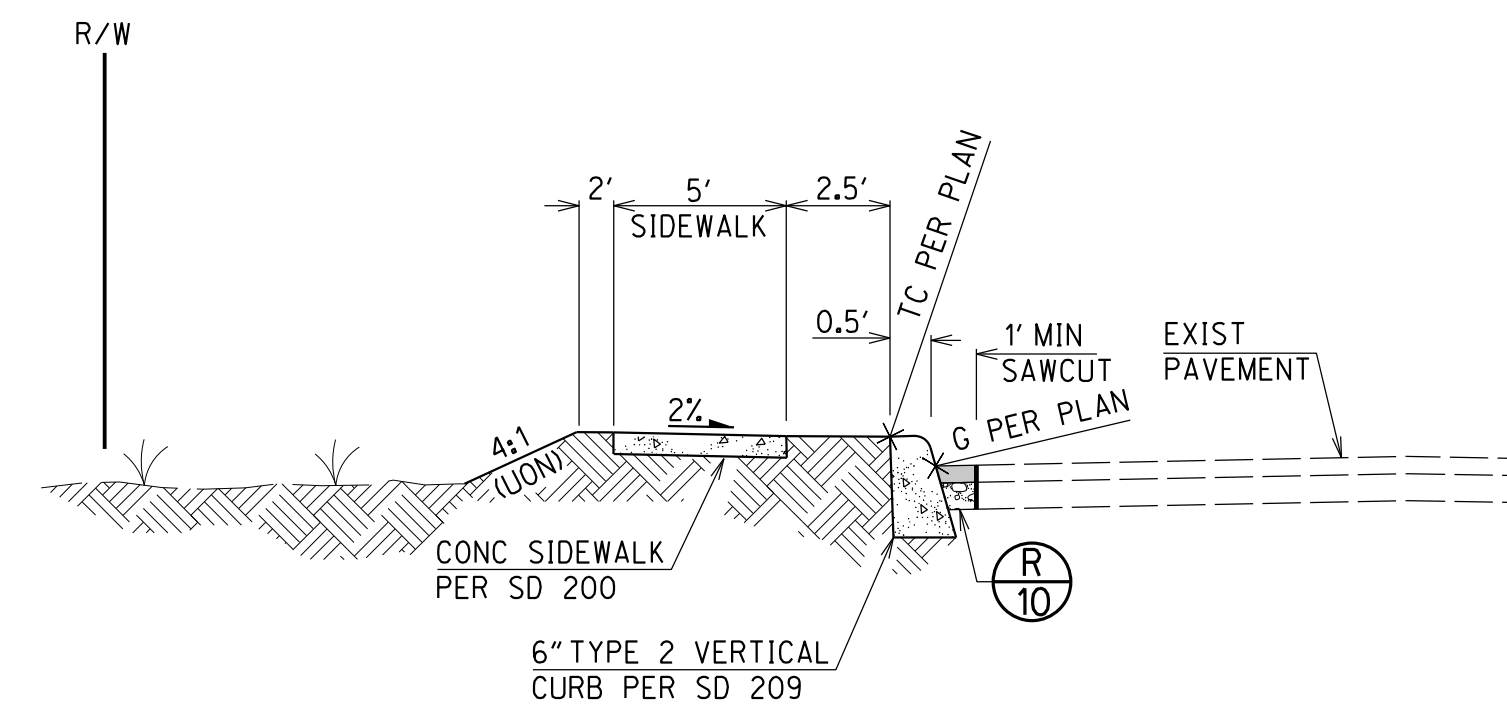
P BACK OF LOTS 27-46
NO SCALE



L SECONDARY FIRE ACCESS LANE
NO SCALE

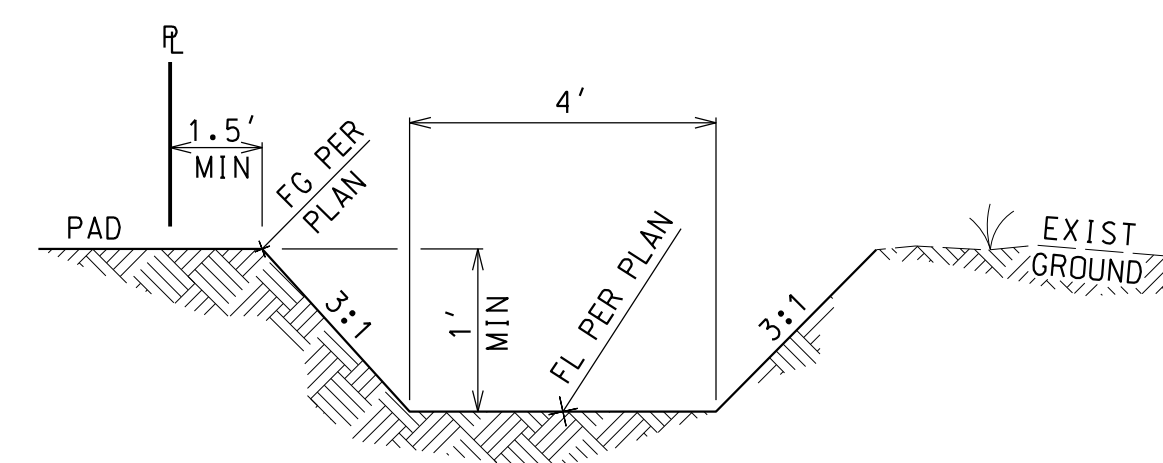


Q 18" SRP STORM DRAIN PROFILE
SDPFGRID SCALE: HORIZ 1" = 40'
VERT 1" = 4'

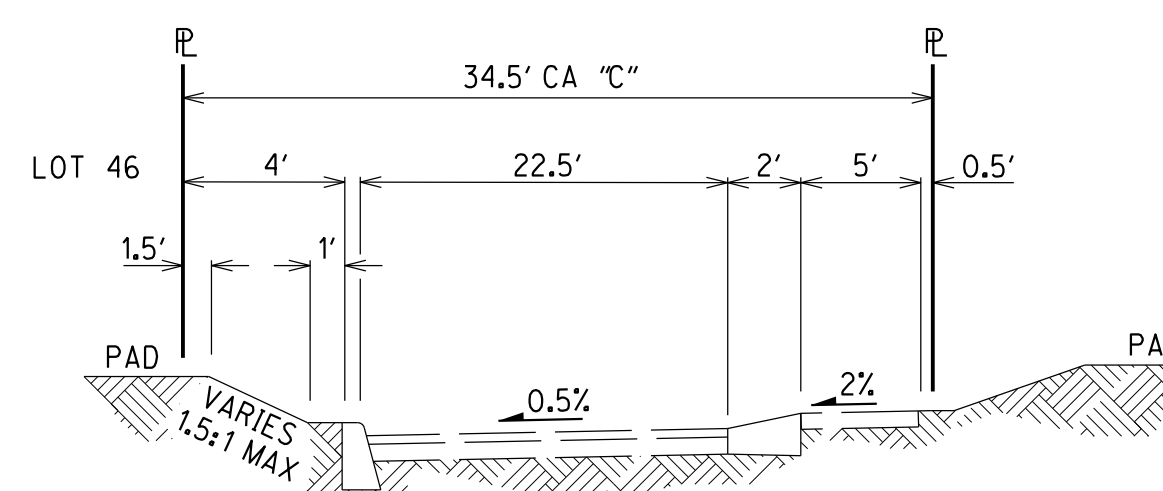


FOR REFERENCE ONLY SEE PIA PLANS FOR CONSTRUCTION

M LITTLETOWN ROAD SECTION
NO SCALE

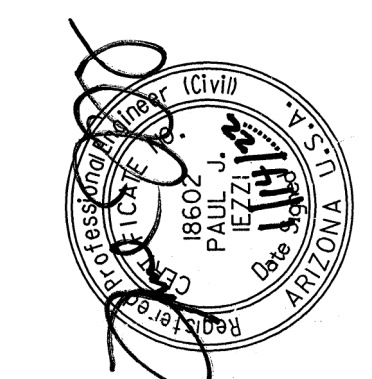


N CHANNEL BEHIND LOTS 3-9
NO SCALE



O LOTS 47-50 DRIVEWAY
NO SCALE

RELATED CASES: C9-12-03, C15-12-01



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Rick Engineering Company
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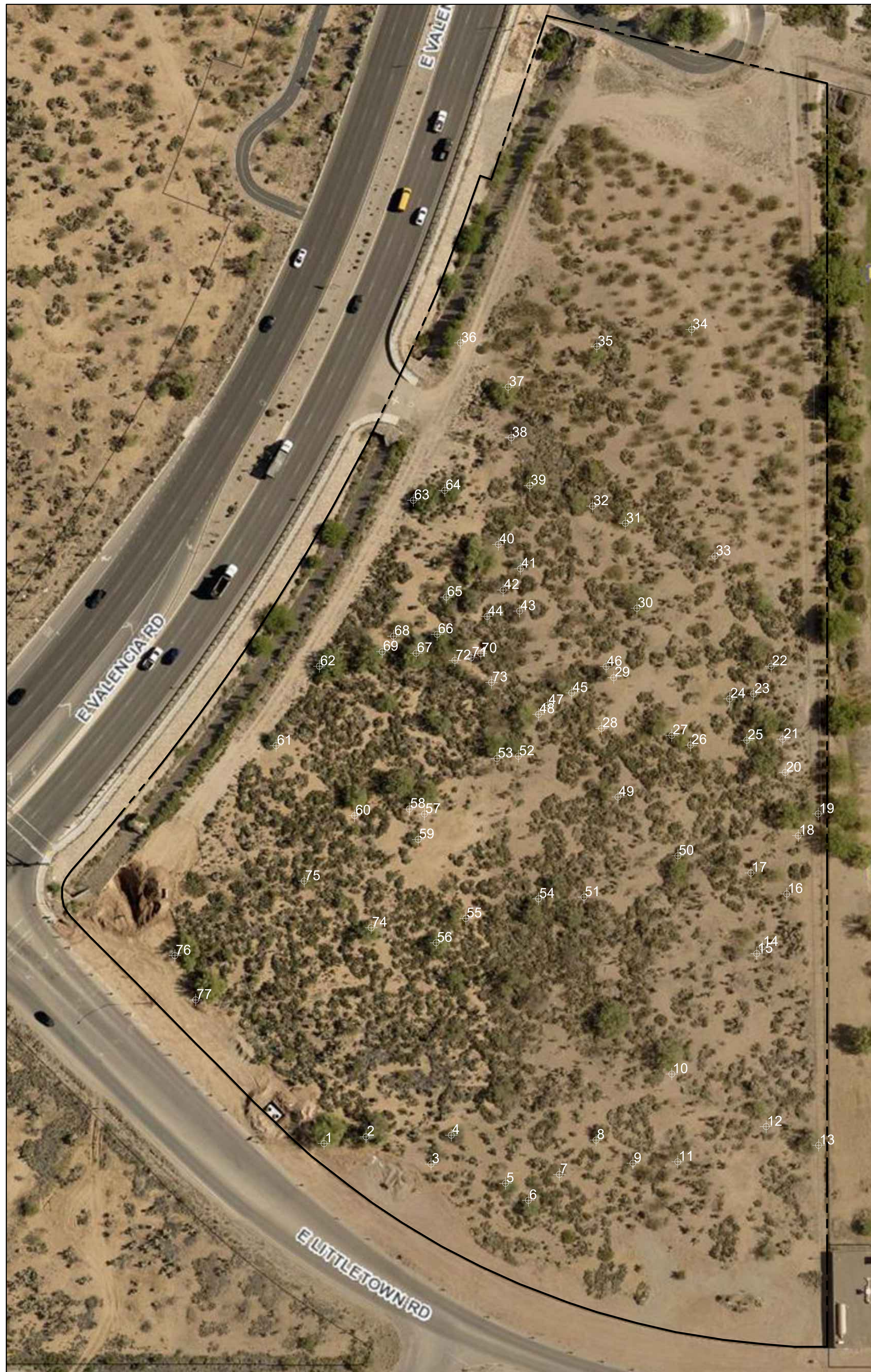
DESIGNED BY: BNC DATE: 12/21
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DEVELOPMENT PACKAGE
THE RESERVE AT VALENCIA CROSSING
LOTS 1-50 & COMMON AREAS "A" (LANDSCAPE, GRADING, DRAINAGE, UTILITIES AND ACCESS), "B-1", "B-2" (LANDSCAPE, GRADING, DRAINAGE AND UTILITIES) & "C-1" (ACCESS) A PORTION OF THE EAST HALF OF SECTION 11, TOWNSHIP 15, SOUTH, RANGE 14 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

P22AD00XXX
P22WS000XX
DP22-0XXX

HORIZ : N/A
VERT : N/A

SHEET 10 OF 22



NATIVE PLANT PRESERVATION WORKSHEET - TREES						
	BLUE PV	MESQUITE	CC ACACIA	WT ACACIA	GREY THORN	HACKBERRY
1	Number of Plants Rated Viable	6	15	3	5	13
2	Minimum # of PIP or TOS required	2	5	1	2	4
3	Proposed PIP	0	0	0	0	0
4	Minimum # of required TOS (2-3 or 0)	2	5	1	2	4
5	Total Proposed TOS	2	5	1	2	4
6	Excess plants to be TOS (5-4)	0	1	0	1	0
7	Total Plants to remain on site (3+5)	2	5	1	2	4
8	Total plants RFS (1-7)	4	10	2	3	9
9	Plants PIP x Preservation Credits					
	6"-12" (2 credits each)	0	0	0	0	0
	> 12" (4 credits each) Ironwood @ 3 credits	0	0	0	0	0
10	Mitigation requirement for TOS (Line 4)	2	5	1	2	4
11	Mitigation requirement for RFS (8 x Multiplier)	8	20	4	9	18
12	Total Mitigation Requirement (10 + 11)	10	25	5	11	22
13	Mitigation Requirement reduced by excess TOS (12-6)	10	24	5	10	22
14	Mitigation Requirement reduced by PIP Credits (13-9)	10	24	5	10	22
15	# of Plants that must be provided	10	24	5	10	22
16	Total # Plants to remain on Site (7 + 15)	12	29	6	12	26

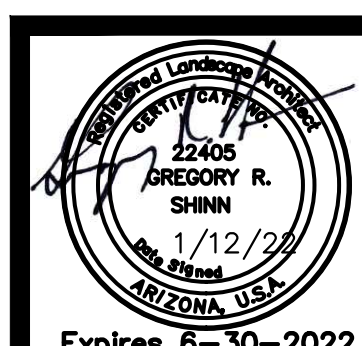
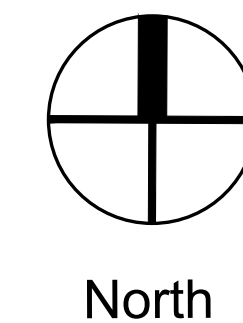
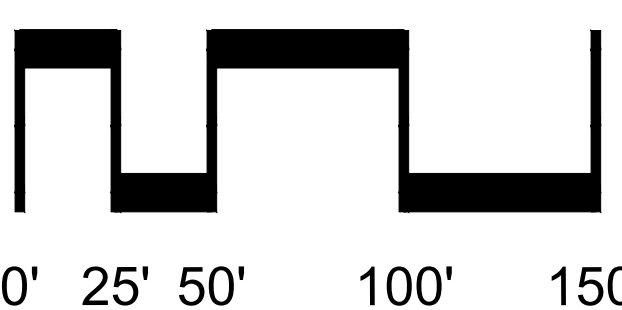
SUMMARY OF PLANT MATERIAL				
	VIABLE	PIP	TOS	RFS
Blue Palo Verde	6	0	2	4
Mesquite	15	0	5	10
Catclaw Acacia	3	0	1	2
Whitehorn Acacia	5	0	2	3
Grey Thorn	1	0	1	0
Hackberry	13	0	4	9

GENERAL NOTES

- All areas designated to be preserved as natural open space or within utility easements, shall be fenced or taped off for protection during construction. Grading shall not encroach into natural open space and within the drip line of a preserved native plant. The developer is responsible for maintaining a "no-disturbance" standard in all natural open space areas.
- Before the issuing of grading permits, all viable inventoried plants proposed for preservation-in-place, salvaged and transplanted-on-site, and removed from site, shall be tagged with their assigned numbers, and color coded as recommended by this preservation plan (white=PIP, blue=TOS, yellow=RFS).
- Any barrel cactus encountered within the limits of construction shall be transplanted within the property. Notify the project monitor of any other additional protected plants encountered during construction.
- The north side of all saguaro and barrel cacti programmed for transplanting shall be marked prior to removal to ensure proper orientation in their new location.
- Any changes in grading limits or development layout will require the submittal of a revised preservation plan for review and approval.
- Transplanted trees shall be held in a temporary nursery on site. The location shall be determined at the time of construction based on construction sequencing. This location shall be provided to the City by the project monitor. This nursery shall not be located within the scenic corridor buffer. Trees in the nursery shall be irrigated, pruned and maintained until they are moved to their final locations.
- For the duration of the development project, an approved barrier will be erected around all grading boundaries and will remain throughout the construction and development process. The natural area should also be fenced.
- Per the Native Plant Preservation Ordinance, the Owner must hire a monitor for the project. Greg Shinn, GRS Landscape Architects, LLC, 520-909-4678, can provide this monitoring but has not been hired at this point.
- Contractor shall also comply with all requirements of the Federal Endangered Species Act and the Arizona Native Plant Law.
- The Preservation Method used is the Selective Plant Preservation Method, which is based on the preservation-in-place and salvage and transplanting-on-site of specimens and the mitigation of specimens destroyed or removed from site.

PLANT INVENTORY					VIABILITY	RECOMMEND	COMMENTS
ID NO.	DESCRIPTION	SIZE	TRANSPLANT				
1	Cercidium floridum - Blue Palo Verde	12+	L	L	NV	BL, DW, RT	
2	Cercidium floridum - Blue Palo Verde	12	L	L	NV	BL, DW, RT	
3	Celtis pallida - Hackberry	8	H	M	RFS	MS, TM	
4	Prosopis velutina - Native Mesquite	10	L	L	NV	RT, TM, DW	
5	Prosopis velutina - Native Mesquite	10	L	L	NV	RT, DW	
6	Cercidium floridum - Blue Palo Verde	12	L	L	NV	RT, DW	
7	Prosopis velutina - Native Mesquite	4	L	L	NV	RT, DW	
8	Celtis pallida - Hackberry	8	M	M	RFS	TM, MS	
9	Celtis pallida - Hackberry	6	L	L	NV	RD	
10	Prosopis velutina - Native Mesquite	12+	M	L	RFS	SZ	
11	Prosopis velutina - Native Mesquite	12+	L	L	NV	DW, RT	
12	Prosopis velutina - Native Mesquite	10	L	L	NV	DW, RT, LB	
13	Cercidium floridum - Blue Palo Verde	12	L	L	NV	DW, RT	
14	Prosopis velutina - Native Mesquite	10	L	L	NV	DW, IN	
15	Prosopis velutina - Native Mesquite	10	L	L	NV	DW, IN, LE	
16	Prosopis velutina - Native Mesquite	8	L	L	NV	DW, RT	
17	Celtis pallida - Hackberry	8	M	M	TOS	TM, MS	
18	Prosopis velutina - Native Mesquite	12+	M	L	RFS	DW, SZ	
19	Prosopis velutina - Native Mesquite	4	M	M	TOS	MS	
20	Prosopis velutina - Native Mesquite	12+	L	L	NV	DW, LB	
21	Prosopis velutina - Native Mesquite	12+	M	L	RFS	DW, LB	
22	Prosopis velutina - Native Mesquite	12+	M	L	RFS	SZ	
23	Celtis pallida - Hackberry	6	M	M	RFS	DW, MS	
24	Prosopis velutina - Native Mesquite	8	L	L	NV	RT, ST	
25	Prosopis velutina - Native Mesquite	12+	L	L	NV	RT, IN, DW	
26	Acacia greggii - Catclaw Acacia	10	M	M	RFS	MS, LB, DW	
27	Prosopis velutina - Native Mesquite	12	M	L	RFS	SZ, LB, DW	
28	Cercidium floridum - Blue Palo Verde	4	M	M	TOS	MS, LB	
29	Celtis pallida - Hackberry	8	M	M	RFS	MS, TM	
30	Prosopis velutina - Native Mesquite	12+	M	L	RFS	SZ, LB	
31	Cercidium floridum - Blue Palo Verde	8	M	M	TOS	LE, VMS	
32	Prosopis velutina - Native Mesquite	10	L	L	NV	DW, IN	
33	Prosopis velutina - Native Mesquite	10	M	L	TOS	DW, LB	
34	Prosopis velutina - Native Mesquite	12	L	L	NV	DW, IN, RT	
35	Prosopis velutina - Native Mesquite	10	L	L	NV	DW, IN, RT	
36	Prosopis velutina - Native Mesquite	10	H	L	RFS	SZ	
37	Prosopis velutina - Native Mesquite	10	H	L	TOS	SZ, TM	
38	Celtis pallida - Hackberry	10	M	L	RFS	SZ, TM	
39	Prosopis velutina - Native Mesquite	12+	L	L	NV	RT, DW	
40	Prosopis velutina - Native Mesquite	18+	L	L	NV	BL, DW, RT	
41	Zizyphus obtusifolia - Gray Thorn	10	H	H	TOS	PS	
42	Celtis pallida - Hackberry	8	M	L	RFS	TM	
43	Celtis pallida - Hackberry	8	M	M	RFS	TM, VMS	
44	Celtis pallida - Hackberry	12	M	L	RFS	SZ, TM	
45	Cercidium floridum - Blue Palo Verde	12+	L	L	NV	RT	
46	Celtis pallida - Hackberry	8	M	M	TOS	MS	
47	Acacia constricta - White Thorn Acacia	6	L	L	NV	TM, RT	
48	Cercidium floridum - Blue Palo Verde	8	M	L	RFS	LB, DW	
49	Prosopis velutina - Native Mesquite	12+	L	L	NV	IN, DW, RT	
50	Prosopis velutina - Native Mesquite	10	L	L	NV	IN, DW, RT	
51	Prosopis velutina - Native Mesquite	10	L	L	NV	IN, DW, RT	
52	Prosopis velutina - Native Mesquite	12	M	L	TOS	LB, DW	
53	Prosopis velutina - Native Mesquite	10	L	L	NV	DY	
54	Prosopis velutina - Native Mesquite	12+	L	L	NV	DW, LB	
55	Prosopis velutina - Native Mesquite	8	L	L	NV	DW, LB, RT	
56	Prosopis velutina - Native Mesquite	8	L	L	NV	DY	
57	Prosopis velutina - Native Mesquite	10	L	L	NV	DY	
58	Prosopis velutina - Native Mesquite	12+	M	L	RFS	SZ	
59	Acacia greggii - Catclaw Acacia	8	M	M	TOS	VMS, LB	
60	Cercidium floridum - Blue Palo Verde	10	M	L	RFS	SZ, LB	
61	Celtis pallida - Hackberry	8	M	M	TOS	VMS, TM	
62	Prosopis velutina - Native Mesquite	12+	M	L	RFS	SZ, LB	
63	Prosopis velutina - Native Mesquite	12+	M	L	RFS	SZ, LB	
64	Prosopis velutina - Native Mesquite	12	L	L	NV	DW, LB, RD	
65	Acacia constricta - White Thorn Acacia	6	M	L	RFS	DW, LB, TM	
66	Acacia constricta - White Thorn Acacia	6	M	M	TOS	VMS, DW	
67	Cercidium floridum - Blue Palo Verde	10	M	L	RFS	LB, DW	
68	Acacia constricta - White Thorn Acacia	8	M	M	TOS	VMS, TM	
69	Prosopis velutina - Native Mesquite	12	L	L	NV	DW, RT	
70	Celtis pallida - Hackberry	8	M	M	TOS	MS	
71	Acacia constricta - White Thorn Acacia	8	M	L	RFS	TM	
72	Acacia constricta - White Thorn Acacia	8	M	L	RFS	LB, SZ	
73	Celtis pallida - Hackberry	8	M	M	RFS	VMS, SZ	
74	Prosopis velutina - Native Mesquite	10	M	M	TOS	DW, VMS	
75	Acacia greggii - Catclaw Acacia	8	M	L	RFS	DW, LB	
76	Cercidium floridum - Blue Palo Verde	12+	L	L	NV	DW, BL	
77	Cercidium floridum - Blue Palo Verde	12+	M	L	RFS	SZ	

Scale: 1" = 50'



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Design Review
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 Construction Set
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N-1
11 of 22

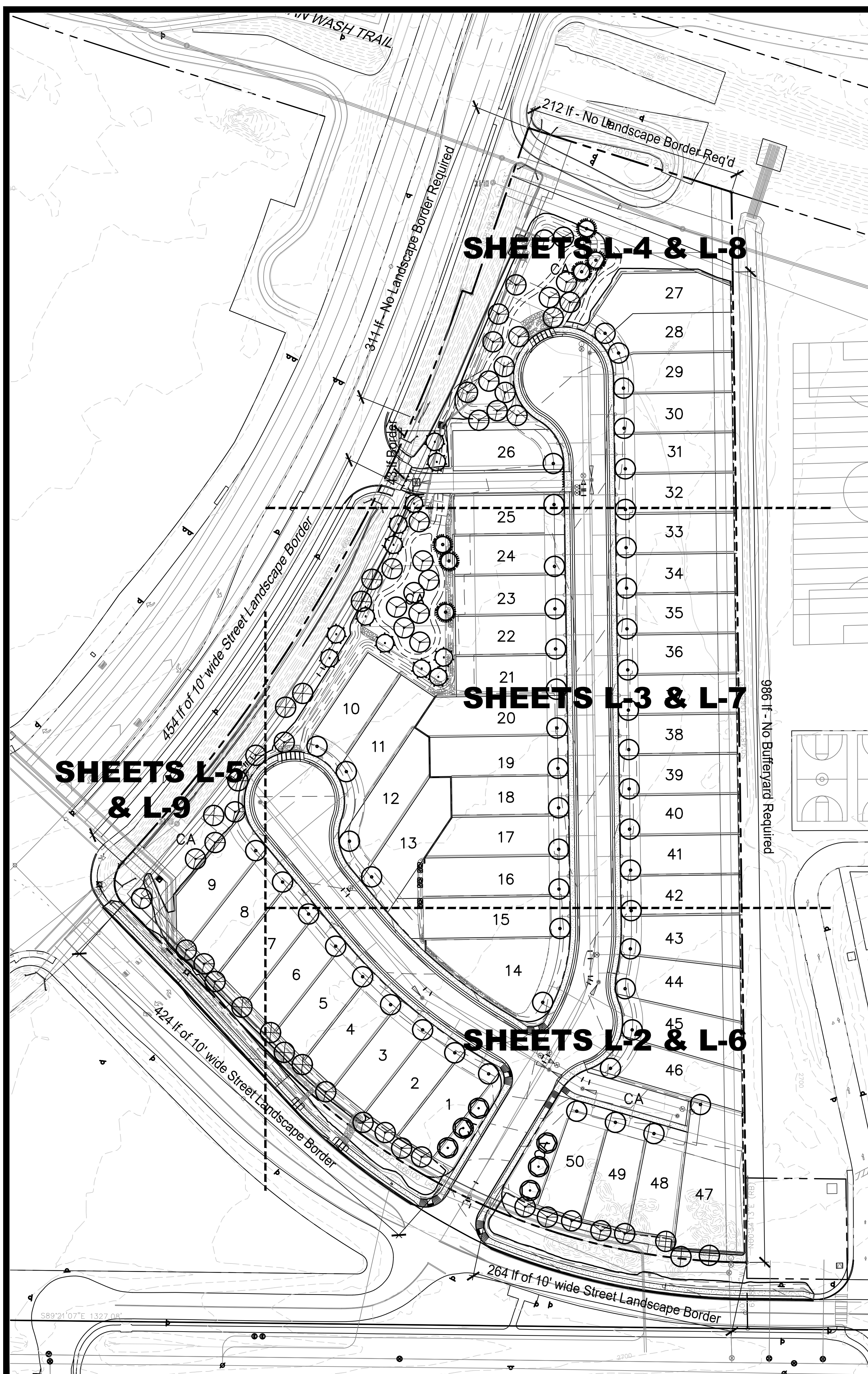
NATIVE PLANT PRESERVATION PLAN

The Reserve at Valencia Crossing

Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)

A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ

DP22-xxx



LANDSCAPE LEGEND

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

TREES	SIZE	QTY
Acacia constricta Whitethorn Acacia	15 Gal TOS	10 2
Acacia greggii Catalaw Acacia	15 Gal TOS	5 1
Cercidium floridum Blue Palo Verde	15 Gal TOS	10 2
Cercidium sp. 'Desert Museum' Desert Museum Palo Verde	15 Gal	6
Prosopis velutina Native Mesquite	15 Gal TOS	41 5
Individual Lot Tree (To be determined at time of planting)	15 Gal	50
SHRUBS / ACCENTS	SIZE	QTY
Celtis pallida Hackberry	5 Gal TOS	22 4
Fouquieria splendens Ocotillo	6 Cane	19
Zizyphus obtusifolia Gray Thorn	TOS	1
Buddleia marubifolia Butterfly Bush	5 Gal	48
Calliandra eriophylla Fairy Duster	1 Gal	72
Leucophyllum candidum 'Thunder Cloud' Thunder Cloud Sage	5 Gal	35
Leucophyllum laevigatum Chihuahuan Sage	5 Gal	67
Opuntia santa-rita Purple Prickly Pear	5 Gal	18
Lantana spp - Trailing Lantana Gold & Purple, Mixed	1 Gal	86
GROUND COVER / HARDSCAPE		
1/2" - 3/4" Screened Rock Apache Brown - 2" min thickness	SR	

LANDSCAPE NOTES

- All bare dirt areas to be covered with rock mulch as indicated in Plant Legend, including areas within the right-of-way.
- All plants shall be irrigated with a permanent underground irrigation system -- see sheets L-6 through L-9.
- The Property Owner shall be responsible for maintenance of the required landscape and irrigation system in perpetuity.
- Materials within the sight visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
- Landscape areas shall be depressed 6" for water harvesting.

MAINTENANCE SCHEDULE

Per COT Maintenance Standards UDC 7.6.8:

- Any plant material in areas of required landscaping that does not survive must be replaced with an equivalent size and species within thirty (30) days.
- Plant material must be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant, except as necessary to achieve height clearance for visibility and pedestrian passage or to achieve a continuous opaque hedge if required. Pruning plant material into balls or other geometric shapes is discouraged.
- Clipping and pruning of trees is required to allow maximum shading while preserving surveillance opportunities and preventing obstructive overhang into walks, curb areas, drives and line of sight triangles as required by the Unified Development Code.
- All dead or removed plant material must be replaced with plant material acceptable under the standards of the xeriscape landscaping standards. Replacement material must be a minimum fifteen (15) gallon size for trees and five (5) gallon size for shrubs.
- Regular landscape maintenance shall include:
 - Irrigation System maintenance shall include, but not be limited to checking emitters, checking and repairing leaks, cleaning filters, replacing malfunctioning equipment and other activities as necessary for the proper and water efficient operation of the system.
 - Weeding and Litter Removal shall include removal of weeds, preferably by mechanical means and not by inorganic chemicals, removing leaf litter, trash and other accumulated material. This operation shall be performed as necessary to maintain a weed free landscape. It will require more frequency during monsoon and winter rainy seasons.
 - Turf Maintenance shall include, but not be limited to mowing, weed control, irrigating, aerating and dethatching as well as fertilizing and other activities necessary for the healthy appearance and growth of lawn areas.
- Exterior improvements, such as benches, walls or ramadas, must be of durable materials appropriate to the desert climate. Material with integral coloring or stucco is preferred for seating fixtures and other permanent improvements.
- Inert materials used in landscape areas must be of a nature to withstand the extremes of the desert climate and minimize heat gain or reflected heat.
- Inert materials must be replaced as needed due to displacement or erosion.
- Inert materials must be used in inaccessible, narrow or hard to maintain sections of the planting areas.
- Landscape areas must be kept free of trash, weeds, debris and dead plant material and must be maintained in a clean and neat fashion.
- Use of river rock is discouraged adjacent to building windows.
- Substantial modifications, as determined by the PDSD Director, and/or removal of plant materials or other landscape elements shall require review and approval of a revised landscape plan by PDSD.
- The removal or destruction of landscape material that has been installed according to an approved landscape plan and not replaced constitutes a violation of the UDC.
- Minor modifications of the landscaping occurring as a result of routine maintenance, necessary replacement of elements because of damage or disease, or other causes is not subject to review by PDSD.
- Paint and stucco must be renewed on the surfaces of fences and walls as needed.
- Wooden slats in chain link fences must be replaced as needed to retain the opacity of the screen.
- Any screening device that has deteriorated to the point where it does not serve as a screen must be replaced by the property owner. Vegetation used to meet the screening standards that has been growing for more than two years may only be replaced with vegetation meeting the screening size at the time of replacement. Replacement can be with another option for screening, such as a fence or a wall, in order to achieve an immediate screen. This standard does not apply to the occasional replacement of single plants within a vegetative screen.
- Automatic Irrigation Controllers are recommended to be reset a minimum of four times a year (spring, summer, fall and winter) to adjust for plant water requirements that vary according to the season.
- Whenever possible, repair of irrigation equipment must be done with the originally specified materials or their equivalent.

LANDSCAPE BORDERS

Border Location	Border Type	Width	Length	Trees Required	Trees Provided	Total Area	Required Plant Coverage	Provided Plant Coverage	Screening
Valencia Road	Street	10	497	15.06	16	4,970	2,485	2,493.95	5' High Lot Walls
Littletown Road	Street	10	688	20.85	21	6,880	3,440	3,446.94	5' High Lot Walls

LANDSCAPE BORDER PLANT COVERAGE CALCULATIONS

Border Location - Valencia Road

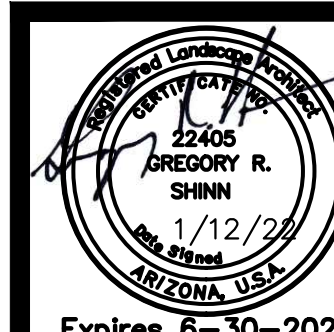
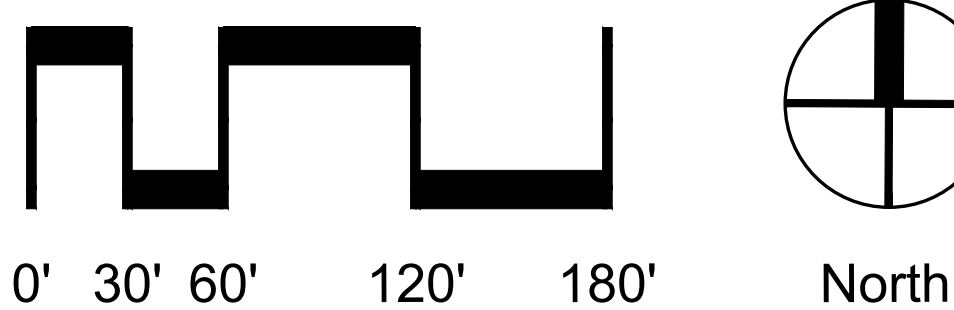
Species	Quantity	Radius	Area
Ocotillo	9	4.0	452.16
Hackberry	5	3.0	141.30
Gray Thorn	1	3.0	28.26
Chihuahuan Sage	24	2.5	471.00
Butterfly Bush	17	2.5	333.63
Thunder Cloud Sage	15	2.0	188.40
Purple Prickly Pear	6	2.0	75.36
Fairy Duster	31	2.0	389.36
Trailing Lantana	33	2.0	414.48
TOTAL PLANT COVERAGE			2,493.95

LANDSCAPE BORDER PLANT COVERAGE CALCULATIONS

Border Location - Littletown Road

Species	Quantity	Radius	Area
Ocotillo	8	4.0	401.92
Hackberry	10	3.0	282.60
Chihuahuan Sage	40	2.5	785.00
Butterfly Bush	31	2.5	608.38
Thunder Cloud Sage	8	2.0	100.48
Purple Prickly Pear	12	2.0	150.72
Fairy Duster	37	2.0	464.72
Trailing Lantana	52	2.0	653.12

Scale: 1" = 60'



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Tucson, AZ 85739
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gregs@grslandscapearchitects.com

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Checked by: GRS

Design Review
 Construction Documents
 Agency Submittal
 Construction Set
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DP22-xxx

LANDSCAPE PLAN

The Reserve at Valencia Crossing

Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)

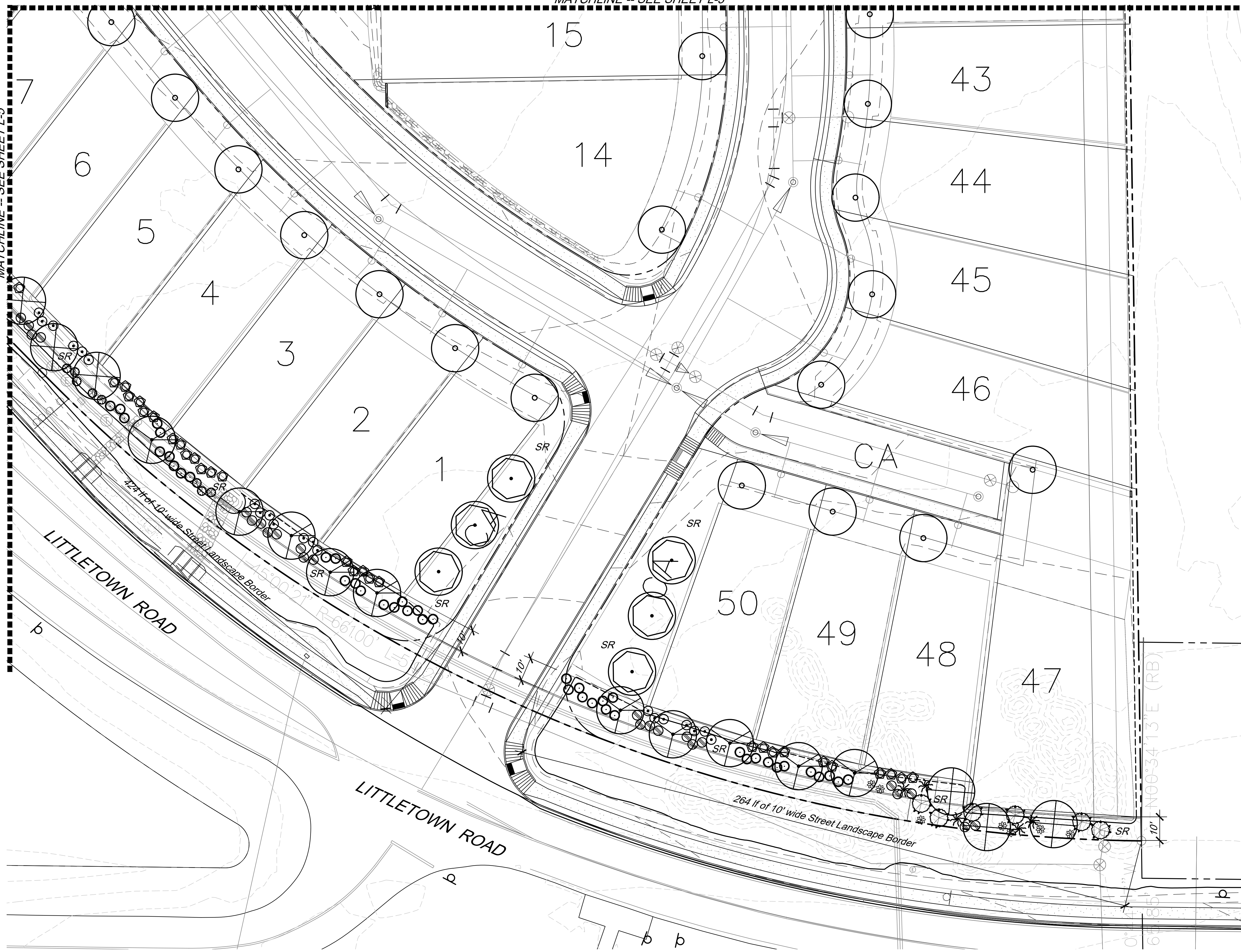
A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ

L-1

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MATCHLINE -- SEE SHEET L-3

MATCHLINE -- SEE SHEET L-5



LANDSCAPE LEGEND

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

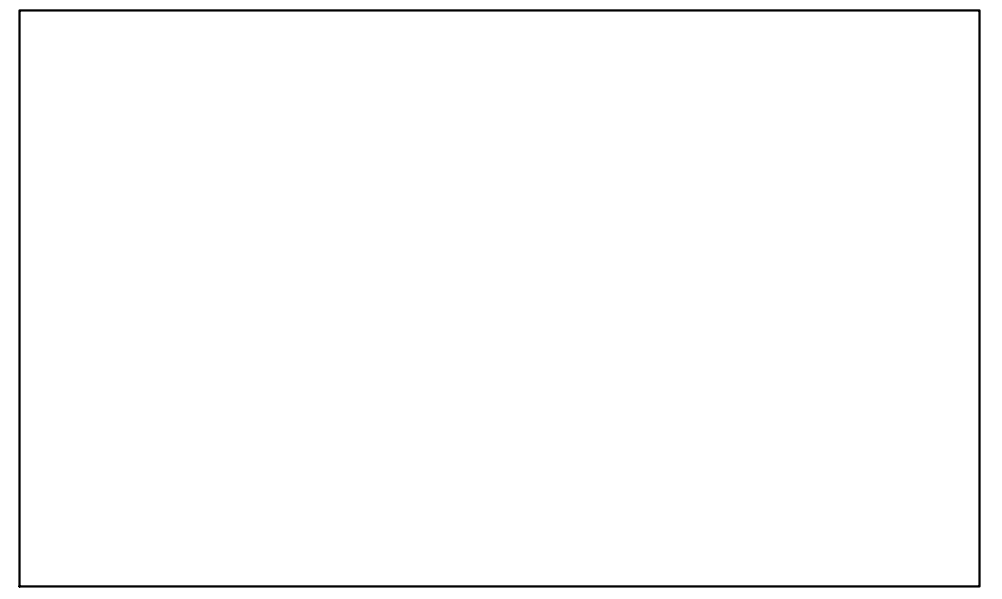
TREES	SIZE	QTY
Acacia constricta Whitethorn Acacia	15 Gal TOS	10 2
Acacia greggii Catclaw Acacia	15 Gal TOS	5 1
Cercidium floridum Blue Palo Verde	15 Gal TOS	10 2
Cercidium sp. 'Desert Museum' Desert Museum Palo Verde	15 Gal	6
Prosopis velutina Native Mesquite	15 Gal TOS	41 5
Individual Lot Tree (To be determined at time of planting)	15 Gal	50
SHRUBS / ACCENTS	SIZE	QTY
Celtis pallida Hackberry	5 Gal TOS	22 4
Fouquieria splendens Ocotillo	6 Cane	19
Zizyphus obtusifolia Gray Thorn	TOS	1
Buddleia marrubifolia Butterfly Bush	5 Gal	48
Calliandra eriophylla Fairy Duster	1 Gal	72
Leucophyllum candidum 'Thunder Cloud' Thunder Cloud Sage	5 Gal	35
Leucophyllum laevigatum Chihuahuan Sage	5 Gal	67
Opuntia santa-rita Tubac Purple Prickly Pear	5 Gal	18
Lantana spp - Trailing Lantana Gold & Purple, Mixed	1 Gal	86

GROUND COVER / HARDSCAPE

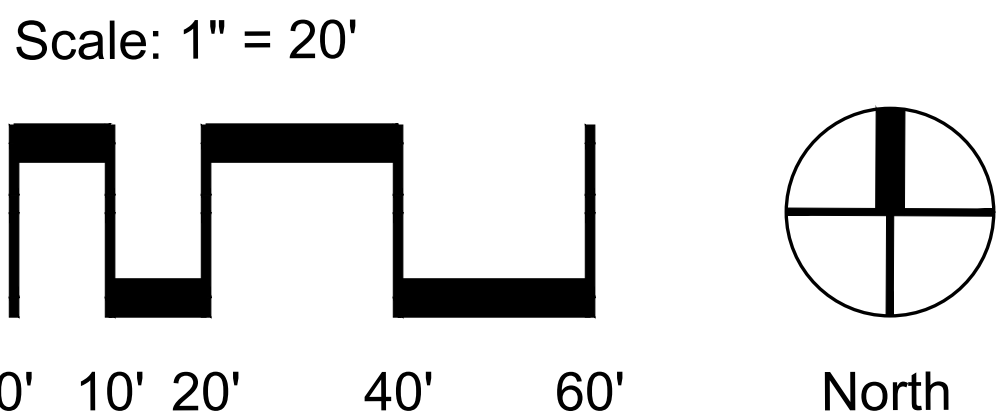
SR	1/2" - 3/4" Screened Rock Apache Brown - 2" min thickness
----	--

LANDSCAPE NOTES

- All bare dirt areas to be covered with rock mulch as indicated in Plant Legend, including areas within the right-of-way.
- All plants shall be irrigated with a permanent underground irrigation system -- see sheets L-6 through L-9.
- The Property Owner shall be responsible for maintenance of the required landscape and irrigation system in perpetuity.
- Materials within the sight visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
- Landscape areas shall be depressed 6" for water harvesting.



DP22-xxx



- NOTES:**
- Trees on individual lots can be relocated within each lot based on driveway placement.
 - Trees within lots to be irrigated from individual house meter.



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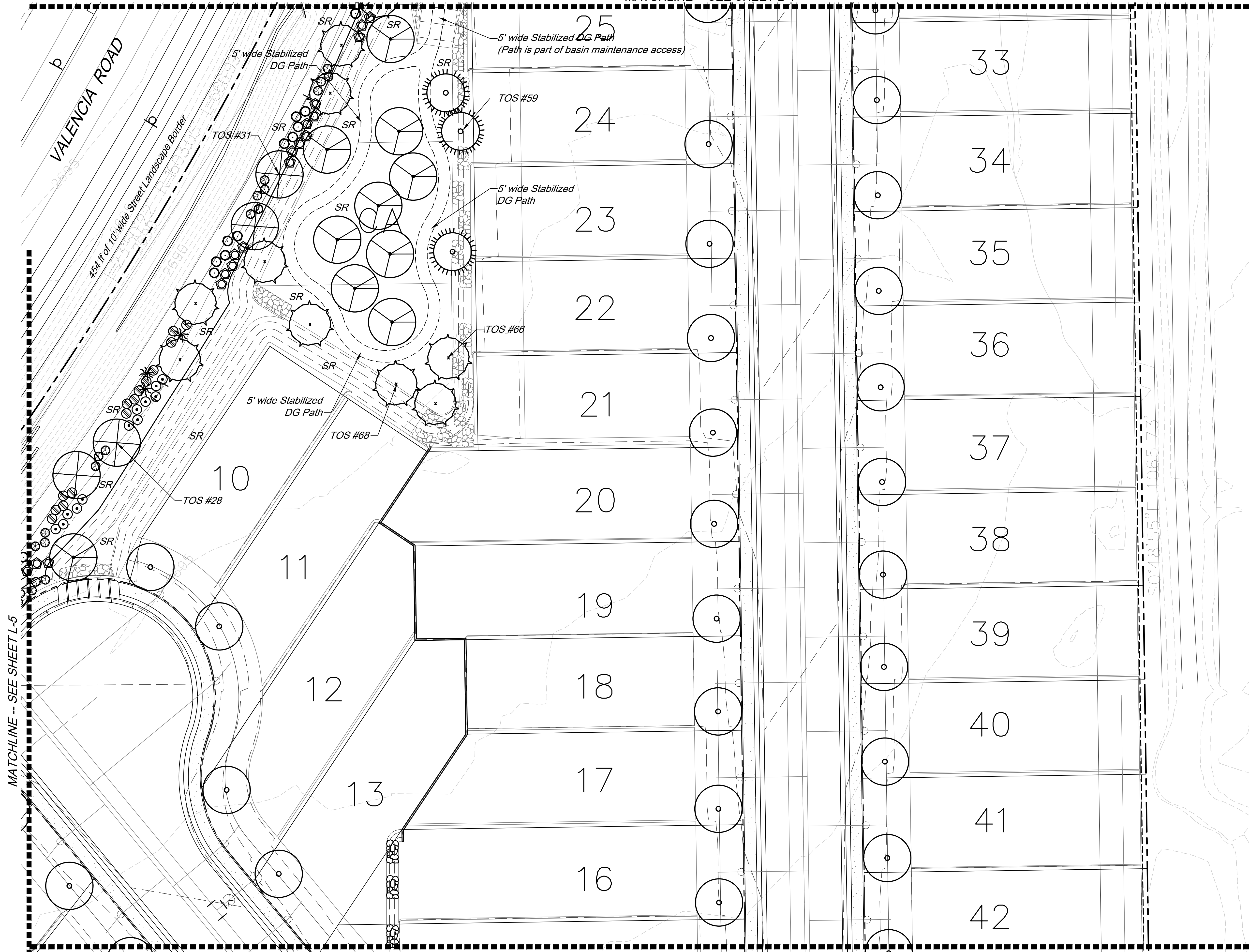
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Design Review
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 Construction Set
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L-2
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LANDSCAPE PLAN
The Reserve at Valencia Crossing
Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)
A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ

MATCHLINE -- SEE SHEET L-4



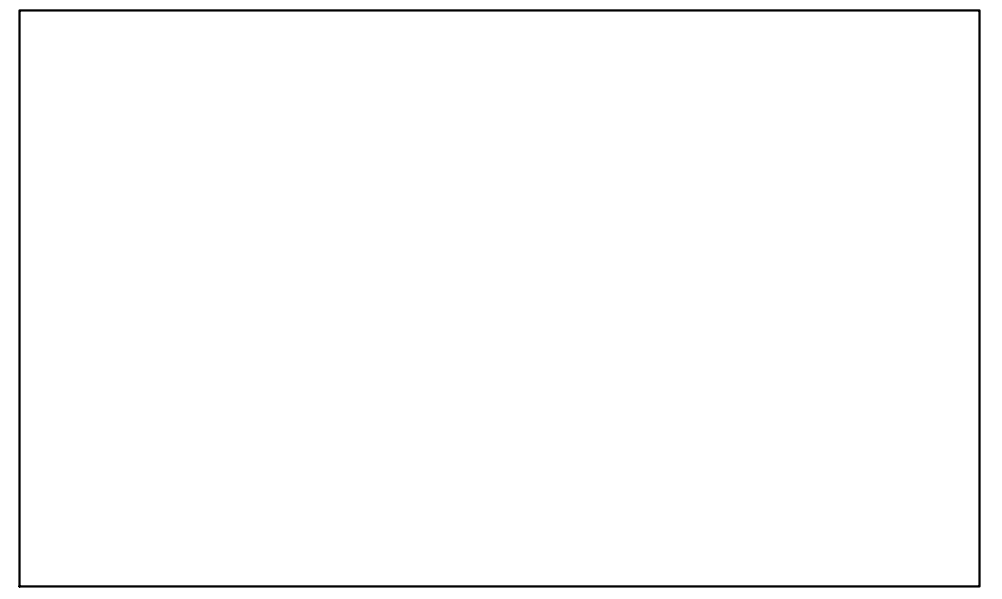
LANDSCAPE LEGEND

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

TREES	SIZE	QTY
Acacia constricta Whitethorn Acacia	15 Gal TOS	10 2
Acacia greggii Catclaw Acacia	15 Gal TOS	5 1
Cercidium floridum Blue Palo Verde	15 Gal TOS	10 2
Cercidium sp. 'Desert Museum' Desert Museum Palo Verde	15 Gal	6
Prosopis velutina Native Mesquite	15 Gal TOS	41 5
Individual Lot Tree (To be determined at time of planting)	15 Gal	50
SHRUBS / ACCENTS	SIZE	QTY
Celtis pallida Hackberry	5 Gal TOS	22 4
Fouquieria splendens Ocotillo	6 Cane	19
Zizyphus obtusifolia Gray Thorn	TOS	1
Buddleia marrubifolia Butterfly Bush	5 Gal	48
Calliandra eriophylla Fairy Duster	1 Gal	72
Leucophyllum candidum 'Thunder Cloud' Thunder Cloud Sage	5 Gal	35
Leucophyllum laevigatum Chihuahuan Sage	5 Gal	67
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Lantana spp - Trailing Lantana Gold & Purple, Mixed	1 Gal	86
GROUND COVER / HARDSCAPE		
SR 1/2" - 3/4" Screened Rock Apache Brown - 2" min thickness		

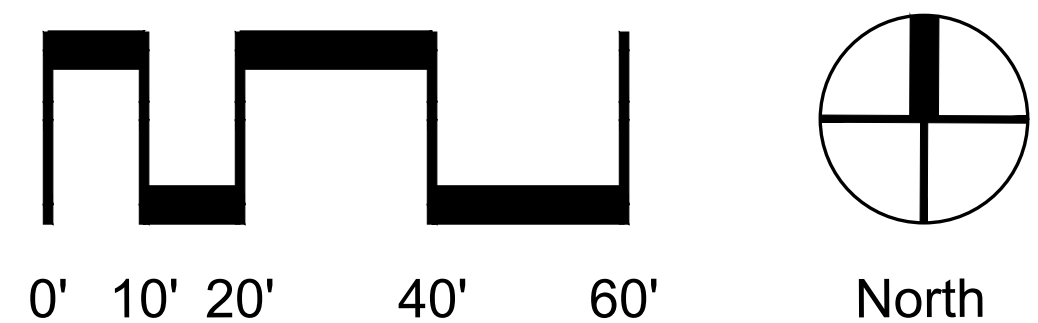
LANDSCAPE NOTES

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- Landscape areas shall be depressed 6" for water harvesting.



DP22-xxx

Scale: 1" = 20'



MATCHLINE -- SEE SHEET L-2

- NOTES:
- Trees on individual lots can be relocated within each lot based on driveway placement.
 - Trees within lots to be irrigated from individual house meter.

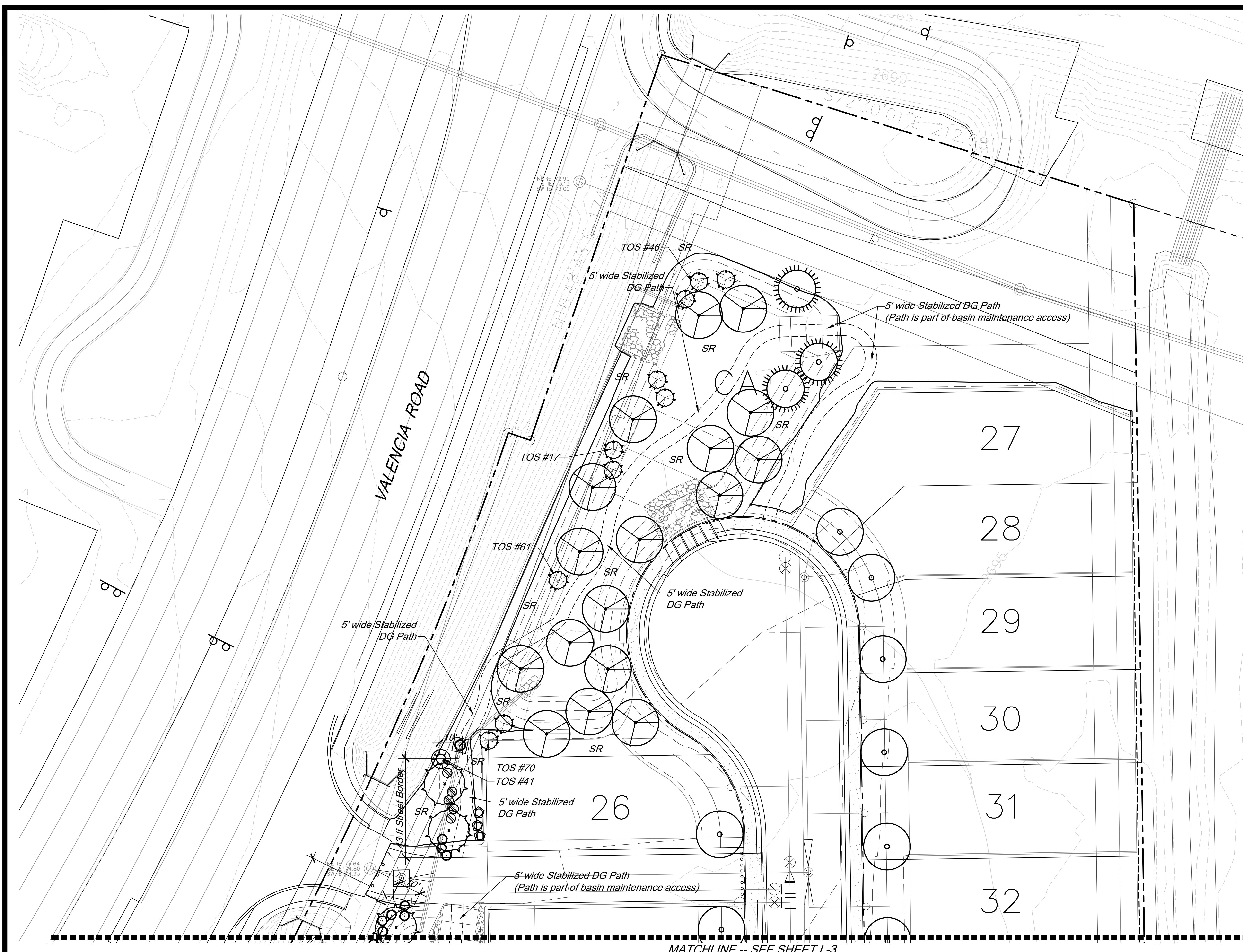


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L-3
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LANDSCAPE PLAN
The Reserve at Valencia Crossing
 Lots 1-50 & Common Areas "A-1"- "A-X" (Landscape, Grading, Drainage and Utilities), "B-1"- "B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)
 A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ



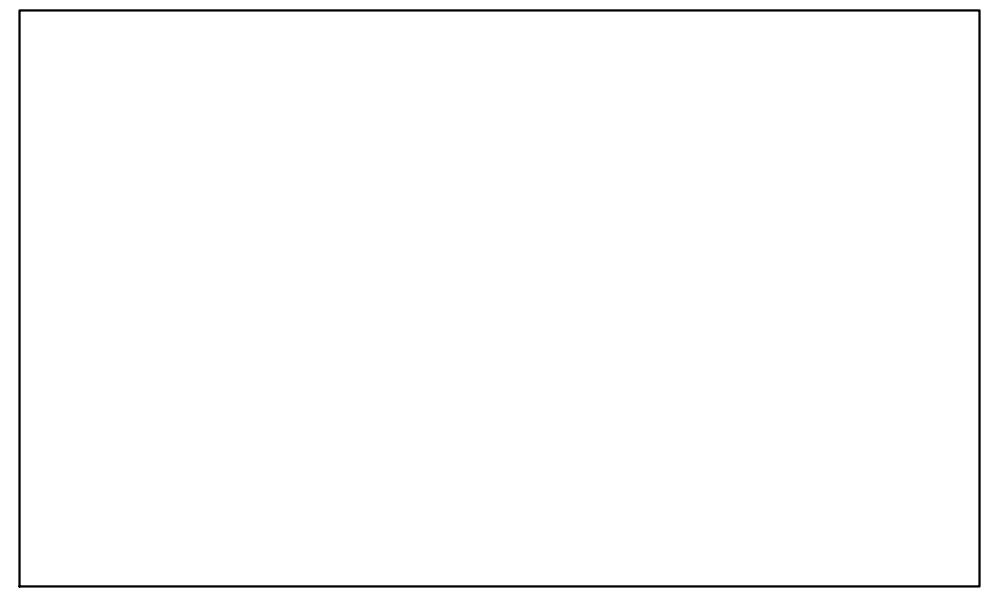
LANDSCAPE LEGEND

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

TREES	SIZE	QTY
Acacia constricta Whitethorn Acacia	15 Gal TOS	10 2
Acacia greggii Catclaw Acacia	15 Gal TOS	5 1
Cercidium floridum Blue Palo Verde	15 Gal TOS	10 2
Cercidium sp. 'Desert Museum' Desert Museum Palo Verde	15 Gal	6
Prosopis velutina Native Mesquite	15 Gal TOS	41 5
Individual Lot Tree (To be determined at time of planting)	15 Gal	50
SHRUBS / ACCENTS		
Celtis pallida Hackberry	5 Gal TOS	22 4
Fouquieria splendens Ocotillo	6 Cane	19
Zizyphus obtusifolia Gray Thorn	TOS	1
Buddleia marrubifolia Butterfly Bush	5 Gal	48
Calliandra eriophylla Fairy Duster	1 Gal	72
Leucophyllum candidum 'Thunder Cloud' Thunder Cloud Sage	5 Gal	35
Leucophyllum laevigatum Chihuahuan Sage	5 Gal	67
Opuntia santa-rita Tubac Purple Prickly Pear	5 Gal	18
Lantana spp - Trailing Lantana Gold & Purple, Mixed	1 Gal	86
GROUND COVER / HARDSCAPE		
SR	1/2" - 3/4" Screened Rock Apache Brown - 2" min thickness	

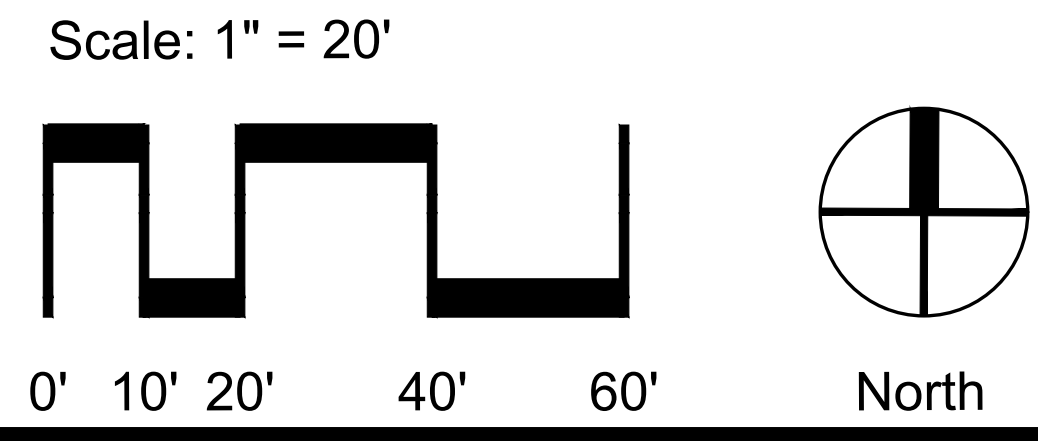
LANDSCAPE NOTES

- All bare dirt areas to be covered with rock mulch as indicated in Plant Legend, including areas within the right-of-way.
- All plants shall be irrigated with a permanent underground irrigation system -- see sheets L-6 through L-9.
- The Property Owner shall be responsible for maintenance of the required landscape and irrigation system in perpetuity.
- Materials within the sight visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
- Landscape areas shall be depressed 6" for water harvesting.



DP22-xxx

LANDSCAPE PLAN
The Reserve at Valencia Crossing
 Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)
 A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ



- NOTES:**
- Trees on individual lots can be relocated within each lot based on driveway placement.
 - Trees within lots to be irrigated from individual house meter.

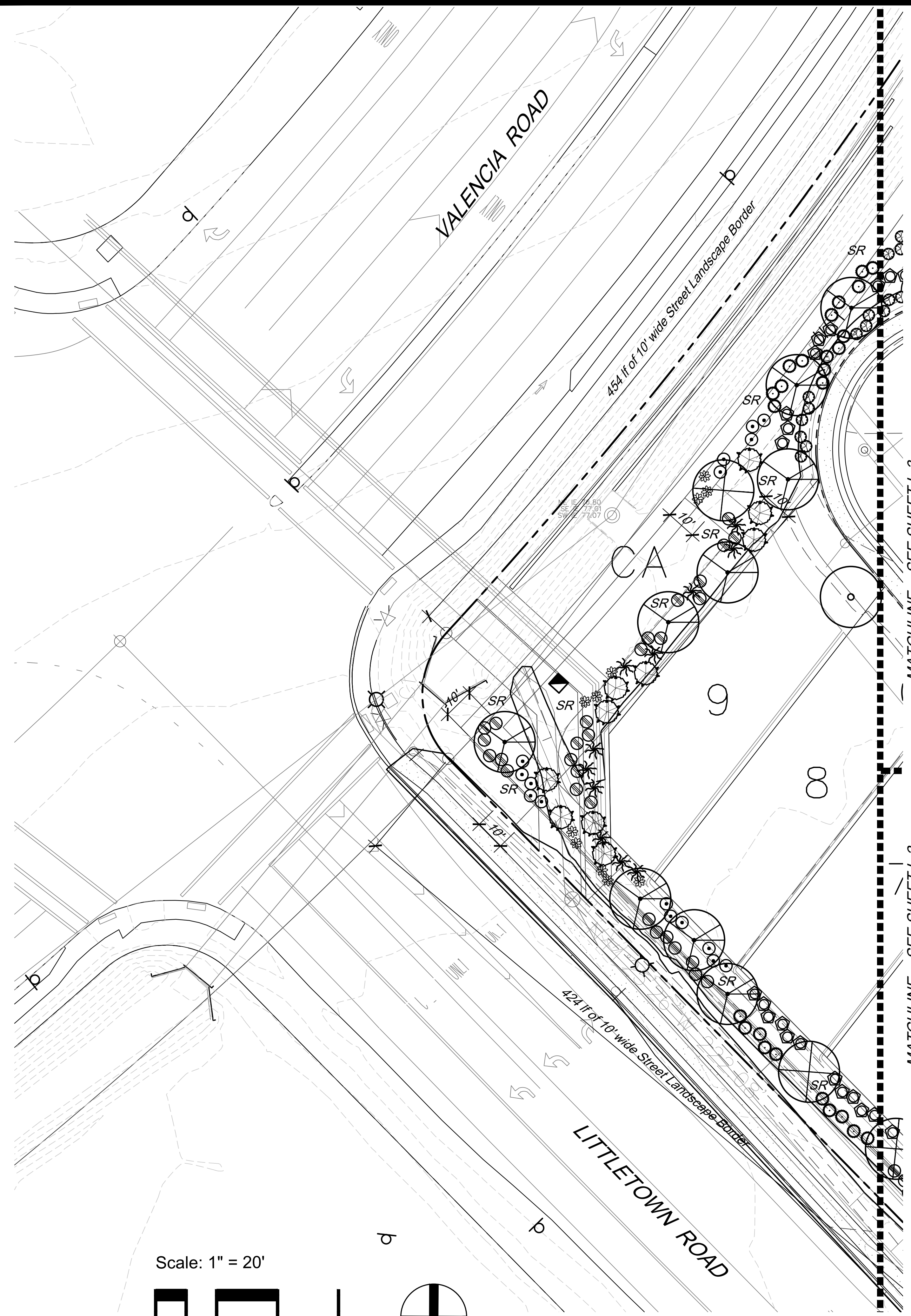
GRS
LANDSCAPE ARCHITECTS, LLC

35974 S. Desert Sun Drive
 Tucson, AZ 85739
 (520) 909-4678
 gregs@grslandscapearchitects.com

Date: 1/12/22
 Drawn by: KVP/LMW
 Checked by: GRS

Design Review
 Construction Documents
 Agency Submittal
 Construction Set
 Not for Construction

L-4
 15 of 22



LANDSCAPE LEGEND

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

TREES	SIZE	QTY
Acacia constricta Whitethorn Acacia	15 Gal TOS	10 2
Acacia greggii Catclaw Acacia	15 Gal TOS	5 1
Cercidium floridum Blue Palo Verde	15 Gal TOS	10 2
Cercidium sp. 'Desert Museum' Desert Museum Palo Verde	15 Gal	6
Prosopis velutina Native Mesquite	15 Gal TOS	41 5
Individual Lot Tree (To be determined at time of planting)	15 Gal	50

SHRUBS / ACCENTS	SIZE	QTY
Celtis pallida Hackberry	5 Gal TOS	22 4
Fouquieria splendens Ocotillo	6 Cane	19
Zizyphus obtusifolia Gray Thorn	TOS	1
Buddleia marrubifolia Butterfly Bush	5 Gal	48
Calliandra eriophylla Fairy Duster	1 Gal	72
Leucophyllum candidum 'Thunder Cloud' Thunder Cloud Sage	5 Gal	35
Leucophyllum laevigatum Chihuahuan Sage	5 Gal	67
Opuntia santa-rita Tubac Purple Prickly Pear	5 Gal	18
Lantana spp - Trailing Lantana Gold & Purple, Mixed	1 Gal	86

GROUND COVER / HARDSCAPE

SR 1/2" - 3/4" Screened Rock
Apache Brown - 2" min thickness

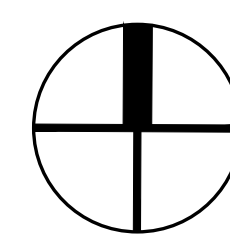
LANDSCAPE NOTES

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- All plants shall be irrigated with a permanent underground irrigation system -- see sheets L-6 through L-9.
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- Materials within the sight visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
- Landscape areas shall be depressed 6" for water harvesting.

NOTES:

- Trees on individual lots can be relocated within each lot based on driveway placement.
- Trees within lots to be irrigated from individual house meter.

Scale: 1" = 20'



0' 10' 20' 40' 60'

North

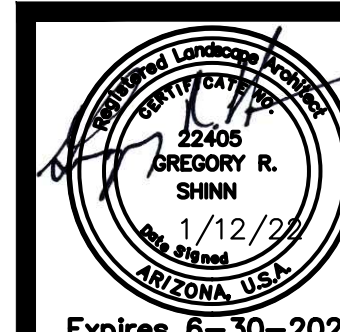
DP22-xxx

LANDSCAPE PLAN

The Reserve at Valencia Crossing

Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)

A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ



35974 S. Desert Sun Drive
Tucson, AZ 85739
(520) 909-4678
gregs@grslandscapearchitects.com

Date: 1/12/22
Drawn by: KVP/LMW
Checked by: GRS

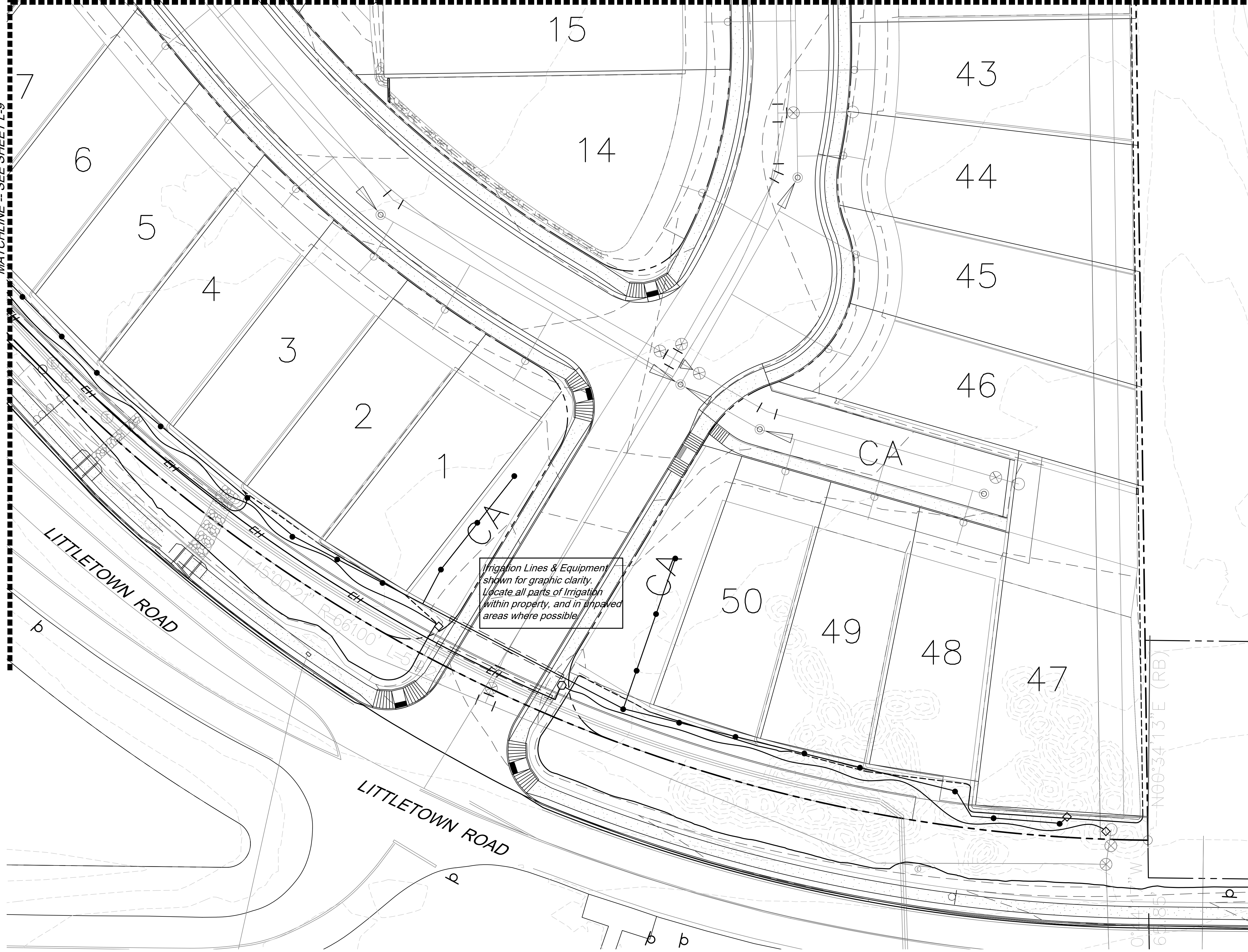
Design Review
 Construction Documents
 Agency Submittal
 Construction Set
 Not for Construction

L-5


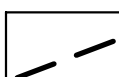

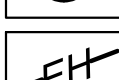


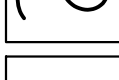


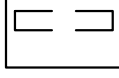
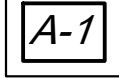

16 of 22

MATCHLINE -- SEE SHEET L-7

MATCHLINE -- SEE SHEET L-9



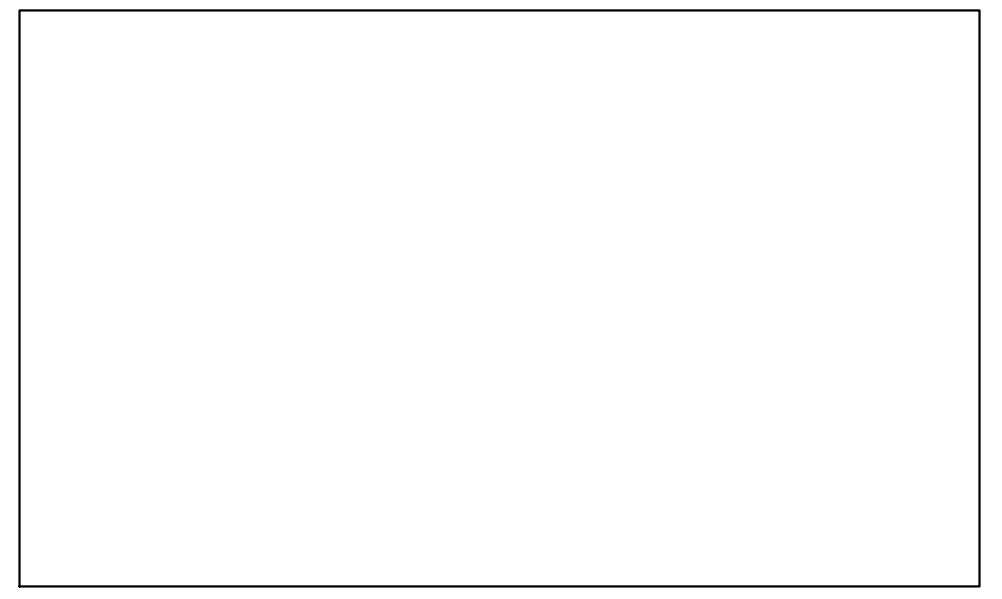
IRRIGATION LEGEND

-  Reduced Pressure Backflow Preventer, Mainline Size
-  Mainline - Schedule 40 PVC 1" unless otherwise noted
-  Remote Control Valve - 1" - Rainbird 100 PEB and Rainbird RBY-100C Filter
-  Emitter Header - Schedule 40 PVC 1" unless otherwise noted
-  Pressure Regulator - Fixed Outlet Pressure @ 40 psi - flow as required
-  Poly line - .580 poly line
-  Emitter Line (Trees) - Class 200 PVC - 3/4" unless otherwise noted
-  Multipoint Emitter - Rainbird XBT-10-6
-  Sleeves - Schedule 40 PVC - 2" unless otherwise noted
-  Valve ID
-  Controller - Rainbird ESP-SMT with weather sensor. Contractor to coordinate electric for the controller.
-  Hose End Caps

IRRIGATION NOTES

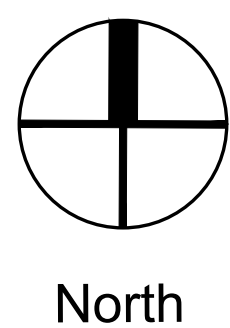
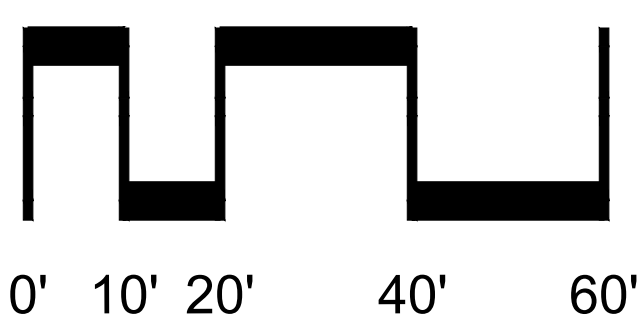
1. Contractor shall coordinate electrical power supply for irrigation controller. Contractor shall provide sleeves for remote control valve wires.
2. Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
3. Locate weather sensor so it is unimpeded by any structural elements.
4. Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
5. Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.

Irrigation Lines & Equipment shown for graphic clarity. Locate all parts of Irrigation within property, and in unpaved areas where possible.

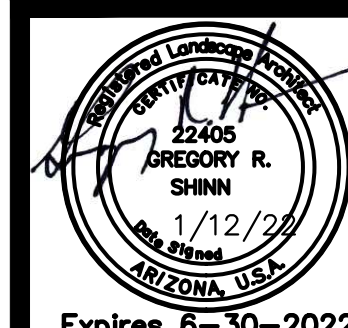


DP22-xxx

Scale: 1" = 20'



North



35974 S. Desert Sun Drive
 Tucson, AZ 85739
 (520) 909-4678
 gregs@grslandscapearchitects.com

Date: 1/12/22 Design Review
 Drawn by: KVP/LMW Construction Documents
 Checked by: GRS Agency Submittal
 Construction Set
 Not for Construction

L-6

17 of 22

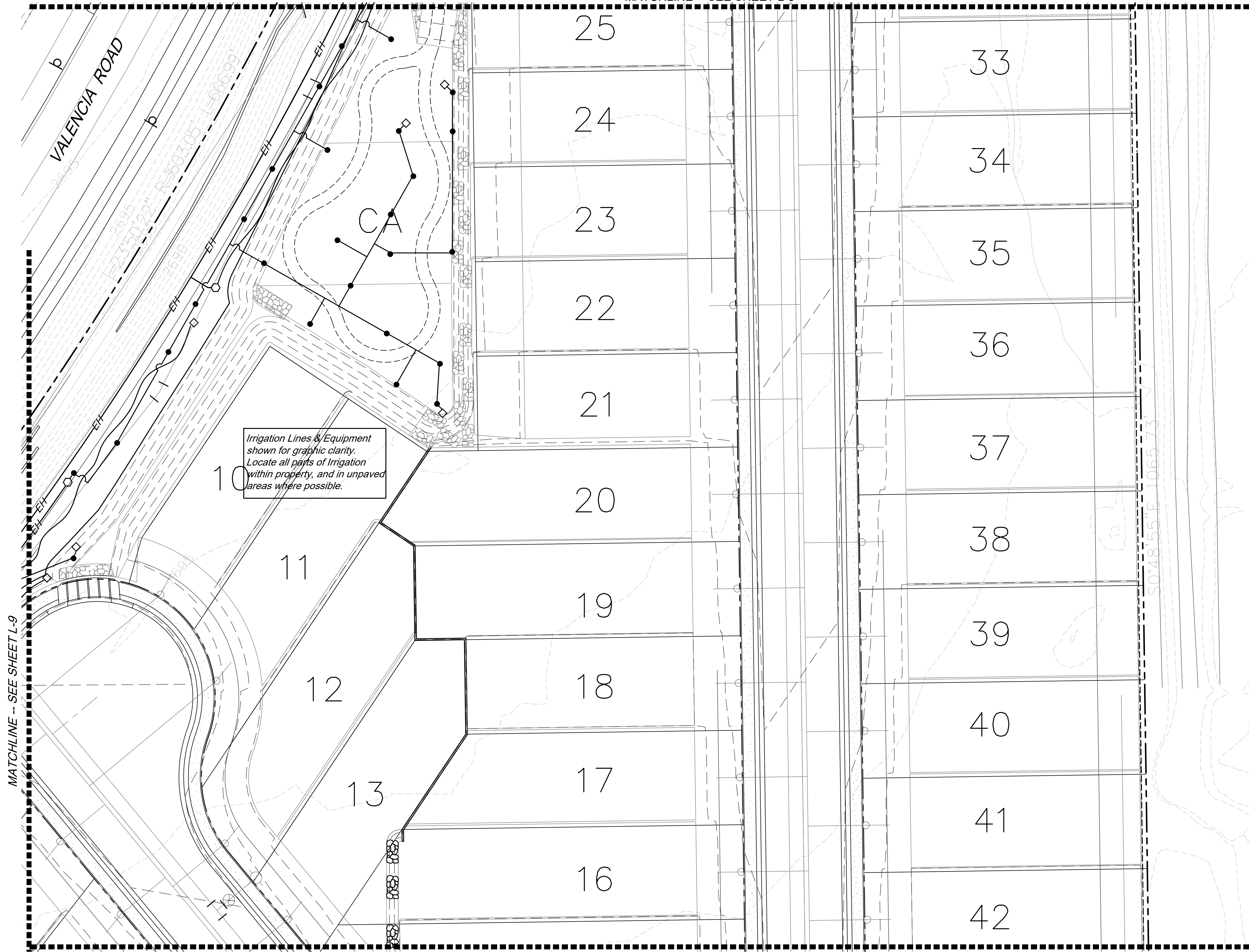
IRRIGATION PLAN

The Reserve at Valencia Crossing


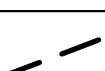

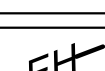


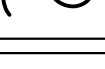


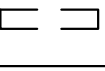
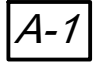

Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)

A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ

MATCHLINE -- SEE SHEET L-8



IRRIGATION LEGEND

-  Reduced Pressure Backflow Preventer, Mainline Size
-  Mainline - Schedule 40 PVC 1" unless otherwise noted
-  Remote Control Valve - 1" - Rainbird 100 PEB and Rainbird RBY-100C Filter
-  Emmitter Header - Schedule 40 PVC 1" unless otherwise noted
-  Pressure Regulator - Fixed Outlet Pressure @ 40 psi - flow as required
-  Poly line - .580 poly line
-  Emmitter Line (Trees) - Class 200 PVC - 3/4" unless otherwise noted
-  Multiport Emmitter - Rainbird XBT-10-6
-  Sleeves - Schedule 40 PVC - 2" unless otherwise noted
-  Valve ID
-  Controller - Rainbird ESP-SMT with weather sensor. Contractor to coordinate electric for the controller.
-  Hose End Caps

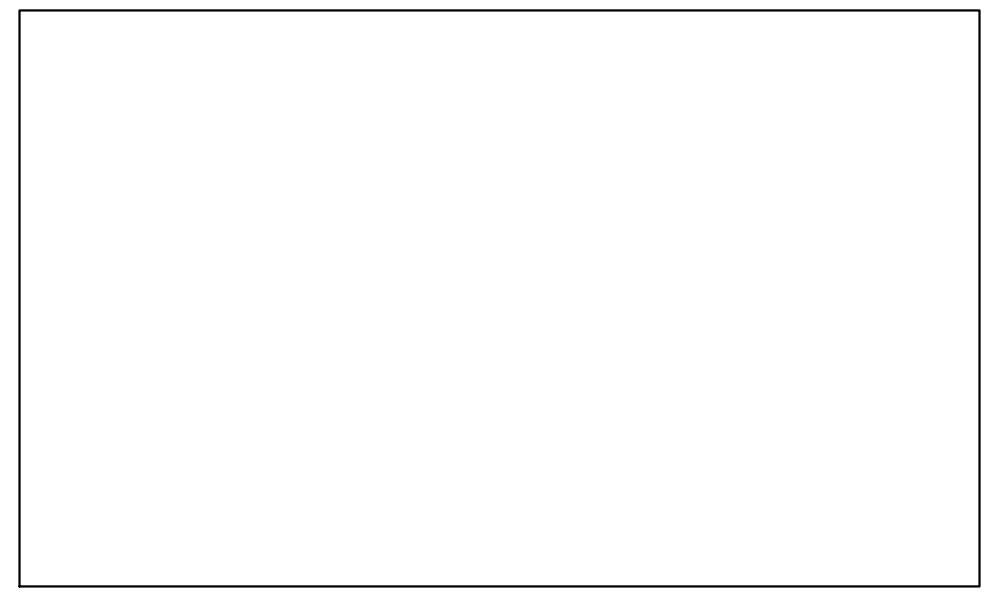
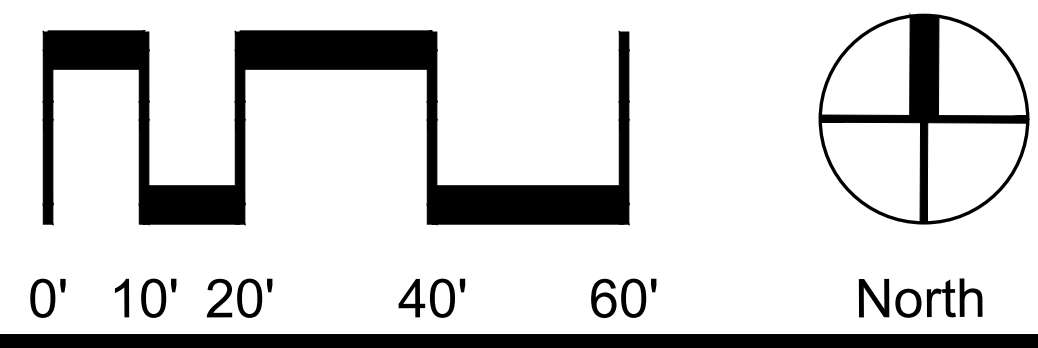
IRRIGATION NOTES

1. Contractor shall coordinate electrical power supply for irrigation controller. Contractor shall provide sleeves for remote control valve wires.
2. Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
3. Locate weather sensor so it is unimpeded by any structural elements.
4. Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
5. Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.

MATCHLINE -- SEE SHEET L-9

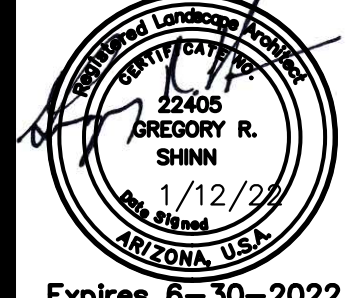
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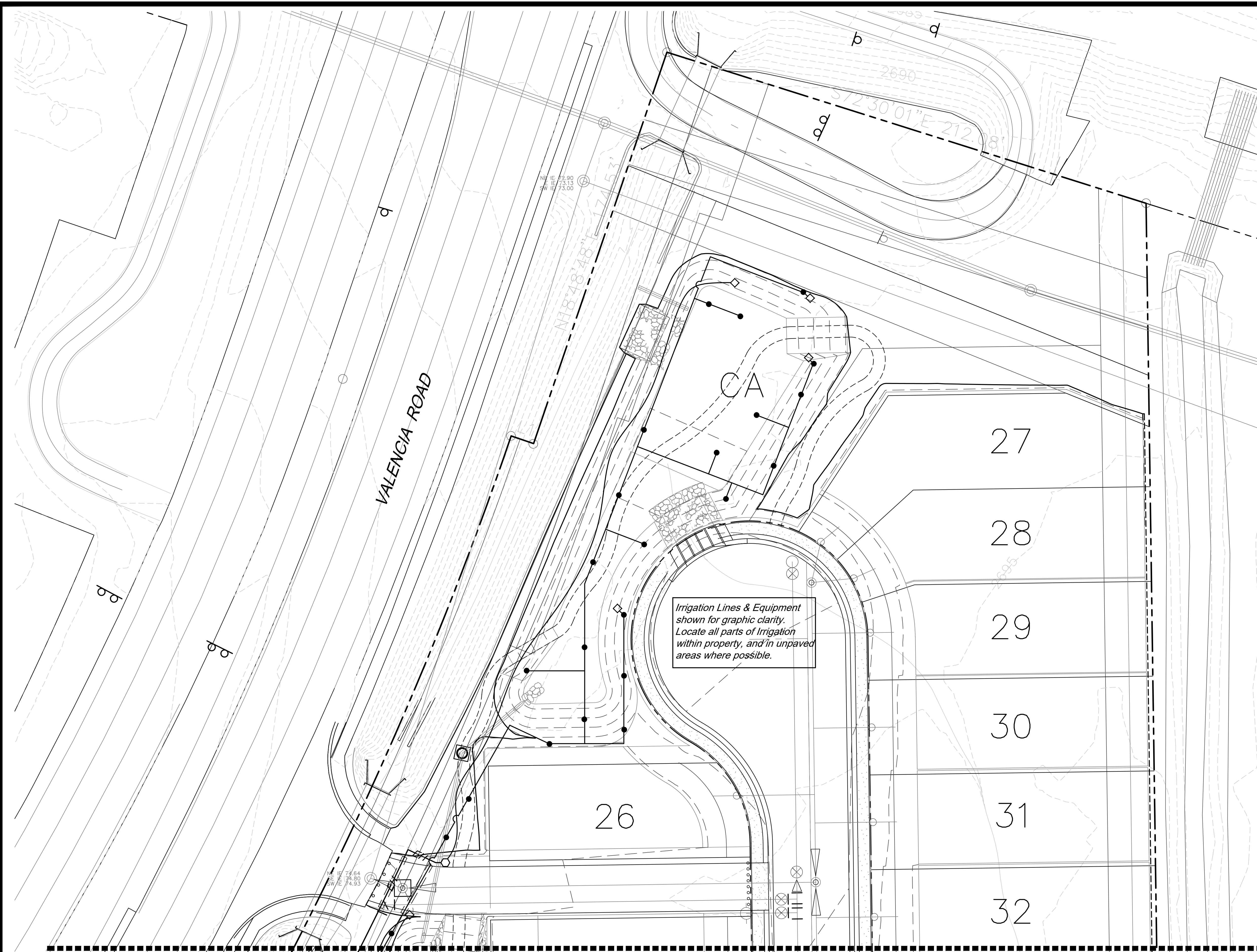
MATCHLINE -- SEE SHEET L-6




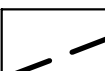

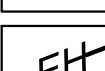
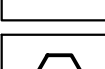

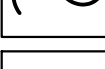


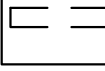
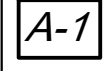

DP22-xxx

IRRIGATION PLAN
The Reserve at Valencia Crossing
 Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)
 A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ

	<p>GRS LANDSCAPE ARCHITECTS, LLC</p> <p>35974 S. Desert Sun Drive Tucson, AZ 85739 (520) 909-4678 gregs@grslandscapearchitects.com</p>	<p>Date: 1/12/22</p> <p>Drawn by: KVP/LMW</p> <p>Checked by: GRS</p>	<p><input type="checkbox"/> Design Review</p> <p><input type="checkbox"/> Construction Documents</p> <p><input checked="" type="checkbox"/> Agency Submittal</p> <p><input type="checkbox"/> Construction Set</p> <p><input checked="" type="checkbox"/> Not for Construction</p>	<p style="font-size: 24pt; font-weight: bold;">L-7</p> <p style="font-size: 18pt; font-weight: bold;">18 of 22</p>
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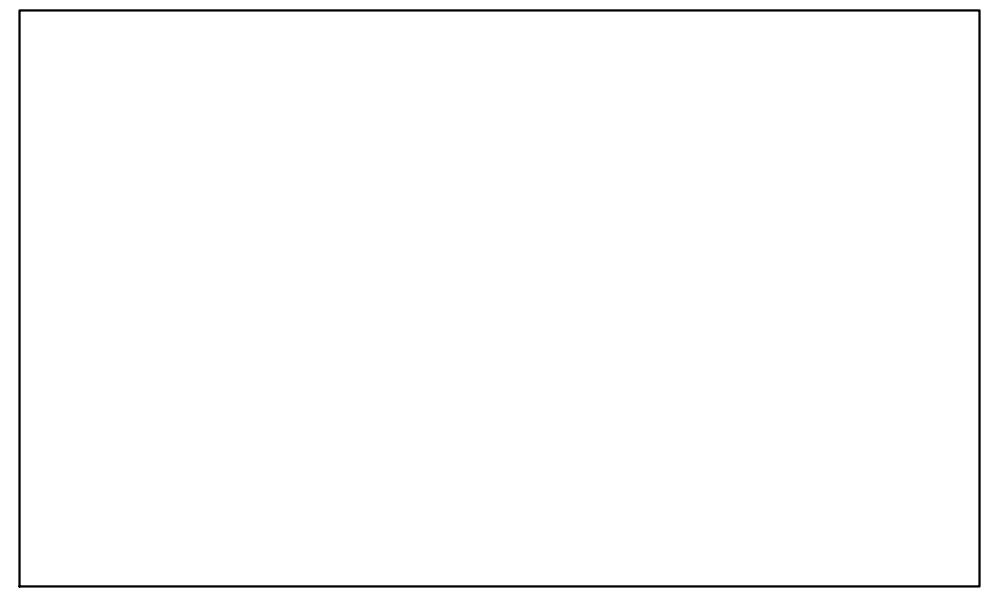
IRRIGATION LEGEND

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-  Mainline - Schedule 40 PVC 1" unless otherwise noted
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-  Pressure Regulator - Fixed Outlet Pressure @ 40 psi - flow as required
-  Poly line - .580 poly line
-  Emitter Line (Trees) - Class 200 PVC - 3/4" unless otherwise noted
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-  Sleeves - Schedule 40 PVC - 2" unless otherwise noted
-  Valve ID
-  Controller - Rainbird ESP-SMT with weather sensor. Contractor to coordinate electric for the controller.
-  Hose End Caps

IRRIGATION NOTES

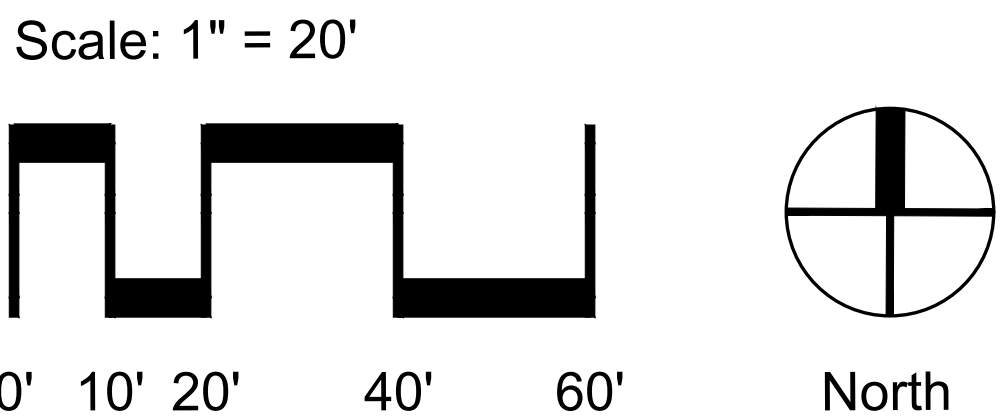
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5. Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.

Irrigation Lines & Equipment shown for graphic clarity. Locate all parts of Irrigation within property, and in unpaved areas where possible.

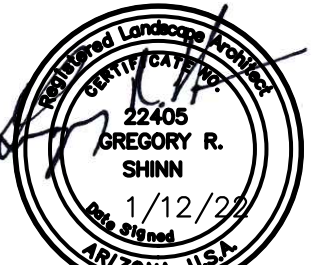


DP22-xxx


IRRIGATION PLAN
The Reserve at Valencia Crossing
 Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)
 A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ



MATCHLINE -- SEE SHEET L-7



Expires 6-30-2022



35974 S. Desert Sun Drive
 Tucson, AZ 85739
 (520) 909-4678
 gregs@grslandscapearchitects.com

Date: 1/12/22

Drawn by: KVP/LMW

Checked by: GRS

Design Review

Construction Documents

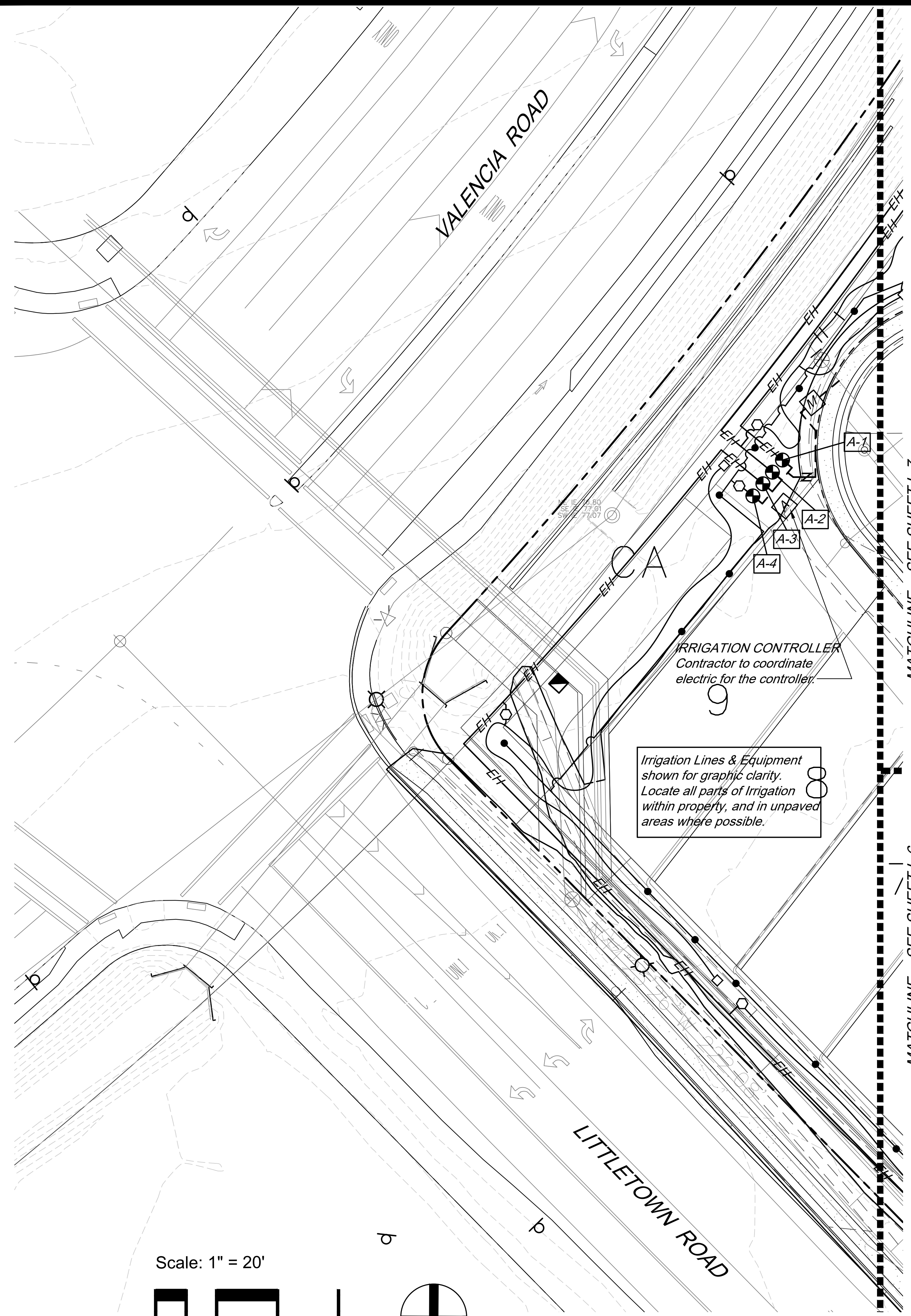
Agency Submittal

Construction Set






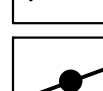
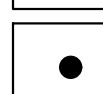
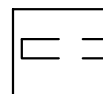
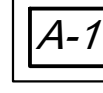



Not for Construction

L-8

19 of 22



IRRIGATION LEGEND

-  Reduced Pressure Backflow Preventer, Mainline Size
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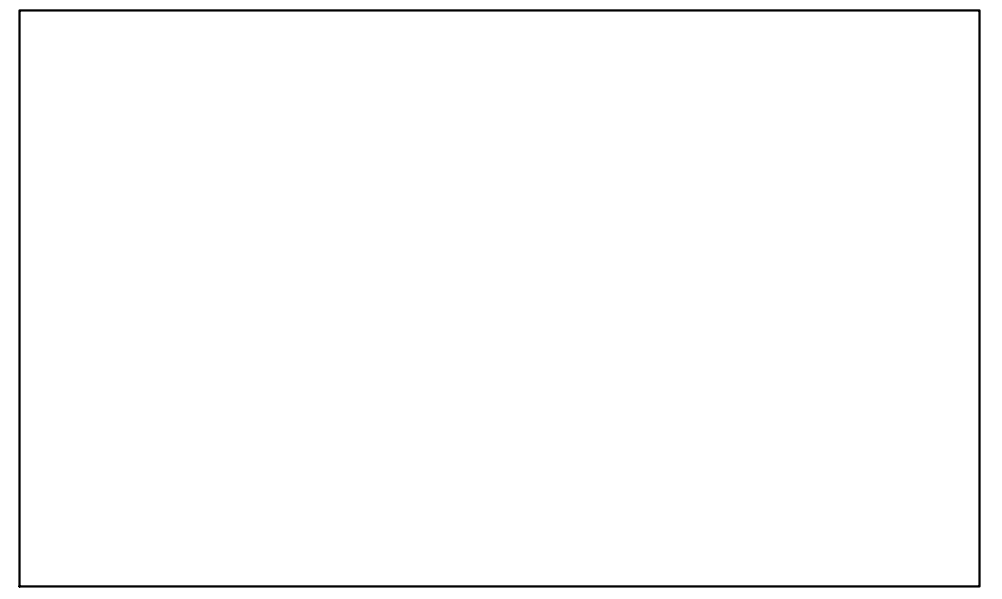
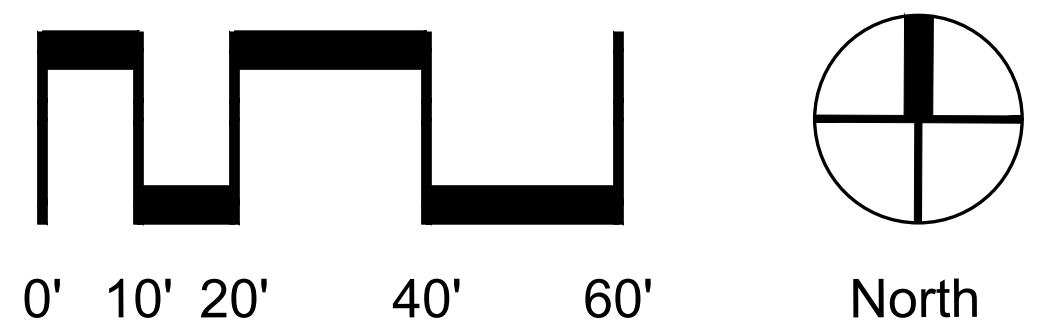
IRRIGATION NOTES

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2. Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
3. Locate weather sensor so it is unimpeded by any structural elements.
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5. Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.

Irrigation Lines & Equipment shown for graphic clarity. Locate all parts of Irrigation within property, and in unpaved areas where possible.

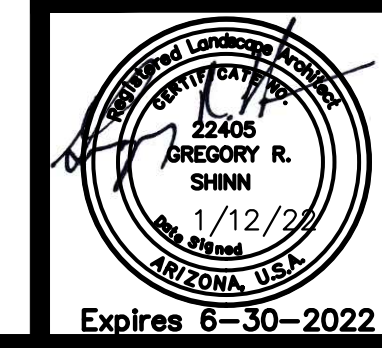
IRRIGATION CONTROLLER
Contractor to coordinate electric for the controller.

Scale: 1" = 20'



DP22-xxx

IRRIGATION PLAN
The Reserve at Valencia Crossing
 Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)
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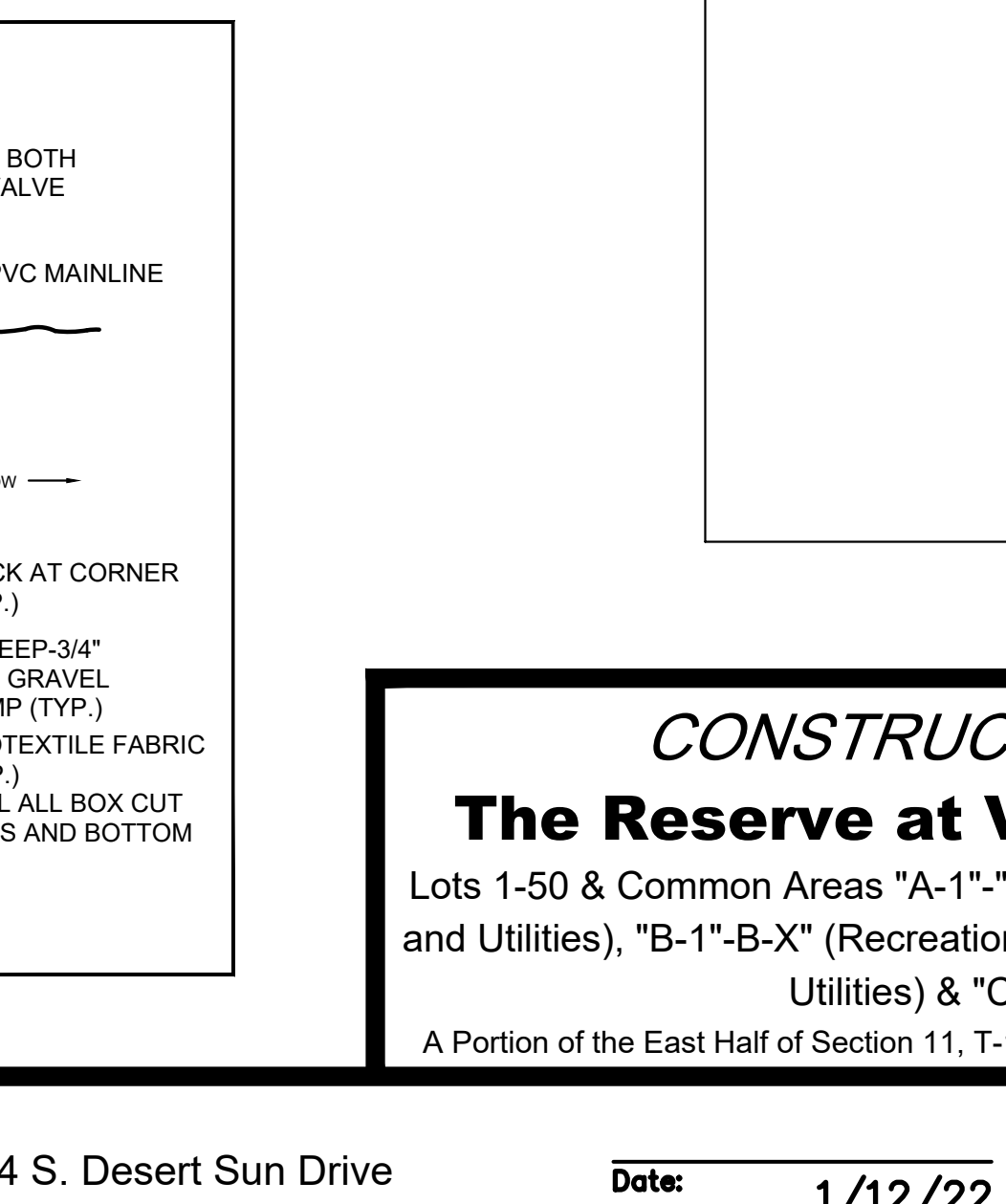
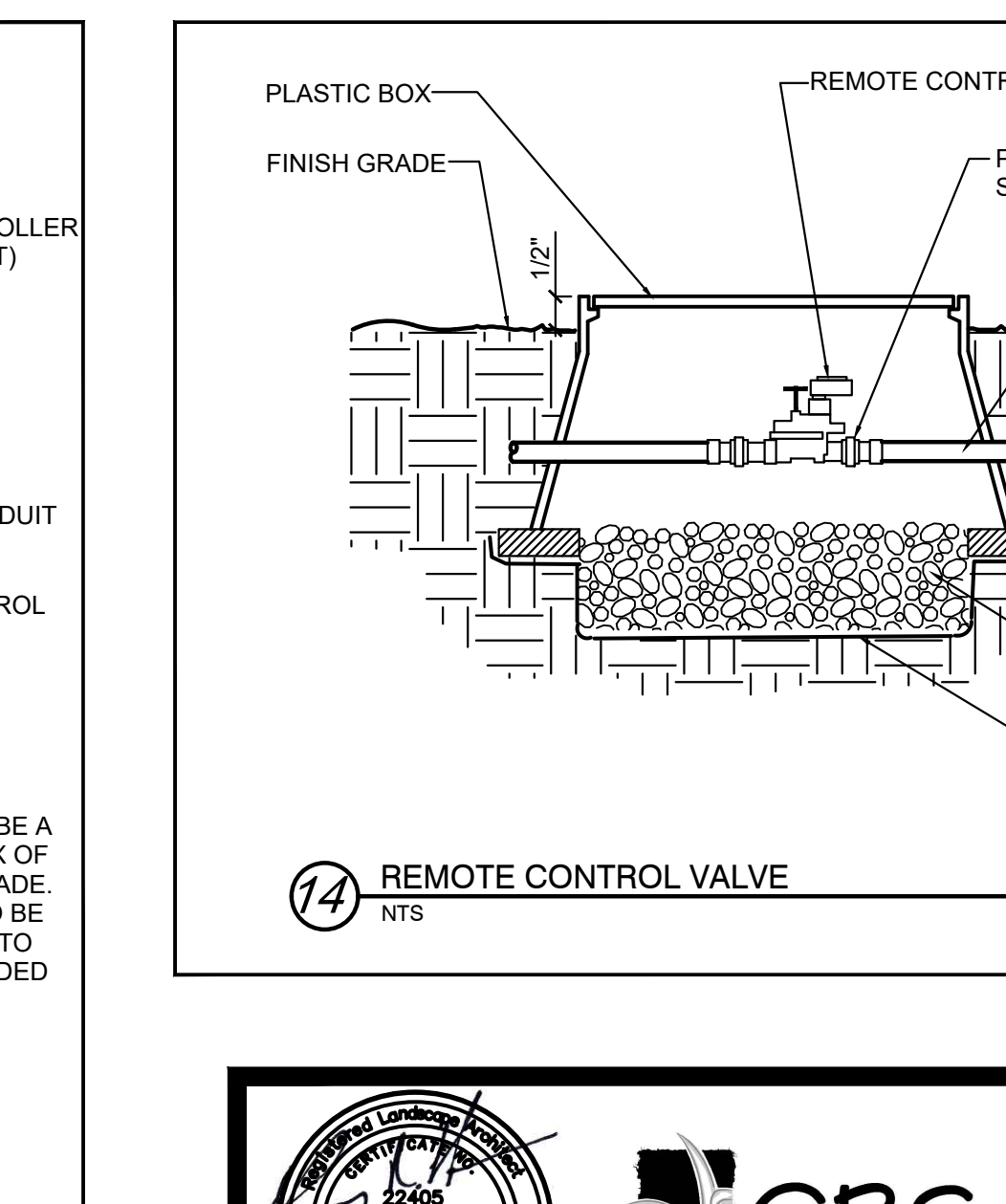
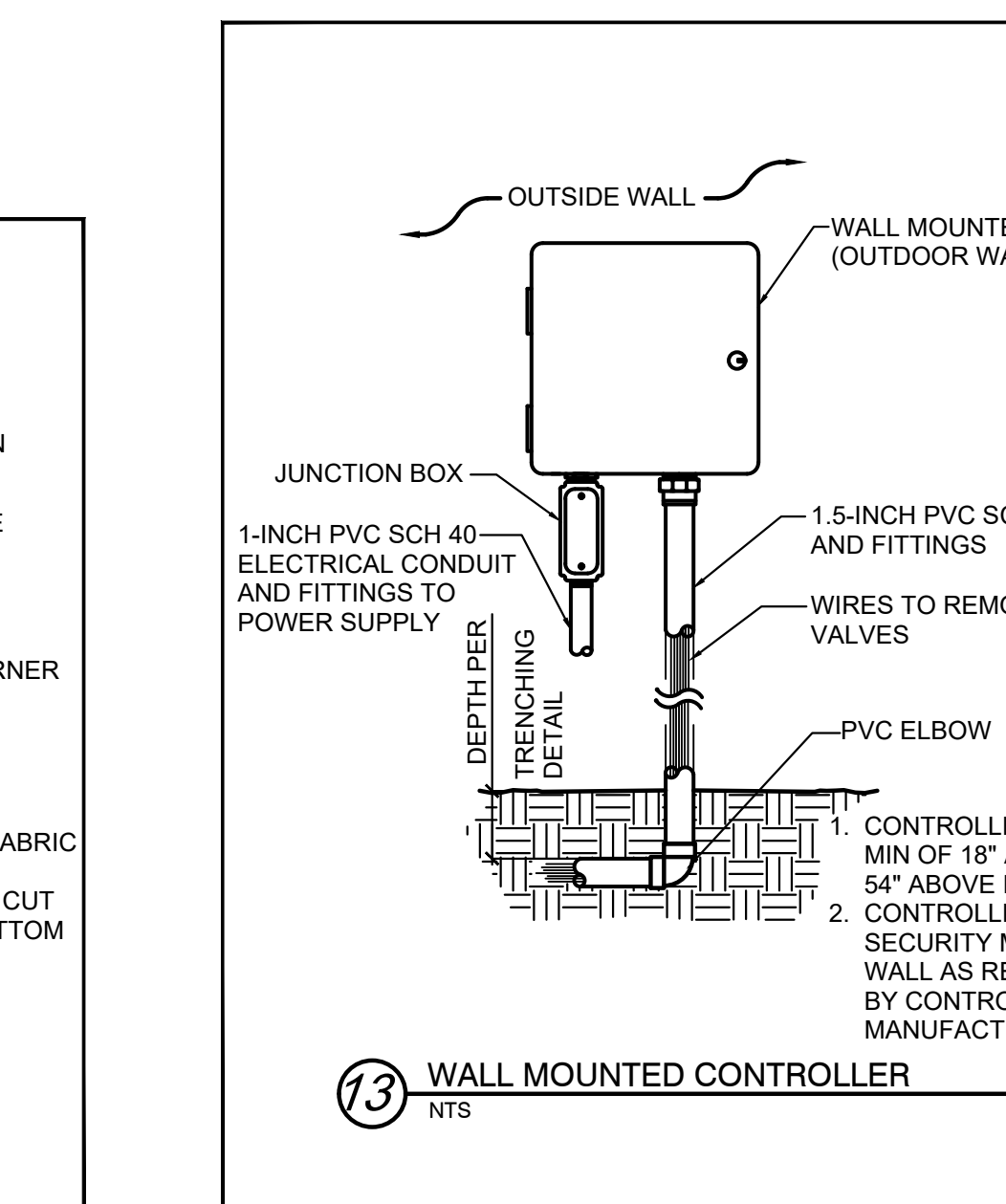
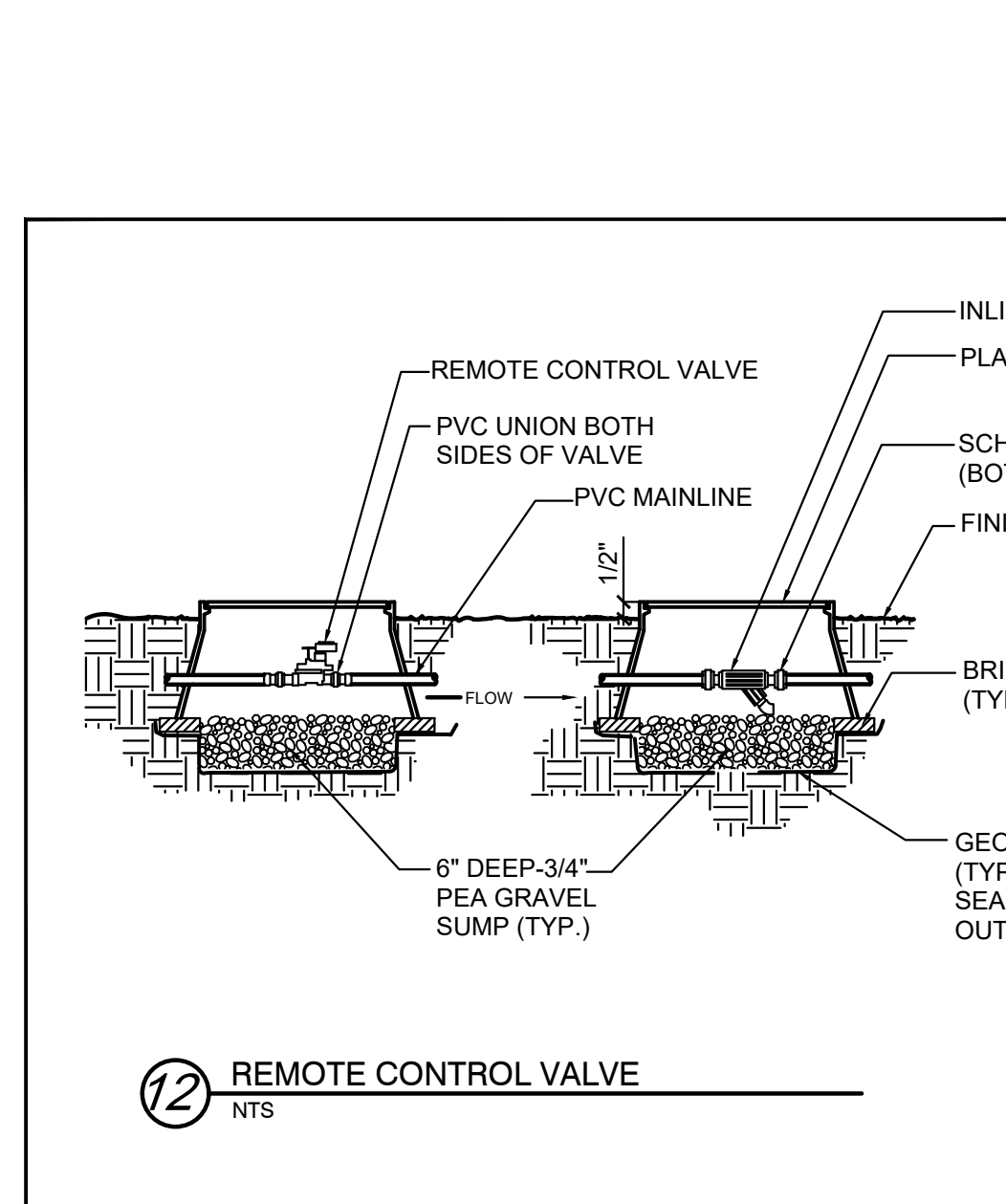
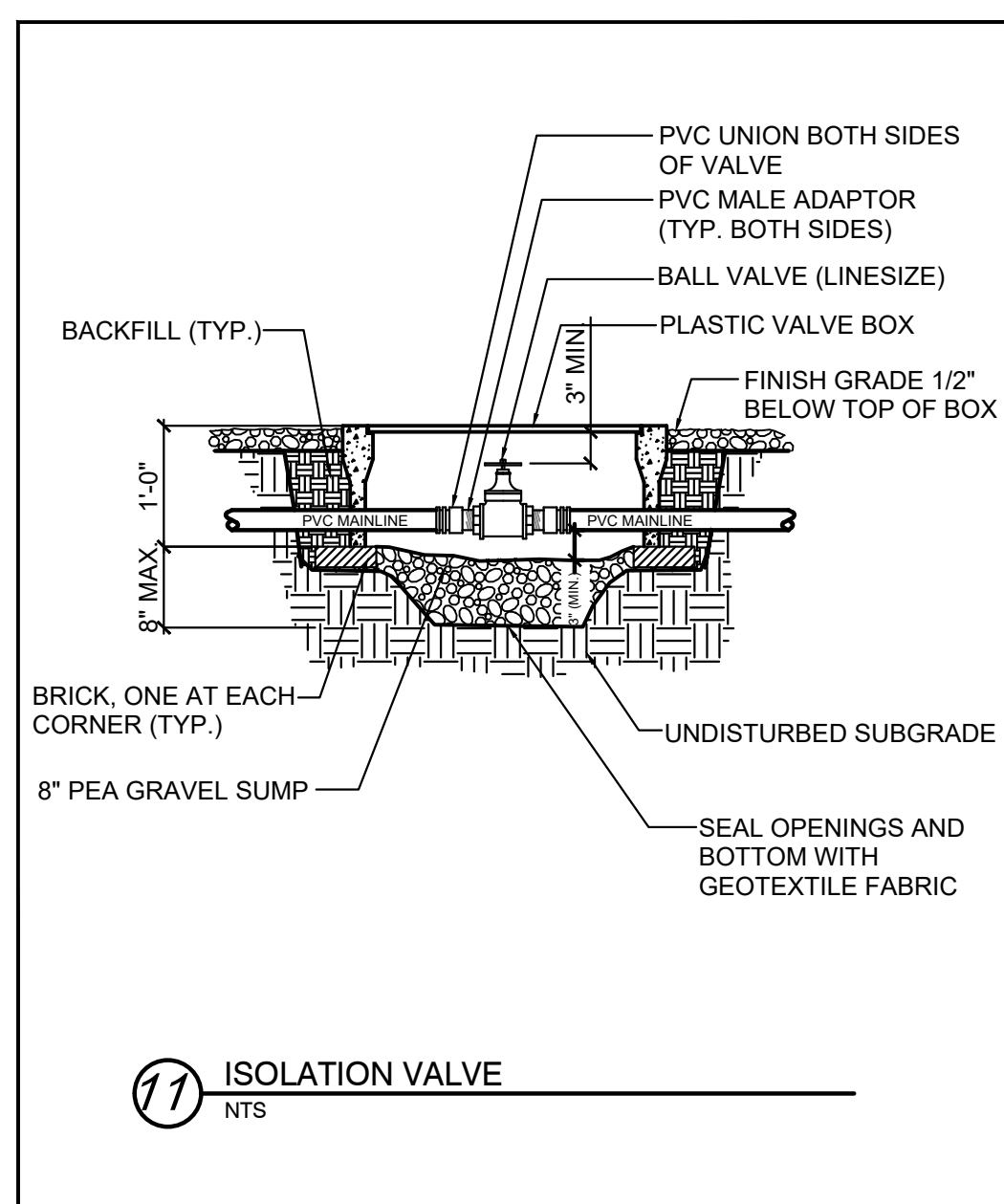
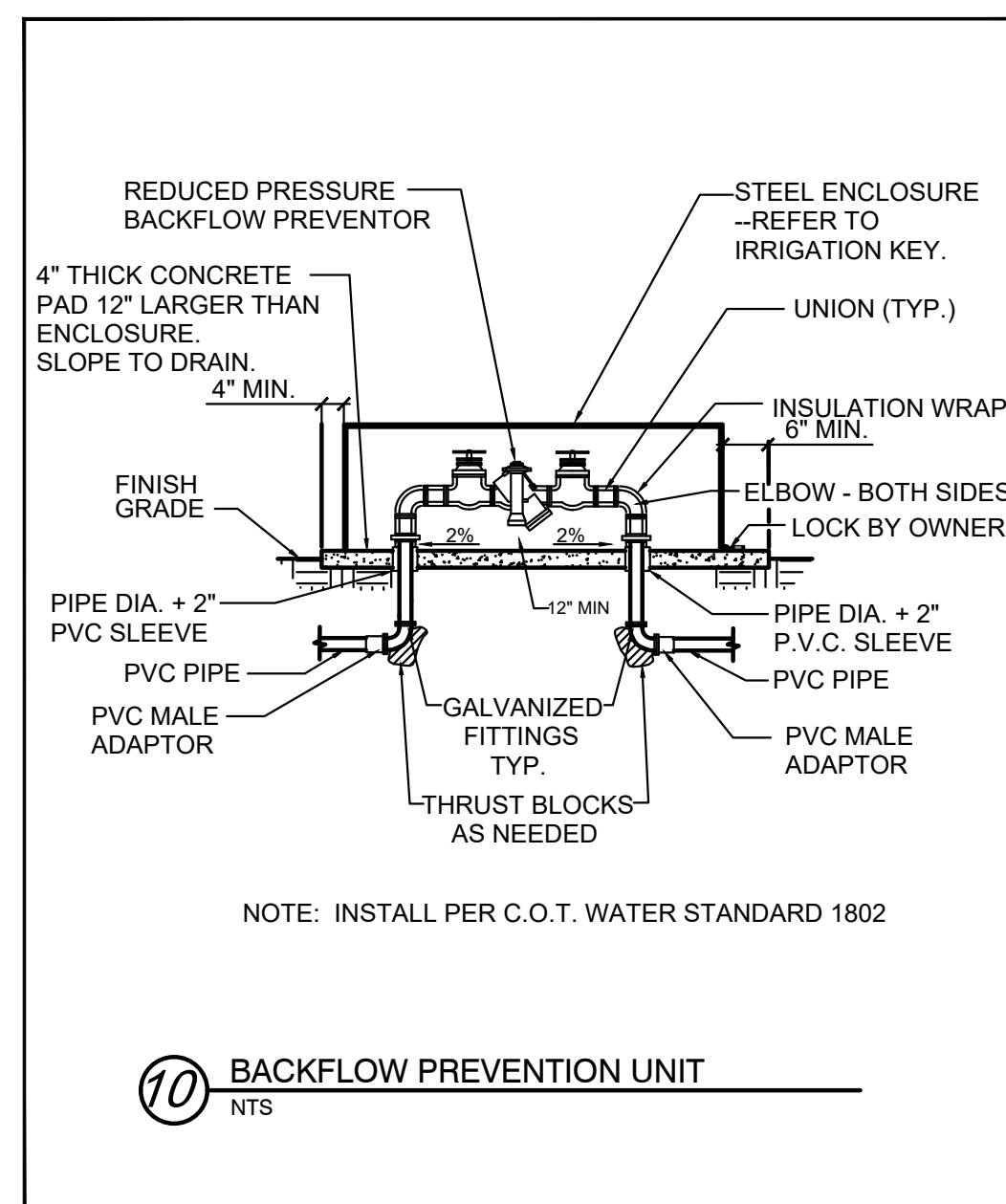
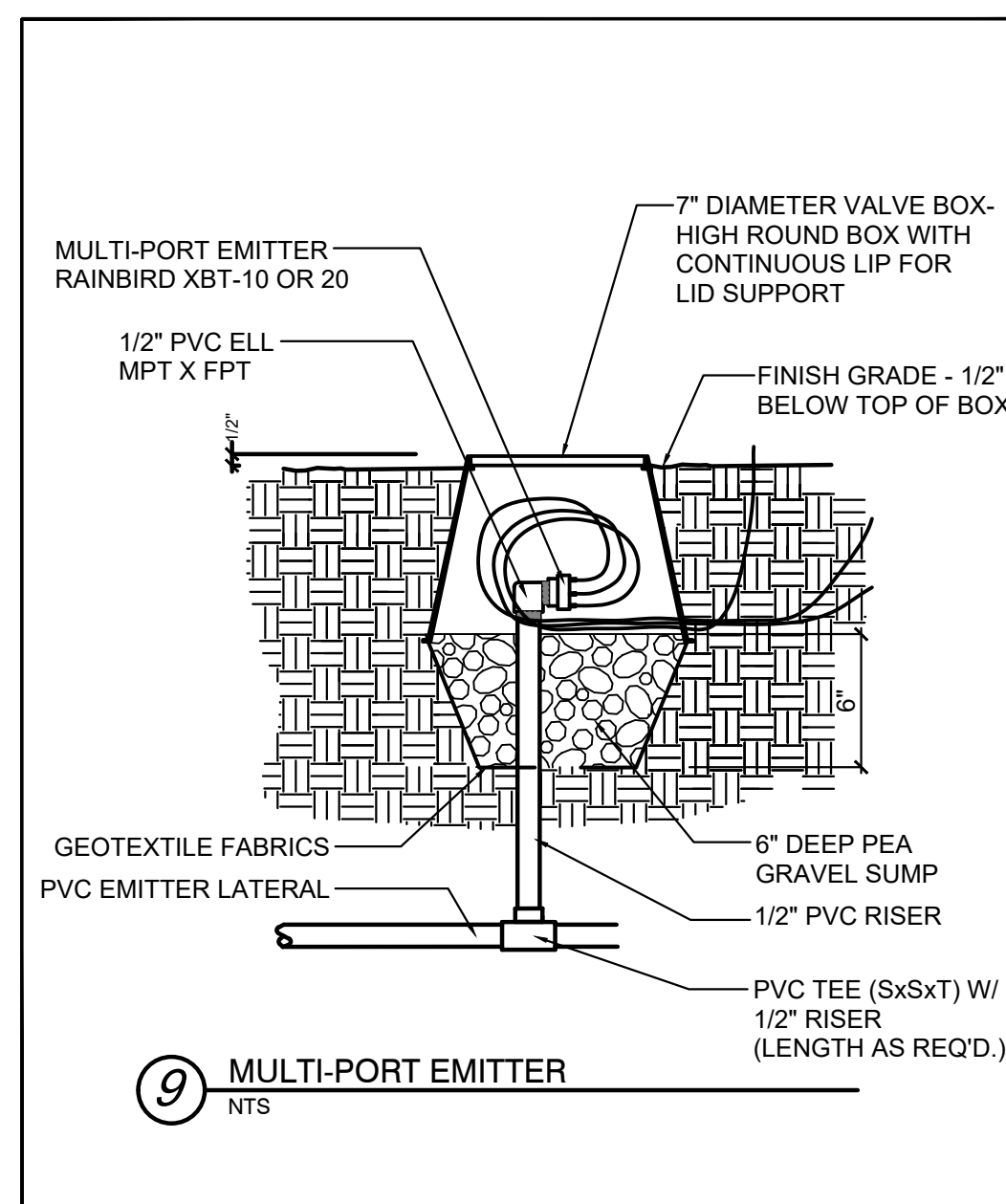
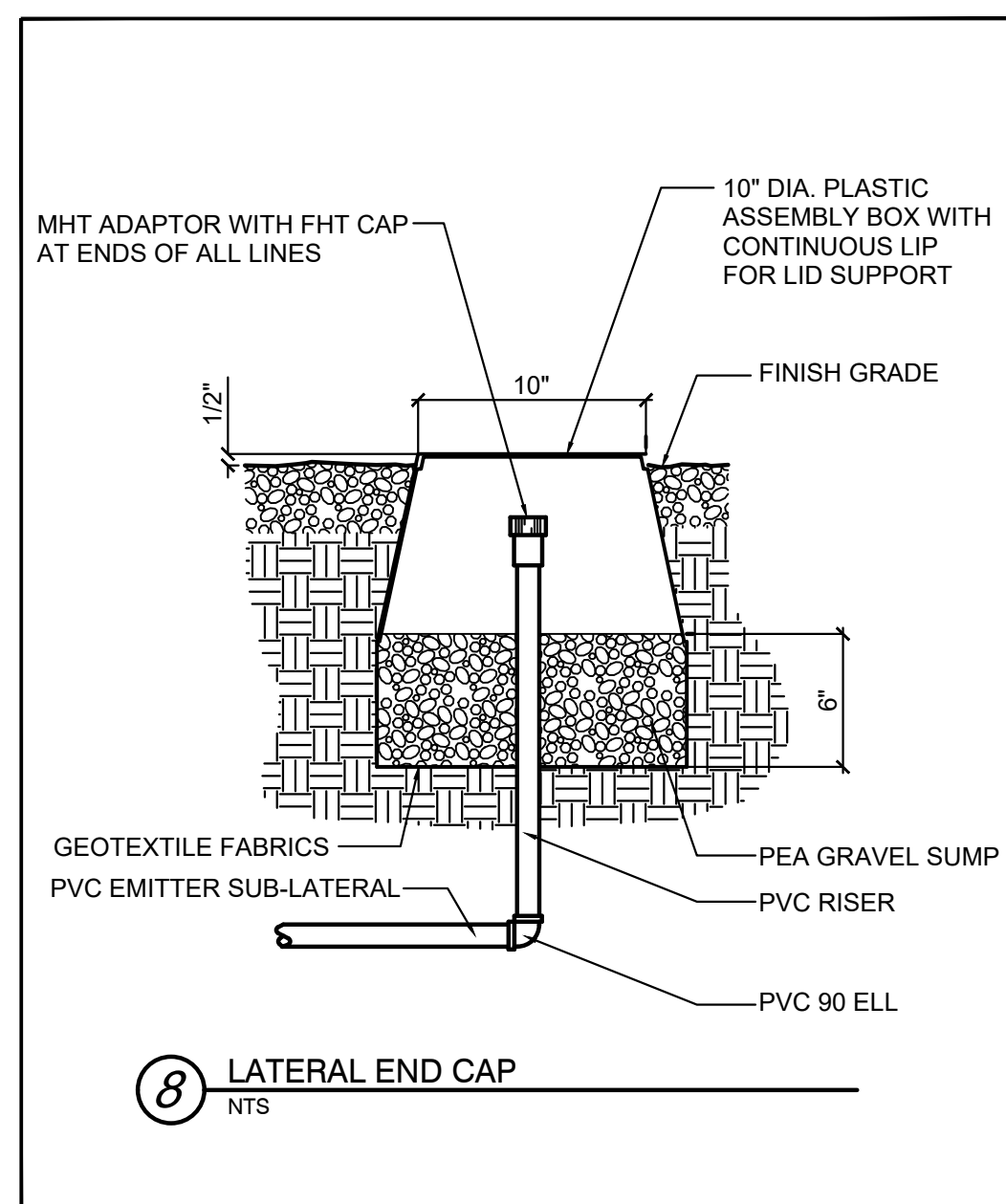
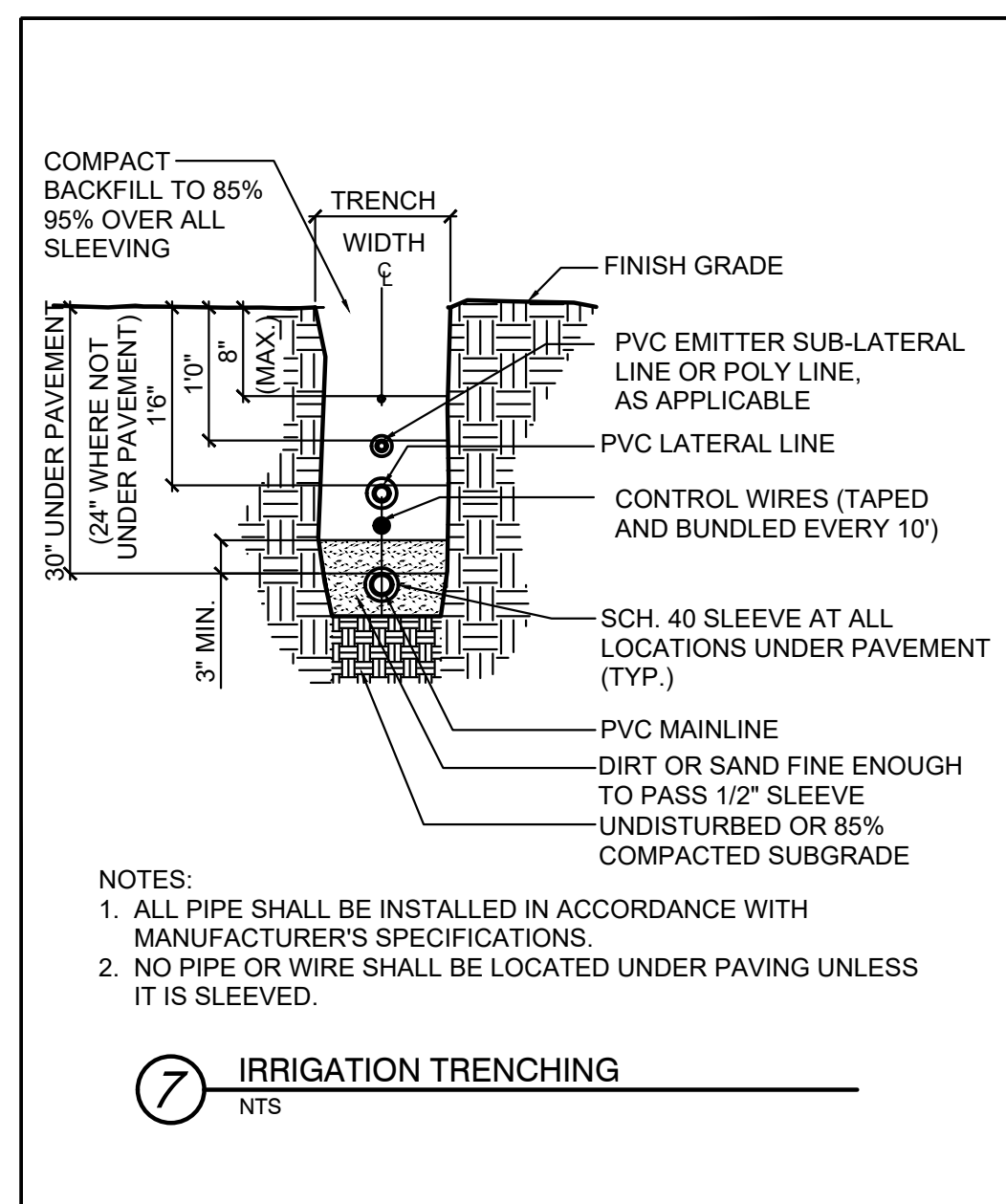
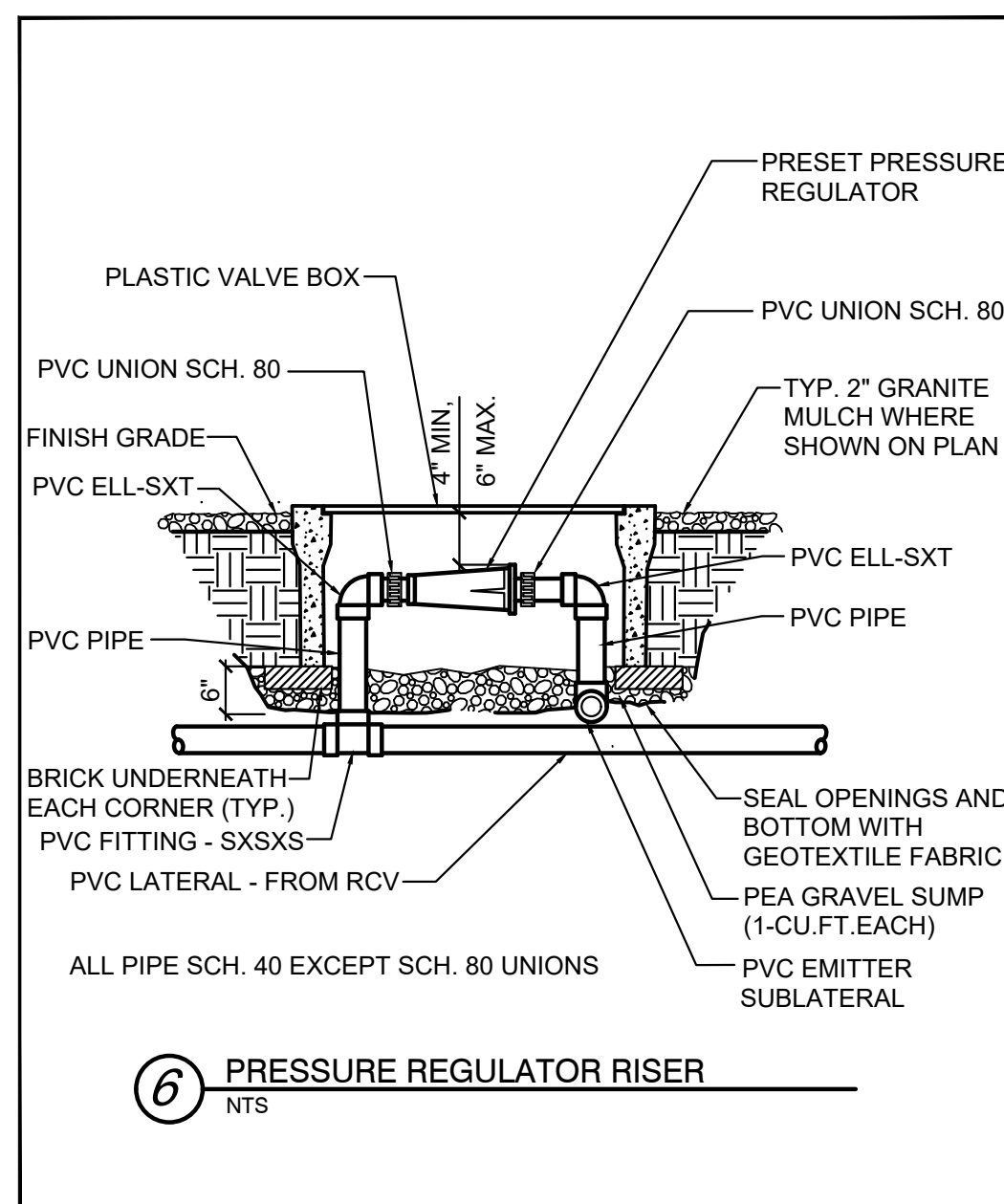
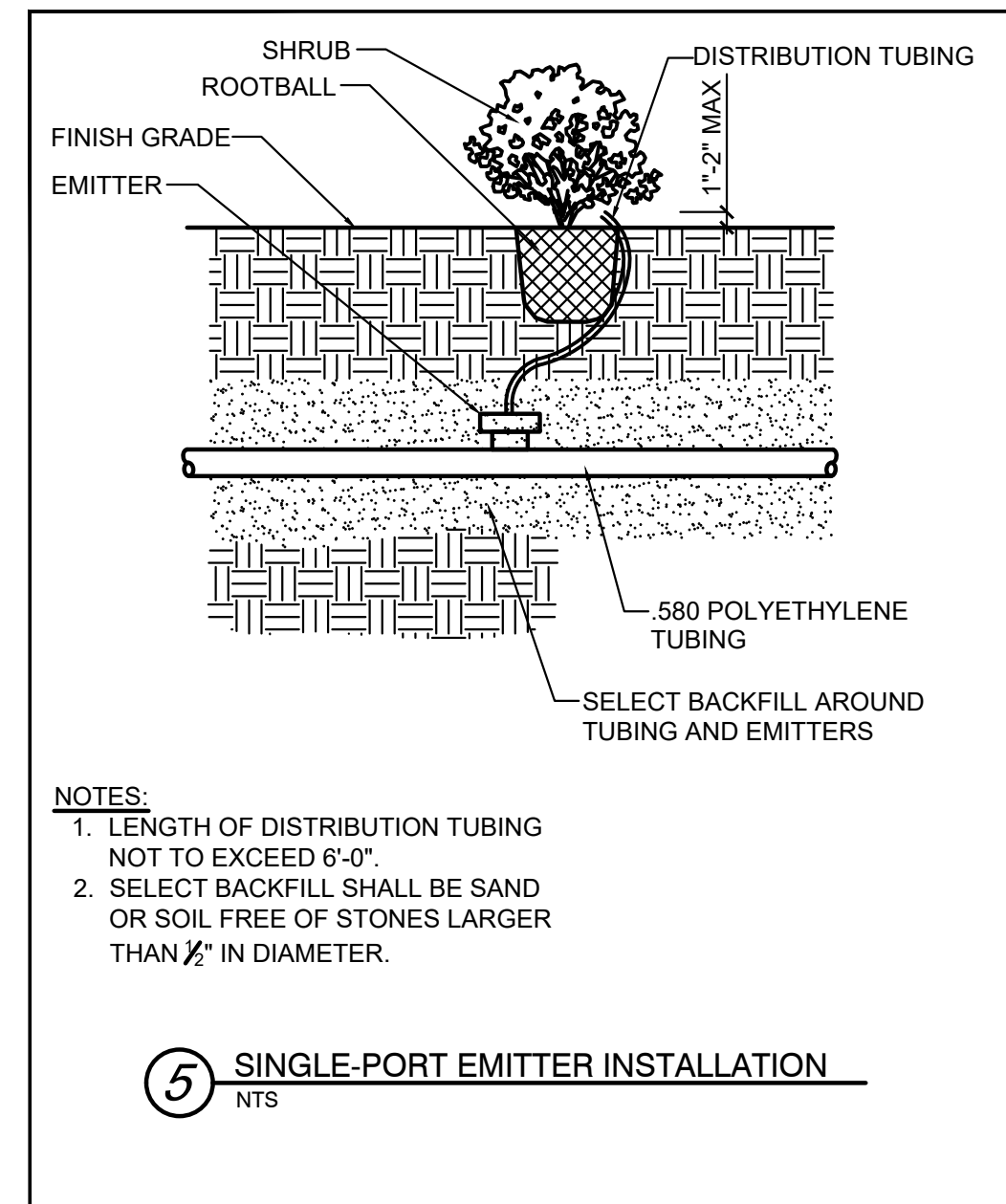
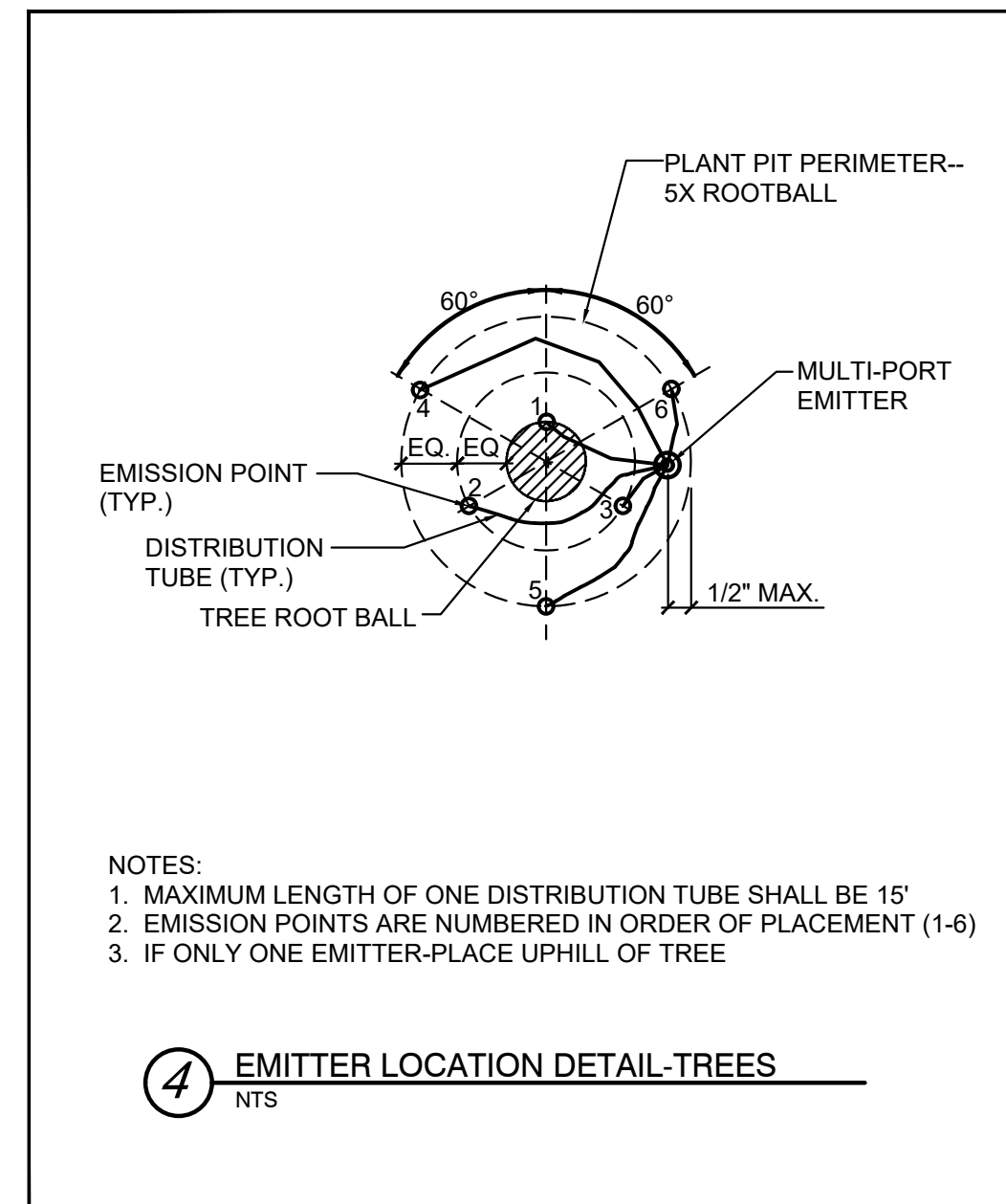
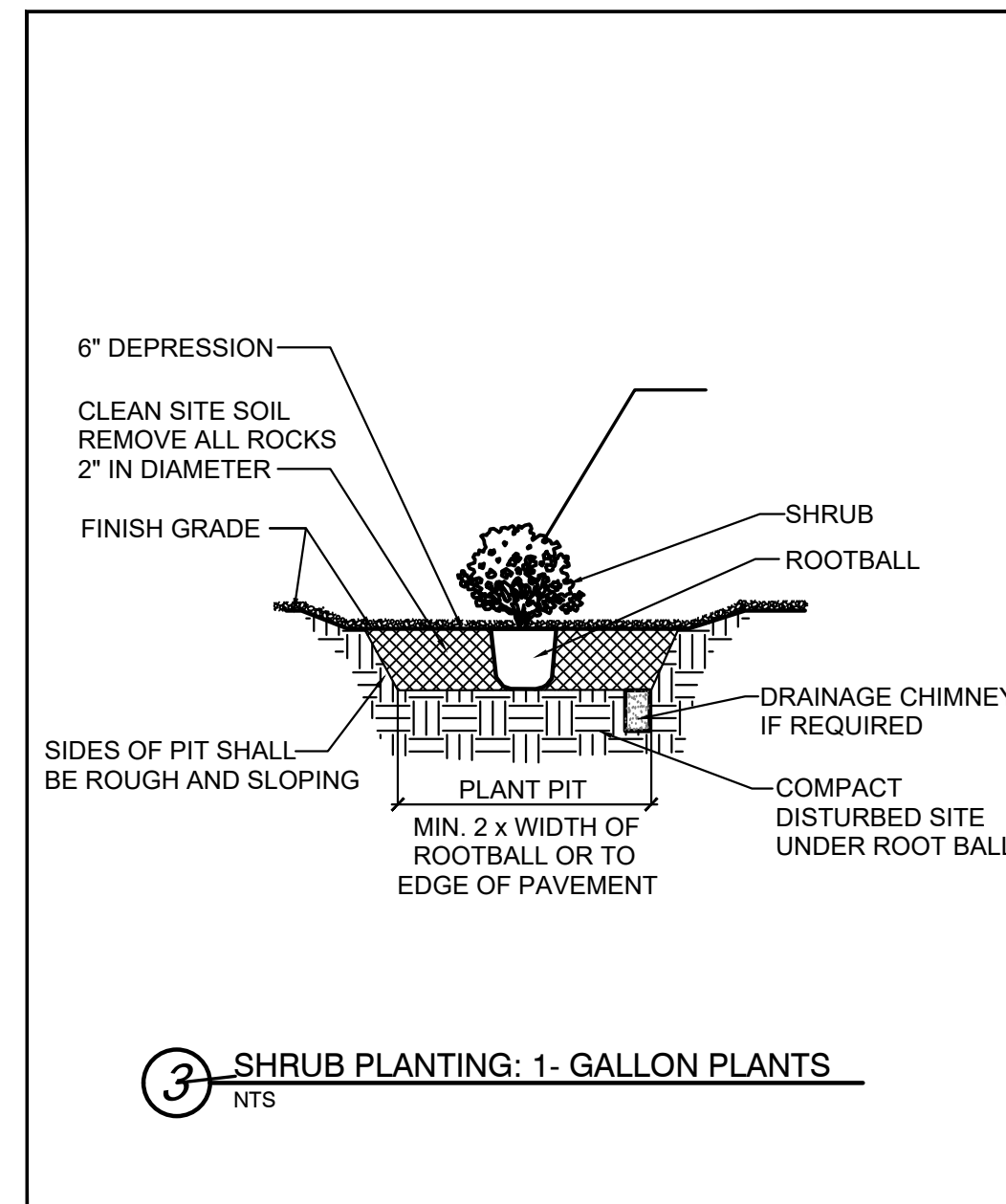
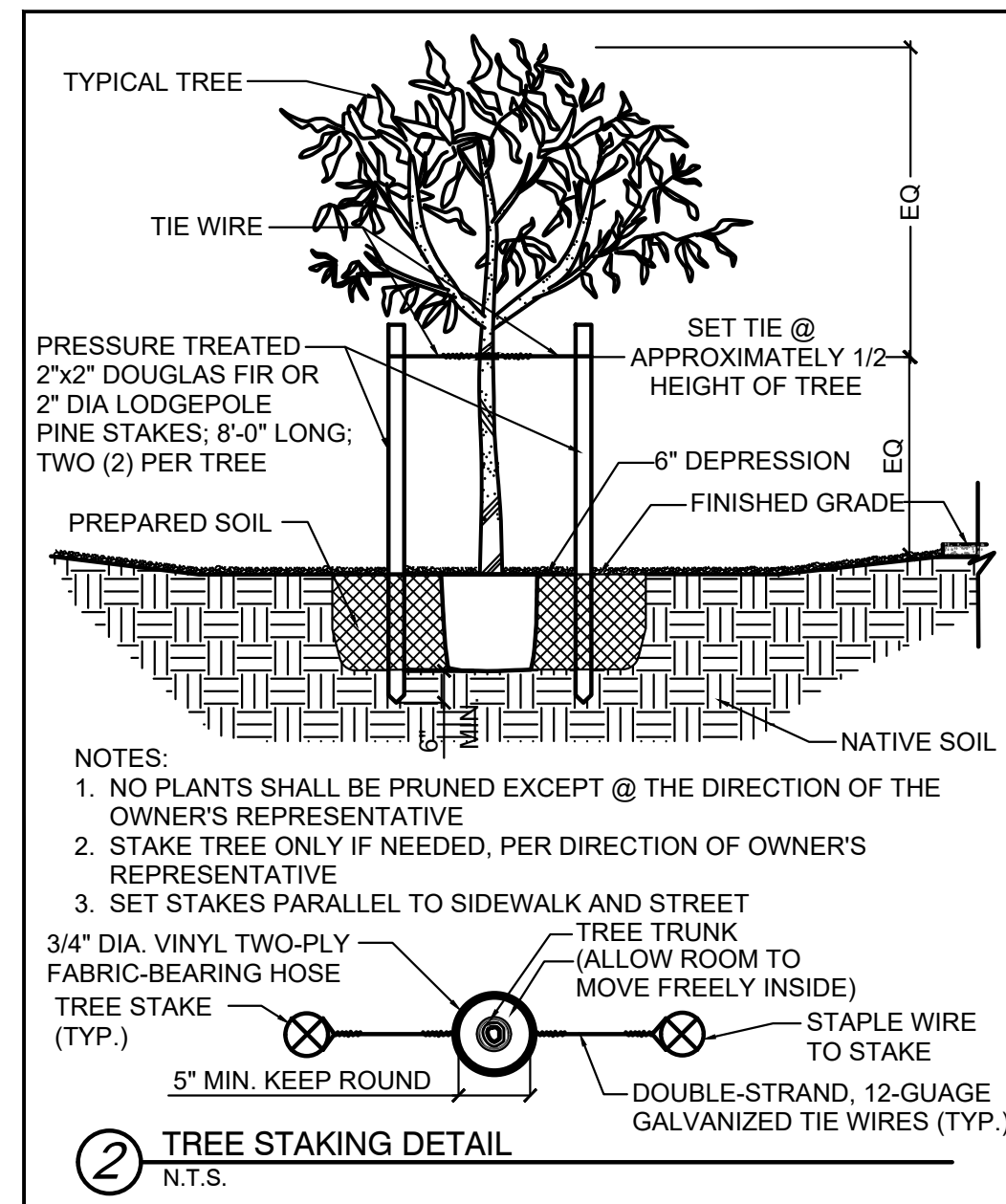
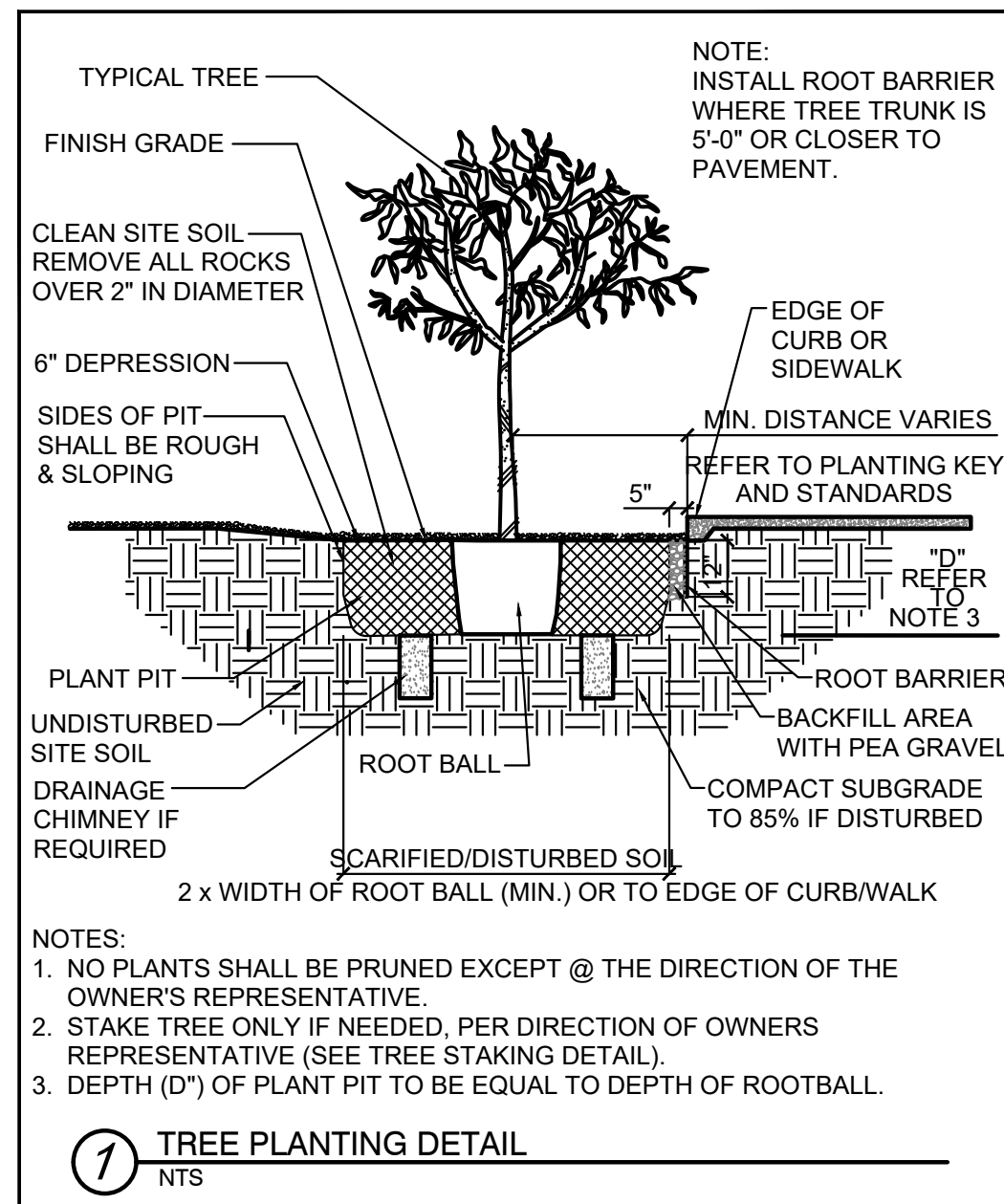
35974 S. Desert Sun Drive
 Tucson, AZ 85739
 (520) 909-4678
 gregs@grslandscapearchitects.com

Date: 1/12/22
 Drawn by: KVP/LMW
 Checked by: GRS

Design Review
 Construction Documents
 Agency Submittal
 Construction Set
 Not for Construction

L-9
 20 of 22

Expires 6-30-2022



DP22-xxx

CONSTRUCTION DETAILS
The Reserve at Valencia Crossing
 Lots 1-50 & Common Areas "A-1"-"A-X" (Landscape, Grading, Drainage and Utilities), "B-1"-"B-X" (Recreation, Landscape, Grading, Drainage and Utilities) & "C-1" (Drainage)
 A Portion of the East Half of Section 11, T-15-S, R-14-E, G&SRM, Tucson, Pima Co, AZ

GRS LANDSCAPE ARCHITECTS, LLC
 35974 S. Desert Sun Drive
 Tucson, AZ 85739
 (520) 909-4678
 gregs@grslandscapearchitects.com

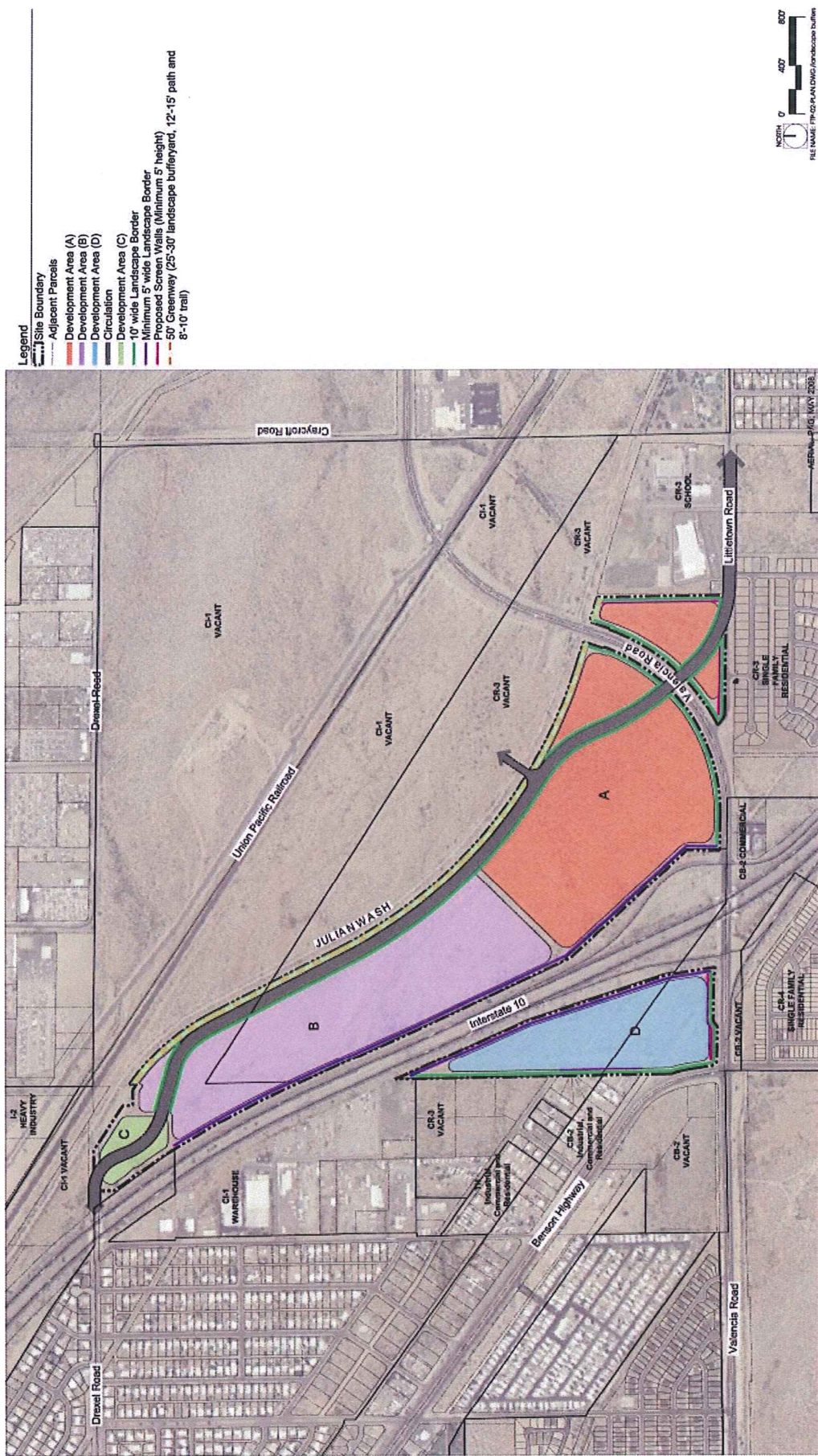
Expires 6-30-2022

Date: 1/12/22
 Drawn by: KVP/LMW
 Checked by: GRS

Design Review
 Construction Documents
 Agency Submittal
 Construction Set
 Not for Construction

L-10
 21 of 22

Exhibit III.D: Landscape Border Plan



Lexy Wellott

From: Lee, Kelly <kelee@kbhome.com>
Sent: Friday, December 10, 2021 9:46 AM
To: Lexy Wellott
Subject: Fwd: Valencia Crossing Minor PAD Amendment

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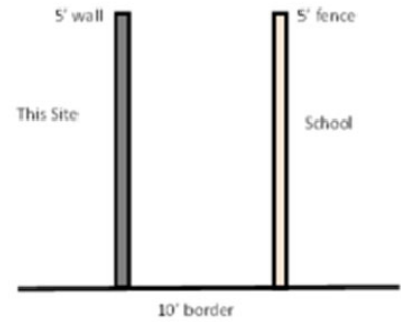
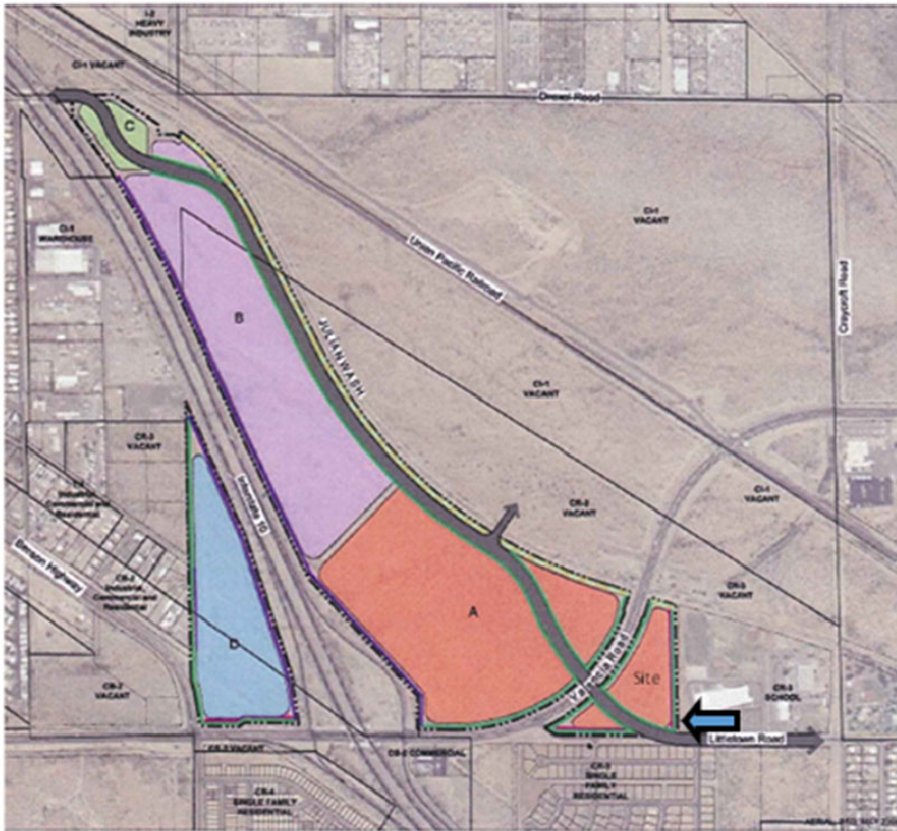
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From: Anne Warner <Anne.Warner@tucsonaz.gov>
Sent: Friday, December 10, 2021 9:11:31 AM
To: Grslar <Grslar@aol.com>
Cc: Lee, Kelly <kelee@kbhome.com>
Subject: Valencia Crossing Minor PAD Amendment

EXTERNAL EMAIL: Do not click links or open attachments unless you recognize the source of the email.

Greg -

I am in support of your request for a plan amendment because requiring a 10' landscape border on the east boundary would result in a tunnel between the two uses, creating an unsafe situation, disregarding the principals of Safe by Design. (see drawing for illustration). Further, there are existing mature trees on the school's property along most of this boundary that provide visual relief. I recommend that the landscape required for this border be planted in a more appropriate location on the project site, including adding trees to the southeast (blue arrow).



Anne Warner,
 RLA, MEd., Planner
anne.warner@tucsonaz.gov
 Planning and Development Services
 City of Tucson

February 17, 2022

City of Tucson
Planning and Development Services Department
201 North Stone Avenue
Tucson, AZ 85701

Subject: Valencia Crossing PAD – Minor Amendment Request
Tax Parcels: 140-36-005C


City of Tucson Development Services Department:

As the representative of above-referenced tax parcel, I hereby authorize The Planning Center and KB Home - Tucson to act as our agents throughout the PAD amendment application process.

Sincerely,

Valencia Crossing Long Term Investment Company, LLC
By: Desert Parcel 510 Associates, LLC
Its: Sole Member

By: Parcel 510, Inc.
Its: Authorized Member



Mr. Robert Morken, President

140-36-005C
VALENCIA CROSSING LONG TERM INVESTMENT CO LLC
ATTN: DESERT PARCEL 510 ASSOCIATES LLC
ROBERT MORKEN
2200 E RIVER RD STE 105
TUCSON AZ 85718-6516