

United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Colonia Solana Residential Historic District (Amendment)

other names/site number same

2. Location

street & number Bounded by Broadway, Country Club, Camino Campestre, Randolph Way. not for publication N/A

city or town Tucson vicinity

state Arizona code 04 county Pima code 019 zip code 85716

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

Thomas W. Gorman AFS(TPO) 11 JUNE 2003
Signature of certifying official/Title Date

ARIZONA STATE PARKS
State of Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:	Signature of the Keeper	Date of Action
<input type="checkbox"/> entered in the National Register. <input type="checkbox"/> See continuation sheet.	_____	_____
<input type="checkbox"/> determined eligible for the National Register <input type="checkbox"/> See continuation sheet.	_____	_____
<input type="checkbox"/> determined not eligible for the National Register.	_____	_____
<input type="checkbox"/> removed from the National Register.	_____	_____
<input type="checkbox"/> other, (explain): _____ _____ _____	_____	_____

5. Classification

<p>Ownership of Property (check as many as apply)</p> <p><input checked="" type="checkbox"/> private <input type="checkbox"/> public-local <input type="checkbox"/> public-State <input type="checkbox"/> public-Federal</p>	<p>Category of Property (check as many as apply)</p> <p><input type="checkbox"/> building(s) <input checked="" type="checkbox"/> district <input type="checkbox"/> site <input type="checkbox"/> structure <input type="checkbox"/> object</p>	<p>Number of Resources within Property (Do not include previously listed resources in the count.)</p> <table border="0"> <tr> <td style="text-align: center;">Contributing</td> <td style="text-align: center;">Noncontributing</td> <td></td> </tr> <tr> <td style="text-align: center;">76</td> <td style="text-align: center;">35</td> <td>building(s)</td> </tr> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">_____</td> <td>site</td> </tr> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">_____</td> <td>structure</td> </tr> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">_____</td> <td>object</td> </tr> <tr> <td style="text-align: center;">79</td> <td style="text-align: center;">35</td> <td>Total</td> </tr> </table>	Contributing	Noncontributing		76	35	building(s)	1	_____	site	1	_____	structure	1	_____	object	79	35	Total
Contributing	Noncontributing																			
76	35	building(s)																		
1	_____	site																		
1	_____	structure																		
1	_____	object																		
79	35	Total																		
<p>Name of related multiple property listing (Enter "N/A" if property is not part of a multiple property listing.)</p> <p>N/A</p>		<p>Number of contributing resources previously listed in the National Register</p> <p>51</p>																		

6. Function or Use

<p>Historic Functions (Enter categories from instructions)</p> <p>Domestic/single dwelling</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Current Functions (Enter categories from instructions)</p> <p>Domestic/single dwelling</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>
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7. Description

<p>Architectural Classification (Enter categories from instructions)</p> <p>Late 19th & early 20th Century Revivals/Spanish Colonial Revival</p> <p>Modern Movement/Ranch</p>	<p>Materials (Enter categories from instructions)</p> <table border="0"> <tr> <td>foundation</td> <td>concrete</td> </tr> <tr> <td>walls</td> <td>Masonry, wood</td> </tr> <tr> <td>roof</td> <td>Asphalt shingle</td> </tr> <tr> <td>other</td> <td>_____</td> </tr> <tr> <td></td> <td>_____</td> </tr> </table>	foundation	concrete	walls	Masonry, wood	roof	Asphalt shingle	other	_____		_____
foundation	concrete										
walls	Masonry, wood										
roof	Asphalt shingle										
other	_____										

Narrative Description (Describe the historic and current condition of the property on one or more continuation sheets.)

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield information important in prehistory or history.

Areas of Significance

(Enter categories from instructions)

Architecture
 Landscape Architecture
 Community Planning and Development

Period of Significance

1928-1955

Significant Dates

N/A

Significant Person

(Complete if Criterion B is marked above)

N/A

Cultural Affiliation

N/A

Architect/Builder

Child, Stephen

Criteria Considerations

(Mark "X" in all the boxes that apply.)

- A owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or a grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance (Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested.
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository:

Colonia Solana Residential Historic District
Name of Property

Pima County, Arizona
County and State

10. Geographical Data

Acreeage of Property 150 acres

UTM References

(Place additional UTM references on a continuation sheet.)

1	1 1 2	5 0 6 9 1 2 0	3 5 6 5 0 0 0
	Zone	Easting	Northing
2	1 1 2	5 0 7 8 1 1 0	3 5 6 5 0 0 0

3	1 1 2	5 0 7 7 9 1 5	3 5 6 4 8 5 0
	Zone	Easting	Northing
4	1 1 2	5 0 6 9 2 1 0	3 5 6 4 8 5 0

See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.) N/A

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.) N/A

11. Form Prepared By

name/title Ralph Comey, Project Manager

organization Ralph Comey Architects date August 9, 2002

street & number 800 N. Swan, Suite 111 telephone (520) 795-1191

city or town Tucson state Arizona zip code 85711

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

- A USGS map (7.5 or 15 minute series) indicating the property's location.
- A Sketch map for historic districts and properties having large acreage or numerous resources.

Photographs

Representative black and white photographs of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner N/A

(Complete this item at the request of SHPO or FPO.)

name _____

street & number _____ telephone _____

city or town _____ state _____ zip code _____

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

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Colonia Solana Residential Historic District
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The purpose of this amendment to the Colonia Solana Residential Historic District is to submit 32 additional houses for nomination as contributing buildings. These houses have become eligible since the previous amendment of 1998. 23 of these houses are now at least 50 years old, and 6 houses in 2003, 2 houses in 2004, and 3 houses in 2005 will be 50 years old.

Colonia Solana was proposed for nomination to the National Register because it is a very unique historic neighborhood. Although located within the city of Tucson, Colonia Solana was designed to provide an informal desert setting for 111 houses. An existing arroyo formed the basis for a curvilinear street pattern with narrow landscaped right of ways and several mini-parks. Native desert vegetation was planted liberally along the streets and the arroyo. Distinctive period revival and contemporary style residences were built in Colonia Solana and they have been well maintained through the years. Within the neighborhood, there is a strong sense of place and a feeling of unity. The community plan, the landscape architecture, and the quality residences together form a cohesive and unusual neighborhood. Colonia Solana is a unique local example of the national suburban movement which began during the 1920s, and thus, has an interesting historical relationship with that period.

Colonia Solana has changed only slightly during the past 4 years. The special features of the original neighborhood street pattern, the vegetation, the mini-parks, the Arroyo Chico park, and the "Arizona dips" essentially are unchanged. (See photos.)

The City of Tucson drainage improvements along the southeast edge of Colonia Solana, noted in the 1998 amendment, are less obvious now, since the landscaping has matured. (See photo.)

During 2001, a commercial building was completed at the northwest corner of Colonia Solana, at the intersection of Broadway and Country Club. This building of stucco and brick is in the Neoclectic style with southwestern features, and it has been sited on the front setback lines to help mitigate its impact on Colonia Solana. It makes a contextural relationship with the historic Spanish Colonial Revival Style Joesler-designed Broadway Village Shopping Center across Country Club to the west.

Most of the houses in Colonia Solana have remained unaltered. A few non-obtrusive additions, alterations, and other maintenance improvements to some of the houses have been made during the past 4 years. Three potential contributors in the current group of houses (#72, #106, #107) are now non-contributors because of extensive or obtrusive exterior alterations. An original contributor (#91) will become a non-contributor because of an assertive front alteration. Two contributors nominated in 1998 (#74, #76) will become non-contributors because of extensive façade alterations now underway. But these are the exceptions. Colonia Solana's residents have cherished the unique naturalized environment through the years and have worked together to protect it. No doubt, their efforts have helped preserve Colonia Solana as it is today.

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In 1988, when Colonia Solana was placed on the National Register, there were 35 contributing structures and 78 non-contributing. Since that time, 15 non-contributing houses built in or before 1949 became, or soon would become, eligible in 1999. (One additional house (#78) built in 1947 was a non-contributor due to extensive additions.)

In July 2002, Ralph Comey Architects visually inspected and photographed the 32 proposed non-contributing houses to determine their status. Contributing buildings must be: (1) constructed within the period of significance (built before 1955); (2) sufficiently intact with only minor alterations or additions which do not compromise the architectural integrity of the structure; (3) of significant architectural value, including stylistic merit; and (4) associated with a historically prominent resident or designing architect. In the 1988 district nomination, 19 of the non-contributing houses were recommended for future inclusion as contributing buildings, because they contribute to an understanding of the architectural development within the district and because they are architecturally significant or historically significant buildings. 7 of these recommended houses have come of age at this time.

In 1998 and again this year (2002), however, in reviewing the non-contributing buildings, we believe that we were too restrictive in the 1988 nomination. Many of the non-contributing houses are essentially not less worthy. Therefore, we are proposing 25 more beyond the original 7, for a total of 32 houses as nominees. Thus the number of resources within the neighborhood in 1988 were:

35	contributing (built before 1942)
<u>78</u>	non-contributing
113	total

In 1999 there were:

35	old contributing
10	new contributing (eligible in 1998)
<u>5</u>	new contributing (eligible in 1999)
50	total contributing
50	total contributing
<u>64</u>	remain non-contributing (includes 1 new house)
114	total

In 2002 there are:

47	existing contributing (3 have become non-contributing)
32	new contributing proposed
<u>35</u>	non-contributing
114	total

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Among the 32 houses being proposed, the ages of the houses are as follows:

At least 50 years old	22
50 years old in 2003	5
50 years old in 2004	2
50 years old in 2005	<u>3</u>
	32

Among the 32 houses being proposed, the following architectural styles are represented:

Ranch Style	29
Spanish Colonial Revival	1
Modern	<u>2</u>
Total	32

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Here is a list of the proposed properties (listed by street address):

#13	3252 E. Broadway	1952
#37	190 S. Randolph Way	1952
#109	3249 Camino Campestre	1952
#118	3331 Camino Campestre	1954
#64	425 S. Country Club Road	1950
#63	435 S. Country Club Road	1953
#62	3145 Arroyo Chico	1952
#104	3202 Arroyo Chico	1950
#112	3312 Arroyo Chico	1952
#82	3333 Arroyo Chico	1951
#114	3364 Arroyo Chico	1953
#115	3380 Arroyo Chico	1955
#97	3435 Arroyo Chico	1954
#4	150 Avenida de Palmas	1950
#69	400 Avenida de Palmas	1951
#90	565 Avenida de Palmas	1951
#6	3135 Via Palos Verdes	1952
#29	3210 Via Palos Verdes	1951
#15	3259 Via Palos Verdes	1951
#68	345 Via Golondrina	1951
#60	502 Via Golondrina	1955
#66	505 Via Golondrina	1951
#41	3330 Via Golondrina	1950
#45	3410 Via Golondrina	1953
#22	142 Calle Chaparita	1951
#39	185 Calle Chaparita	1952
#23	190 Calle Chaparita	1950
#73	560 Via Guadalupe	1953
#52	3425 Via Guadalupe	1951
#85	3440 Via Guadalupe	1954
#49	3455 Via Guadalupe	1955
#88	3489 Via Esperanza	1950

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Following is a brief description of the styles:

Ranch Style

The Ranch Style originated in California in the 1930s and gained popularity in the 1940s to become the dominant style throughout the country during the 1950s and '60s. Likewise, it was popular in Tucson. The popularity of the spreading Ranch Style houses on large suburban lots was made possible by increased use of the automobile. An attached built-in garage further increased façade width. The style is based loosely on early Spanish Colonial precedents and modified by certain Craftsman and Prairie School early 20th century influences. It is also based partly on the forms of early indigenous west coast ranch and homestead architecture.

The style is expressed by one-story buildings with low-pitched roofs in hipped or gables forms. Eave overhangs usually are generous, often with rafters exposed. Wood and brick wall surfaces with spaced casement and picture windows, sometimes with shutters, are common, and sometimes touches of traditional Spanish or English Colonial inspired detailing are used. Decorative iron or wooden porch supports are typical, and private courtyards or rear patios are a common feature. In the southwest, the Sonoran style influence is recognizable. Fired adobe brick walls, sometimes stucco walls, with grouped windows under overhangs and blank walls facing the east or west solar exposure are frequently seen.

There are 29 Ranch Style houses in the current nomination. 24 of these houses are straightforward examples of the style, while 5 houses show a Spanish Colonial Revival influence. For example, #37 is a handsome pure Ranch Style house with its broad overhangs, low residential scale, and recessed entry. #68 is an attractive Ranch Style house with Spanish Colonial Revival features. It has a long rectilinear plan, low overhanging gable roof with a step down gable, and a broad front porch, characteristic of the Ranch Style, but it has a number of details, such as the grouted Mission tile roof, the burnt adobe brick and the ornamental brick window trim which are suggestive of the Spanish Colonial Revival Style.

Spanish Colonial Revival Style

The Spanish Colonial Revival Style developed after 1915 using Spanish Colonial prototypes. The style is characterized by a low pitched roof, usually with little or no eave overhang; a red tile roof surface; one or more arches placed above door or main window, or along a porch; wall surfaces usually of stucco; and a main façade normally asymmetrical. There are many variations using gable or hipped roofs, as well as flat roofs with parapeted walls, sometimes with shed roofs above porches or projecting windows. The style uses decorative details borrowed from the entire history of Spanish architecture, and these may be of Moorish, Byzantine, Gothic, or Renaissance inspiration. Most buildings are faced

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with stucco. In Tucson, brick facades, usually with ornamental brickwork, are a local variation. These reflect a Spanish Colonial influence from northern Mexico.

Two types of roof tile are used: Mission tile, which are shaped like half-cylinders, and Spanish tile, which are "S" curved in shape. Highly carved or many-paneled doors are typical and sometimes adjacent spiral columns, carved stonework, or patterned tiles are used. Secondary doors often are glazed. Decorative window grilles and balustrades, decorated chimney tops, brick or tile vents, fountains, arcaded walkways and round or square towers also are characteristic. Other design variations include arches above doors and principal windows, balconies, elaborated door surrounds and ornamental light fixtures.

Prior to the Spanish Colonial Revival is the "Sonoran Revival" or the Tucson version of the Spanish Colonial or Mexican Colonial architecture of the Arizona frontier. The early houses are one-story rectangular, or cubic in form, presenting high flat facades of exposed adobe on stone bases with parapet walls pierced by decorative drainpipes, or canales. Doorways are recessed and window openings often are placed at random. Later, because of adobe deterioration, the walls were stuccoed and capped with a brick course. The early Sonoran style was transformed gradually through Anglo influence. During the 1880s, sloping or pyramidal roofs were added to provide better roof protection. Later still, the parapets and canales were eliminated, making the walls lower with changed proportions. Other Anglo aspects were introduced as the Territorial Style developed.

In the current group of houses, #90 is the only house in the Spanish Colonial Revival Style. It has a long, horizontal scale with interlocking plan elements, varied height parapets, and an informal residential character. With its mortar washed walls, ornamental brick parapet cap, and brick ornamental soldier course framing the window and door openings, it suggests a Spanish Colonial influence.

Modern Style

The Modern Style developed during the late 1940s in the work of innovative architects and was most favored for custom designed houses built between 1950 and 1970. This style evolved from the International Style and the Craftsman and Prairie Styles as well as from the traditional Japanese villa, rural Alpine and Scandinavian forms, and from the early indigenous western ranch architecture which also inspired the Ranch Style. Like the International Style, it is based on certain intellectual premises relating to design, construction, and the use of materials.

Modern houses with flat roofs resemble the International Style except that natural materials – particularly wood, brick and stone, frequently are used. Gable forms feature overhanging eaves and often exposed roof framing. Usually, there is a horizontal emphasis with floating roofs and solid-void wall relationships arranged to create an indoor-outdoor spatial connection. Also, there is an attempt to

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integrate the house into the landscape rather than contrast with it, as in the International Style. Frank Lloyd Wright's later work had a strong influence on the Modern Style.

Among these submitted houses, two are in the Modern Style, with a Ranch Style influence. For example, #45 has rectangular glazed window areas with a feeling of an indoor-outdoor spatial flow and a bold cantilevered roof at the carport end which suggests the Modern Style. The low horizontal scale, the low pitched stepped gable roof, the overhanging eaves and the sheltered recessed entry reflect the Ranch Style.

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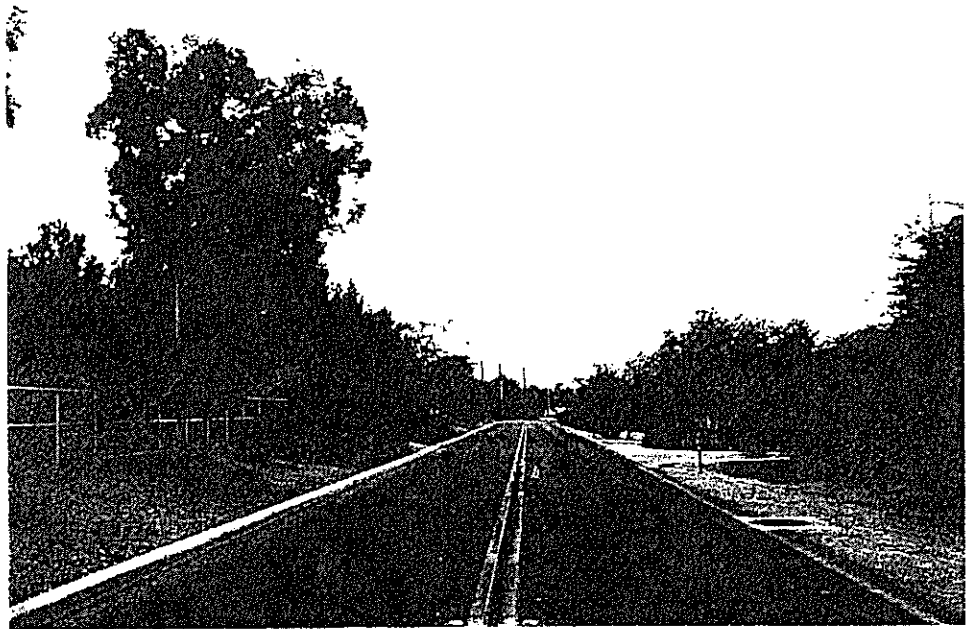
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View looking south along Randolph Way next to Randolph Park at east edge of Colonia Solana. Street traffic here is light. Plantings installed 6 years ago after a drainage project have now matured..

Photo 1



View looking southwest at culvert under Randolph Way. Plantings have become mature and provide improved visual screening.

Photo 2



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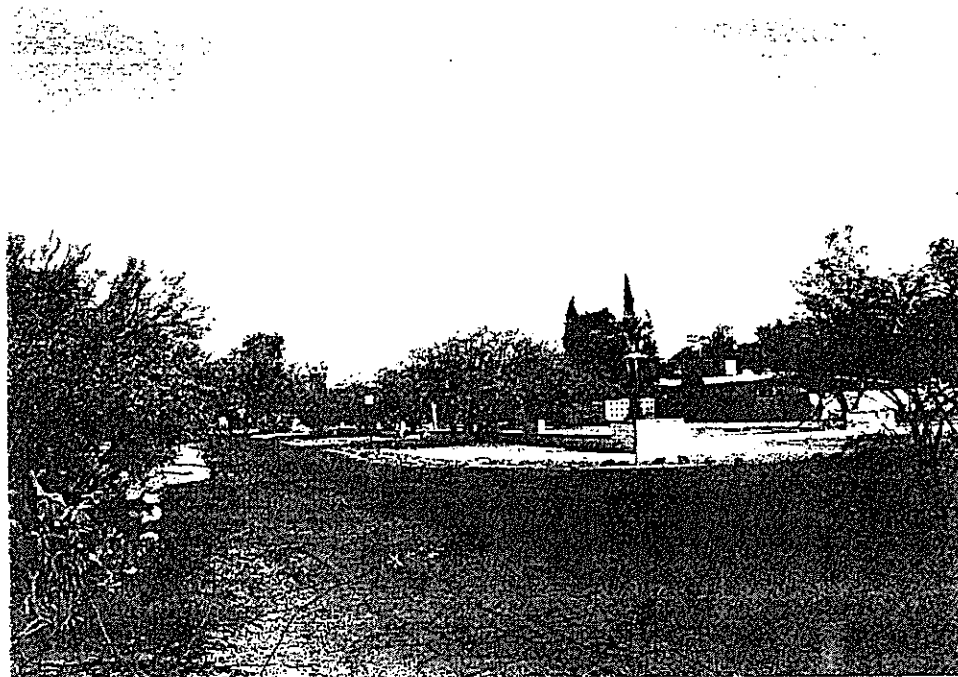
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View looking north along Via
Guadalupe toward Arroyo Chico.
Note dense vegetation in this
riparian zone.
Photo 3.



View looking west along Arroyo
Chico (north side) at intersection
with Via Golondrina towards
Price Residence.
Photo 4.



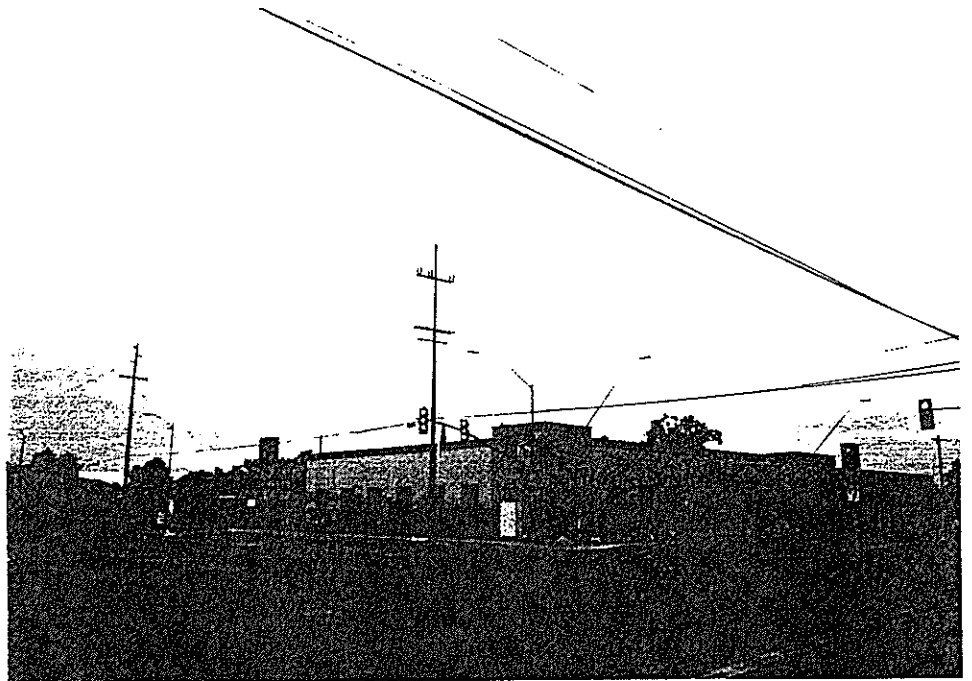
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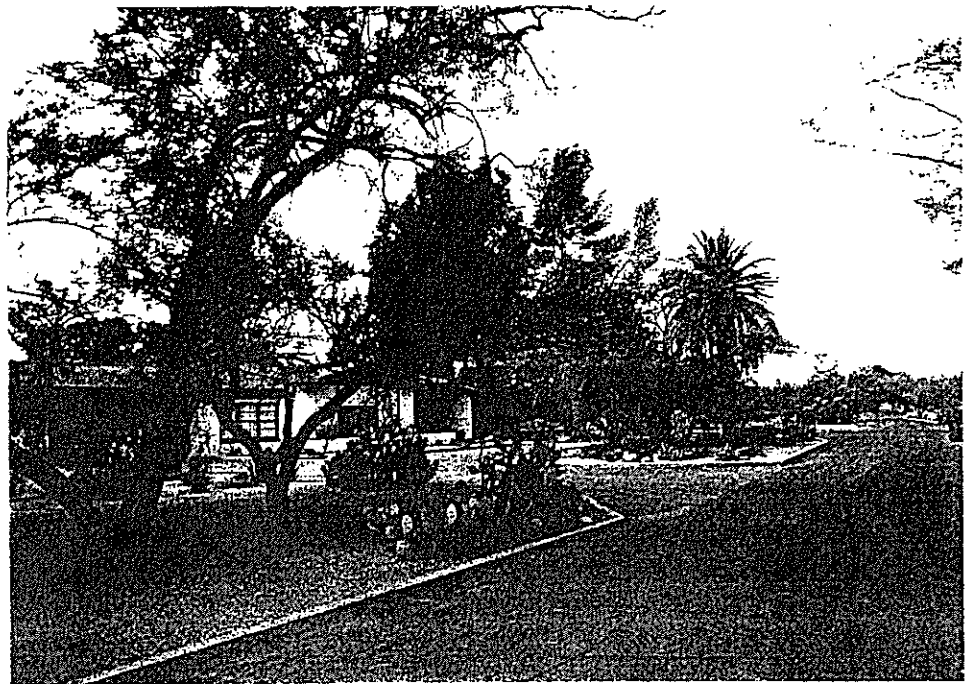
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View looking southeast towards new Neoelectic Style commercial buildings at intersection of Broadway and Country Club at northwest corner of Colonia Solana. Traffic is heavy on both streets.
Photo 5.



View looking southwest along Via Golondrina showing Mandel Residence. Note desert landscaping.
Photo 6.



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View looking southwest towards Blixt Residence beyond mini-park at intersection of Via Golondrina and Avenida de Palmas. Note desert vegetation.
Photo 7.



View looking north across mini-park towards Van Atta Residence at the intersection of Via Palos Verdes and Avenida de Palmas.
Photo 8.



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View looking southwest towards Lintler Residence. This Ranch Style house shows a Spanish Colonial Revival Style influence. Photo 9.



View looking southwest towards O'Dowd #2 Residence. This interesting house is in the Ranch Style. It has such characteristic elements as a long low-pitched gable roof, overhanging eaves, and a residential scale. The dramatic glazed gable end and small, partially screened, entry patio are unusual, well-designed features. Photo 10.



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Here is a list of all the contributors and non-contributors in the neighborhood:

Lot 20	4072 E. 22 nd St. PMB #186	non-contributor
Lot 98	3110 E. Arroyo Chico	non-contributor
Lot 62	3145 E. Arroyo Chico	contributor
Lot 99	3150 E. Arroyo Chico	contributor
Lot 65	3201 E. Arroyo Chico	non-contributor
Lot 104	3202 E. Arroyo Chico	contributor
Lot 74	3231 E. Arroyo Chico	non-contributor
Lot 105	3242 E. Arroyo Chico	contributor
Lot 106	3248 E. Arroyo Chico	non-contributor
Lot 112	3312 E. Arroyo Chico	contributor
Lot 83	3323 E. Arroyo Chico	non-contributor
Lot 82	3333 E. Arroyo Chico	contributor
Lot 81	3345 E. Arroyo Chico	contributor
Lot 113	3346 E. Arroyo Chico	contributor
Lot 114	3364 E. Arroyo Chico	contributor
Lot 80	3377 E. Arroyo Chico	non-contributor
Lot 115	3380 E. Arroyo Chico	contributor
Lot 92	3407 E. Arroyo Chico	non-contributor
Lot 97	3435 E. Arroyo Chico	contributor
Lot 2	100 S. Avenida de Palmas	contributor
Lot 3	140 S. Avenida de Palmas	contributor
Lot 18	147 S. Avenida de Palmas	contributor
Lot 4	150 S. Avenida de Palmas	contributor
Lot 17	155 S. Avenida de Palmas	contributor
Lot 5	244 S. Avenida de Palmas	contributor
Lot 57	300 S. Avenida de Palmas	contributor
Lot 58	340 S. Avenida de Palmas	contributor
Lot 69	400 S. Avenida de Palmas	contributor
Lot 70	436 S. Avenida de Palmas	contributor
Lot 53	449 S. Avenida de Palmas	contributor
Lot 84	515 S. Avenida de Palmas	contributor
Lot 78	520 S. Avenida de Palmas	non-contributor
Lot 91	545 S. Avenida de Palmas	non-contributor
Lot 79	550 S. Avenida de Palmas	non-contributor
Lot 90	565 S. Avenida de Palmas	contributor
Lot 13	3252 E. Broadway	contributor
Lot 14	3294 E. Broadway	contributor

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Lot 21	3362 E. Broadway	non-contributor
Lot 40	125 S. Calle Chaparita	non-contributor
Lot 22	142 S. Calle Chaparita	contributor
Lot 39	185 S. Calle Chaparita	contributor
Lot 23	190 S. Calle Chaparita	contributor
Lot 101	3145 E. Camino Campestre	non-contributor
Lot 110	3243 E. Camino Campestre	contributor
Lot 109	3249 E. Camino Campestre	contributor
Lot 108	3255 E. Camino Campestre	non-contributor
Lot 119	3301 E. Camino Campestre	non-contributor
Lot 118	3331 E. Camino Campestre	contributor
Lot 117	3351 E. Camino Campestre	non-contributor
Lot 116	3371 E. Camino Campestre	non-contributor
Lot 121	3435 E. Camino Campestre	non-contributor
Lot 9	221 S. Country Club	contributor
Lot 8	239 S. Country Club	contributor
Lot 7	315 S. Country Club	contributor
Lot 64	425 S. Country Club	contributor
Lot 63	435 S. Country Club	contributor
Lot 103	555 S. Country Club	non-contributor
Lot 102	575 S. Country Club	non-contributor
Lot 37	190 S. Randolph Way	contributor
Lot 95	430 S. Randolph Way	non-contributor
Lot 96	444 S. Randolph Way	non-contributor
Lot 120	501 S. Via Esperanza	non-contributor
Lot 122	515 S. Via Esperanza	non-contributor
Lot 93	3448 E. Via Esperanza	contributor
Lot 89	3455 E. Via Esperanza	non-contributor
Lot 94	3480 E. Via Esperanza	contributor
Lot 88	3489 E. Via Esperanza	contributor
Lot 68	345 S. Via Golondrina	contributor
Lot 67	445 S. Via Golondrina	contributor
Lot 59	450 S. Via Golondrina	non-contributor
Lot 60	502 S. Via Golondrina	contributor
Lot 61	502 S. Via Golondrina	contributor
Lot 66	505 S. Via Golondrina	contributor
Lot 100	630 S. Via Golondrina	non-contributor
Lot 111	645 S. Via Golondrina	non-contributor

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National Register of Historic Places
Continuation Sheet

Section number 7 Page 15

Colonia Solana Residential Historic District
name of property
Pima County, Arizona
county and state

Lot 26	3325 E. Via Golondrina	contributor
Lot 41	3330 E. Via Golondrina	contributor
Lot 25	3337 E. Via Golondrina	contributor
Lot 42	3346 E. Via Golondrina	contributor
Lot 43	3352 E. Via Golondrina	contributor
Lot 24	3355 E. Via Golondrina	contributor
Lot 44	3380 E. Via Golondrina	contributor
Lot 45	3410 E. Via Golondrina	contributor
Lot 46	3450 E. Via Golondrina	contributor
Lot 38	3455 E. Via Golondrina	contributor
Lot 47	3488 E. Via Golondrina	contributor
Lot 77	525 S. Via Guadalupe	contributor
Lot 72	550 S. Via Guadalupe	non-contributor
Lot 76	555 S. Via Guadalupe	non-contributor
Lot 73	560 S. Via Guadalupe	contributor
Lot 75	575 S. Via Guadalupe	contributor
Lot 107	602 S. Via Guadalupe	non-contributor
Lot 52	3425 E. Via Guadalupe	contributor
Lot 51	3435 E. Via Guadalupe	non-contributor
Lot 85	3440 E. Via Guadalupe	contributor
Lot 50	3445 E. Via Guadalupe	non-contributor
Lot 49	3455 E. Via Guadalupe	contributor
Lot 86	3464 E. Via Guadalupe	contributor
Lot 48	3489 E. Via Guadalupe	contributor
Lot 87	3490 E. Via Guadalupe	contributor
Lot 54	3114 E. Via Palos Verdes	contributor
Lot 55	3134 E. Via Palos Verdes	contributor
Lot 6	3135 E. Via Palos Verdes	contributor
Lot 56	3144 E. Via Palos Verdes	non-contributor
Lot 29	3210 E. Via Palos Verdes	contributor
Lot 16	3233 E. Via Palos Verdes	contributor
Lot 30	3236 E. Via Palos Verdes	contributor
Lot 31	3248 E. Via Palos Verdes	contributor
Lot 15	3259 E. Via Palos Verdes	contributor
Lot 32	3260 E. Via Palos Verdes	contributor
Lot 33	3272 E. Via Palos Verdes	contributor

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**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section	8.9	Page	15A	name of property	Colonia Solana Residential Historic District
				county	Pima
				state	Arizona

Level of significance

The Colonia Solana Residential Historic District was listed on the National Register on January 4, 1989. It was listed at the local level of significance. However, recent information has brought to light the significance of the property as the "last known, and perhaps only surviving, work..." of noted landscape architect Stephen Child. That statement is found in *Pioneers of American Landscape Design* edited by Charles Birnbaum and Robin Karson, page 51. Given this information, the Arizona Historic Sites Review Committee (state review board) has recommended this property at the state level of significance. As discussed in the original nomination and reiterated in this amendment to the district, the property retains excellent integrity of the major features that Child designed into the plan for the subdivision.

Bibliography

Birnbaum, Charles A, FASLA, and Robin Karson, editors. *Pioneers of American Landscape Design*. McGraw-Hill Companies, 2000.

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National Register of Historic Places Continuation Sheet

Colonia Solana Residential Historic District

name of property
Pima County, Arizona
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Section number 8 Page 16

The Colonia Solana Residential Historic District (1928-1955) was nominated to the National Register of Historic Places because of its general significance and under criteria of significance A and C. It has general significance because of its integrity of design, setting, materials and workmanship, atmosphere, and cohesiveness. Under criterion A, Colonia Solana was nominated for its role in the historic development of community planning, architecture, and landscape architecture in Tucson. Under criterion C, Colonia Solana was nominated because it is a significant community design which represents the work of a master, the landscape architect Stephan Childs. One part of criterion C deals with architecture. Colonia Solana is significant because of the fine quality and historic value of many of the revival style houses which were built during its historic period. While many of the older individual houses are distinguished, the strength of the total body of housing is the most significant factor which reinforces the strong neighborhood character and historical importance.

The houses which are being nominated now were constructed during the post World War II period (1945-1955). After the war, building practices and changing tastes favored a simpler style of architecture, and the Ranch Style became predominant. This trend occurred nationally as well as in Tucson. 1955 was chosen as an end date for this nomination because after 1955, there was a brief lull in construction during 1956 and 1957.

In this group of houses, there are examples of the Ranch Style, as well as one Spanish Colonial Revival and two Modern Style houses. As with the older houses, Spanish Colonial and southwestern influences can be seen.

Colonia Solana is important in the historic development of architecture in Tucson. Because it is a development of fine homes governed by deed restrictions, it contains excellent examples of residential architecture in Tucson over a period of four decades. The houses are well maintained and little altered, and their neighborhood has not changed. Both the houses and their setting look much the same as they did when they were built. (Unfortunately, elsewhere in Tucson many fine historic houses and other buildings have been torn down, altered, or have been located in neighborhoods which have changed.)

The following houses are being nominated to be included as contributing structures in Colonia Solana because they contribute to an understanding of the architectural development within the historic district, as well as in Tucson. Also, they are architecturally significant as being representative examples of their styles or having unusual design quality or features.

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National Register of Historic Places Continuation Sheet

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Colonia Solana Residential Historic District
name of property
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Site:	No. 4
Location:	150 Avenida de Palmas
Historic Name:	Richardson Residence
Date:	1950

This house is in the Ranch Style with some Spanish Colonial Revival features. The low horizontal massing and eave overhangs are typical of the Ranch Style while the grouted Mission tile roof and the bracketed porch columns are reflective of the Spanish Colonial Revival Style.

Site:	No. 6
Location:	3135 Via Palos Verdes
Historic Name:	Katcher Residence
Date:	1952

This house is representative of the Ranch Style with its rectilinear form, overhanging eaves, and low residential scale.

Site:	No. 13
Location:	3252 Broadway
Historic Name:	Virtue Residence
Date:	1952

This house is in the Ranch Style. The rectilinear plan, the low-pitched sheltering roof, the red brick walls, and the recessed entry porch are characteristic features of the style.

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Colonia Solana Residential Historic District
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Site: No. 15
Location: 3259 Via Palos Verdes
Historic Name: Mack Residence #2
Date: 1951

This Ranch Style house has the typical long low overhanging roof, recessed entrance, brick façade and spaced casement windows.

Site: No. 22
Location: 142 S. Calle Chaparita
Historic Name: O'Dowd Residence #2
Date: 1951

This large house is in the Ranch Style. It possesses the typical elements, but the long, low-pitched gable roof ends in a dramatic wall of glass facing the side patio. There is a small entry patio with wood grilles and battered brick piers, one with an arched opening into the larger walled patio.

Site: No. 23
Location: 190 S. Calle Chaparita
Historic Name: Smith Residence
Date: 1950

This brick-faced, low-scaled house is in the Ranch Style. The sheltered entrance, the large casement windows with fixed glass, and the overhanging low-pitched gable roof are common features.

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Colonia Solana Residential Historic District
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Site:	No. 29
Location:	3210 Via Palos Verdes
Historic Name:	Renaud Residence
Date:	1951

Spanish Colonial Revival Style features are added to this Ranch Style house. The low-pitched gable roof with a cross gable is covered with grouted Mission tile. The long low extended house is faced with mortar washed brick. The spaced casement windows and recessed entrance are typical Ranch Style elements.

Site:	No. 37
Location:	190 S. Randolph
Historic Name:	Blixt Residence No. 2
Date:	1952

This sizeable house is in the Ranch Style. The long, low overhanging gable roof with exposed beams, the sheltered corner entry, and the grouped casement windows are characteristic features. The face brick is accented by vermilion red windows and reddish brown roof edge and eaves below brown asphalt shingles.

Site:	No. 39
Location:	185 S. Calle Chaparita
Historic Name:	Manspeaker Residence
Date:	1952

This Ranch Style house has an unusual floor layout. The rectangular plan has a cut-out at the front corner, creating a generous entry porch. The low end gable faces the street while a higher pitched gable roof within the house has dramatic gable ends. Other features are characteristic.

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Colonia Solana Residential Historic District
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Site: No. 41
Location: 3330 Via Golondrina
Historic Name: Mandel Residence
Date: 1950

This house is in the Ranch Style with a Spanish Colonial Revival Style influence. With an angled plan to fit the curving street and the corner lot, there are a number of Ranch Style features—the low overhanging gable roof, the dramatic glazed end of the front crossed gable, and the glazed front entry with the recessed front entrance. The red Spanish tile roof is a Spanish Colonial Revival Style touch.

Site: No. 45
Location: 3410 Via Golondrina
Historic Name: Silverman Residence
Date: 1953

This Modern Style house has a Ranch Style influence. The bold cantilevered gable end, the strip windows, and the large glass areas which create an indoor-outdoor spatial flow are Modern Style features. The low-pitched gable roofs with the wood shakes, the adobe brick walls, and the informal, non-symmetric arrangement of elements suggest the Ranch Style.

Site: No. 49
Location: 3455 Via Guadalupe
Historic Name: Kurtin Residence
Date: 1955

This Ranch Style house has a characteristic rectangular plan, low overhanging gable roof, and red brick walls with spaced steel casement windows. The red Spanish tile roof lends a southwestern accent.

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Colonia Solana Residential Historic District
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Site: No. 52
Location: 3425 Via Guadalupe
Historic Name: Bogard Residence
Date: 1951

An extended eave line creates a generous front porch for this Ranch Style house. Other typical features include low horizontal massing, a low-pitched gable roof with a hipped cross gable, and spaced casement windows with fixed glass.

Site: No. 60
Location: 502 Via Golondrina
Historic Name: Laz Residence
Date: 1955

This Ranch Style house has a number of typical features, including a rectangular form with a plan step back which creates a generous front porch, low-pitched overhanging gable roofs with one stepped down gable, and a low eave line which establishes a residential scale.

Site: No. 62
Location: 3145 Arroyo Chico
Historic Name: Price Residence
Date: 1952

This Ranch Style house has a simple rectilinear form with a plan projection to the side, but the front and side enclosed patios give the house a more complex appearance. Ranch Style elements include a residential scale, the low-pitched gable roof with eave overhangs and exposed rafters, and the front and side porches created by roof overhangs.

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Colonia Solana Residential Historic District
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Site:	No. 63
Location:	435 S. Country Club
Historic Name:	Sulger Residence
Date:	1953

A generous full-width front porch creating shade distinguishes this Ranch Style house. Typical features include a low-pitched open framed hipped roof, a broad entrance door and spaced casement windows. The small gable projection emphasizing the main entrance and the round porch columns with carved brackets are unusual details.

Site:	No. 64
Location:	425 S. Country Club
Historic Name:	Swift Residence
Date:	1950

This Ranch Style house has a generous open-framed ramada extending across the front as well as a generous front porch and garage to shield the west sun. A low-pitched gable roof with open-framed eaves, painted face brick, and spaced steel casement windows are typical features.

Site:	No. 66
Location:	505 Via Golondrina
Historic Name:	Garten Residence
Date:	1951

This house is in the Ranch Style. The long, low overhanging roofs, the stepped down gable, and the recessed entry are typical. Other stylistic features are the grouped wood double hung windows with wrought iron grillwork and painted wood shutters in a red brick façade.

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Colonia Solana Residential Historic District
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Site:	No. 68
Location:	345 Via Golondrina
Historic Name	Lintler Residence
Date:	1951

This Ranch Style house expresses a Spanish Colonial Revival Style influence. The long rectilinear form with the step back at the entry, the overhanging eaves with exposed beam ends, and the stepped down gable roof are characteristic. The grouted Mission tile roof, the burnt adobe brick walls and the projecting ornamental brickwork framing the windows are Spanish Colonial Revival Style touches.

Site:	No. 69
Location:	400 S. Ave. de Palmas
Historic Name:	Blixt Residence
Date:	1951

This house contains some of the best features of the Ranch Style, such as the low-pitched, overhanging gable roof with exposed beam ends which creates a sheltered front porch by virtue of the plan setback, the wide wood-paneled entrance door, the spaced steel casement windows with the front picture window, and the wood shake roof. The wood porch columns with carved brackets and the burnt adobe brick express a southwestern influence.

Site:	No. 73
Location:	560 Via Golondrina
Historic Name	Kaufman Residence
Date:	1953

This house is in the Modern Style with a Ranch Style influence. The solid-void relationships at the entry and the band of strip windows emphasizing the horizontality of the façade are Modern Style expressions, while the low-pitched hipped roof with overhanging eaves and the mortar washed face brick suggest the Ranch Style.

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Colonia Solana Residential Historic District
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Site: No. 82
Location: 3333 Arroyo Chico
Historic Name: Wilkison Residence
Date: 1951

This house maximizes some of the best features of the Ranch Style. The dark wood shake roof with the step down gable, and the overhanging eaves with dark stained exposed beams above the adobe brick façade create a rich combination of materials. The front porch sheltering the wide entrance door welcomes the visitor.

Site: No. 85
Location: 3440 Via Guadalupe
Historic Name: Myerson Residence
Date: 1954

This house is in the Ranch Style with a Spanish Colonial Revival Style influence. The overhanging hipped roof, the long low eave line, and the recessed entry with the wide entrance door are Ranch Style features. The grouted Mission tile roof, the corbelled brick chimneys and the burnt adobe brick are details suggestive of the Spanish Colonial Revival Style.

Site: No. 88
Location: 3489 Via Esperanza
Historic Name: Lesemann Residence
Date: 1950

This Ranch Style house has a rectangular floor plan with an angled garage. A low sloped gable roof connects the two, forming a porte cochere. Characteristic features include mortar washed face brick with spaced steel casement windows and a low residential scale.

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Colonia Solana Residential Historic District
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Site: No. 90
Location: 565 S. Ave. de Palmas
Historic Name: West Residence
Date: 1951

This Spanish Colonial Revival house has a long horizontal form, interlocking plan elements, varied parapet heights, and an informal character. The mortar washed brick facade, the projecting brick frames at the door and window openings, the metal grille work and the ornamental brick parapet cap are characteristic features.

Site: No. 97
Location: 3435 Arroyo Chico
Historic Name: Little Residence
Date: 1954

This Ranch Style house expresses a strong Spanish Colonial Revival Style influence. The low-pitched overhanging gable roof with exposed roof beams, the stepped back plan which creates a recessed porch and a further recess at the main entrance, and the residential scale, are Ranch Style features. The grouted Mission tile roof and adobe face brick suggest the Spanish Colonial Revival Style.

Site: No. 104
Location: 3202 Arroyo Chico
Historic Name: McCann Residence
Date: 1950

This modest-sized house is typical of the Ranch Style. Characteristic elements are the simple rectangular plan with the short front wing projection, the low-pitched gable roof with the cross gable, the recessed front entrance, and the spaced steel casement windows. The cream colored face brick for walls and chimney is an unusual material.

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Colonia Solana Residential Historic District
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Site: No. 109
Location: 3249 Camino Campestre
Historic Name: Hall Residence
Date: 1952

This Ranch Style house has a low-pitched gable roof with a projecting eave which creates a deep front porch extending across the front of the house. Unusual details include substantial wood posts with beveled brackets and a French door entrance with muntins and sidelights.

Site: No. 112
Location: 3312 Arroyo Chico
Historic Name: Price Residence
Date: 1952

This rectangular house is in the Ranch Style. Typical elements include the low-pitched overhanging gable roof, the mortar washed face brick, the spaced casement windows with fixed glass panels, and the double doors with sidelights at the main entrance.

Site: No. 114
Location: 3364 Arroyo Chico
Historic Name: Scanland Residence
Date: 1953

This Ranch Style house has typical features. The long, low-pitched overhanging gable roof, the mortar washed face brick with a projecting belt course, the spaced steel casement windows with metal grilles and wood shutters, and the double doors with sidelights forming the main entrance, are characteristic.

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Colonia Solana Residential Historic District
name of property
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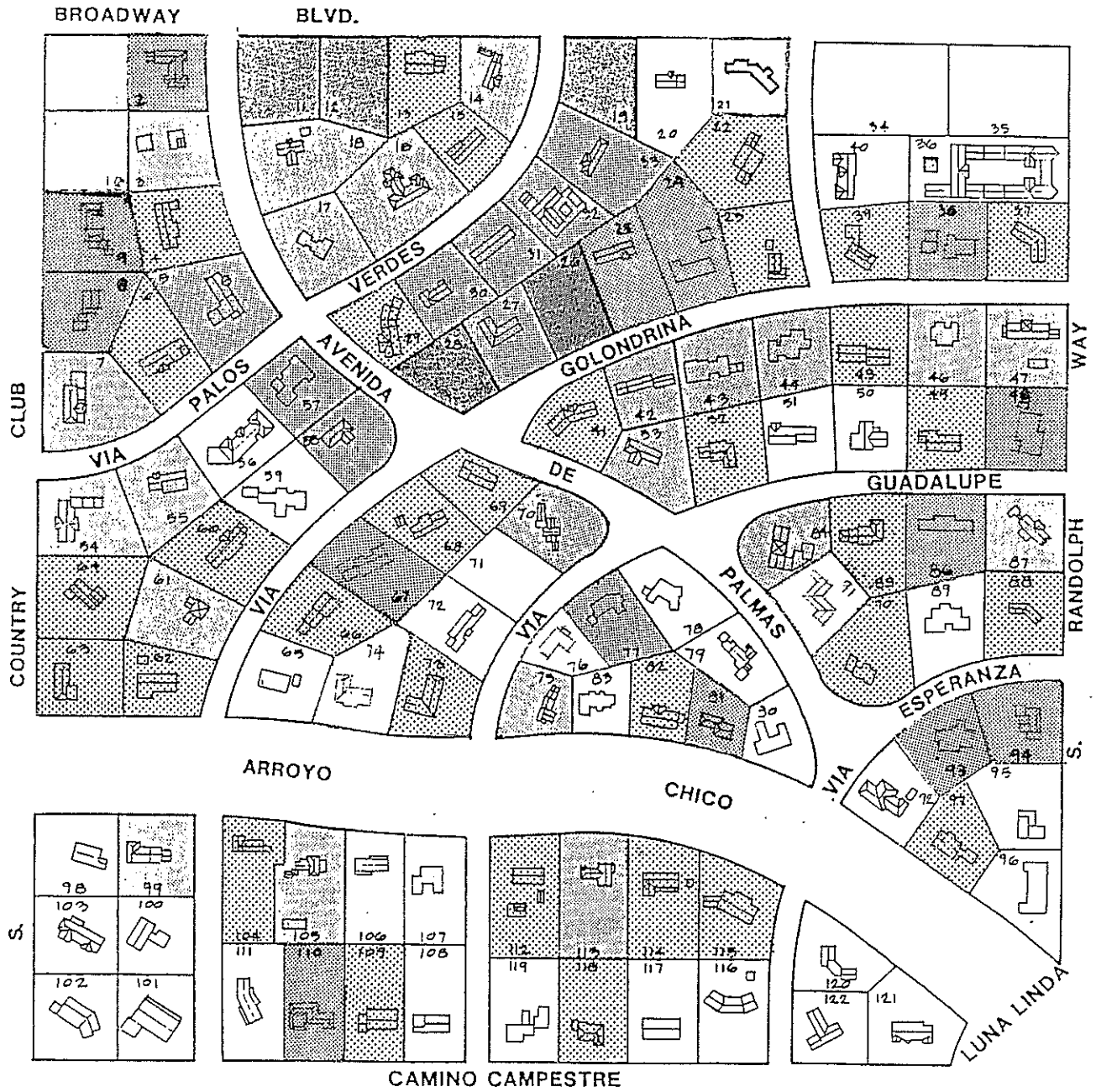
Site: No. 115
Location: 3380 Arroyo Chico
Historic Name: Vance Residence
Date: 1955

This Ranch Style house has many characteristic features. These include the low-pitched gable roof with overhanging eaves and exposed rafters, the adobe brick façade with spaced casement windows, and the recessed and shaded front entrance. The fixed glass in the large opening of the front room projection suggests a Modern Style influence.






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Location: 3331 Camino Campestre
Historic Name: None
Date: 1954





This small Ranch Style house has a horizontal emphasis. The low-pitched overhanging hipped roof with a cross hip, the rectangular plan with a setback and slight wing projection forming the entrance porch, the spaced steel casement windows with wrought iron grillwork, and the picture window, are features appropriate to the style.

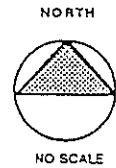
COLONIA SOLANA



LEGEND

-  HISTORIC DISTRICT BOUNDARY LIMITS
-  BLOCK LINE
-  LOT LINE
-  ESTABLISHED SURVEY MONUMENT
-  OVERHEAD VIEW OF EXISTING HOUSE

- 71 LOT NUMBER
-  NOMINATED FOR CONTRIBUTING
-  CONTRIBUTING
-  NON-CONTRIBUTING
-  VACANT LOT



DISTRICT UTMS

- A 506980E/356500N
- B 507570E/356495N
- C 507730E/356497N
- D 507710E/356419N
- E 506980E/356419N

TUCSON, ARIZONA 7.5' MAP
 COLONIA SOLANA
 RESIDENTIAL HISTORIC DISTRICT
 TUCSON, PIMA COUNTY, ARIZONA

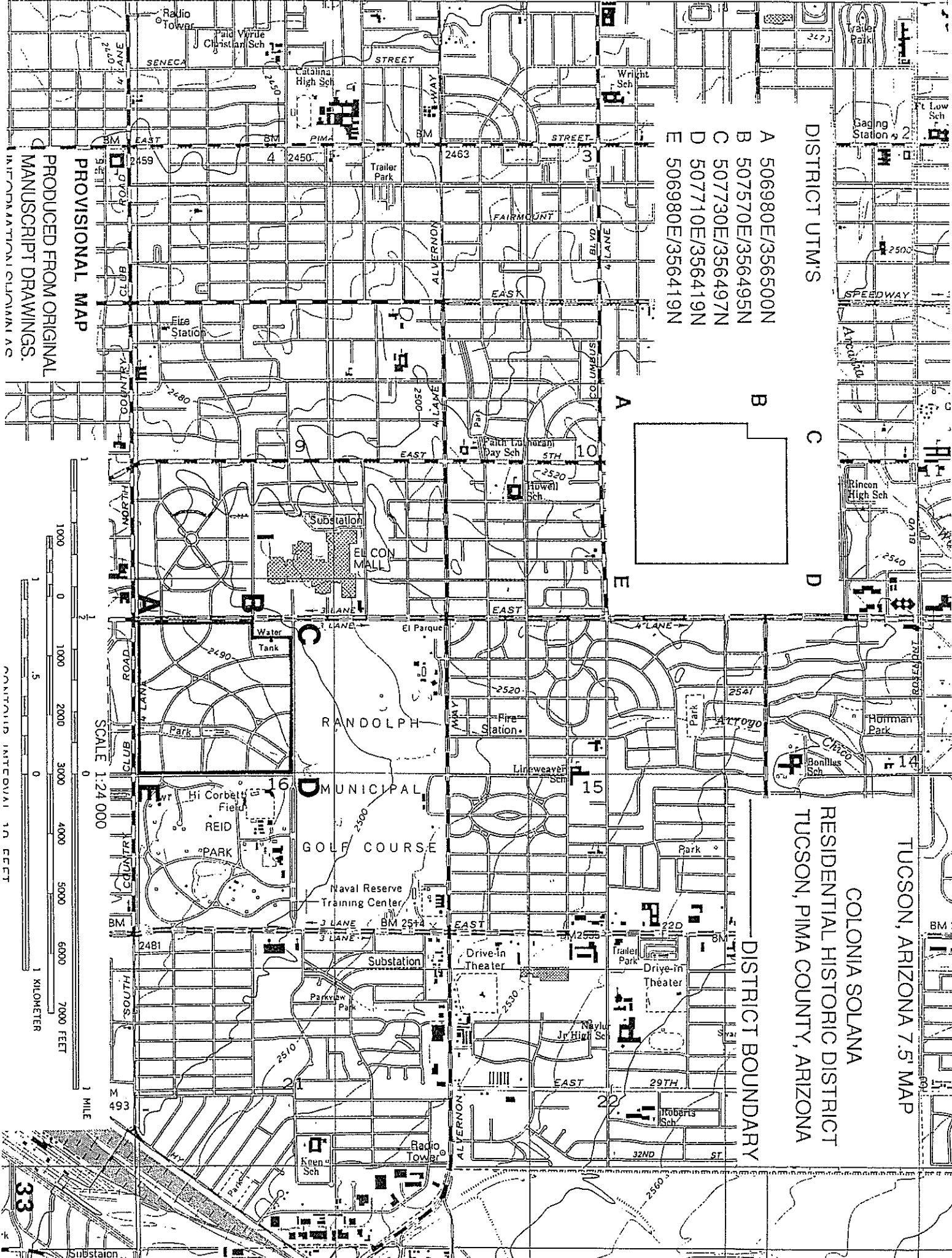
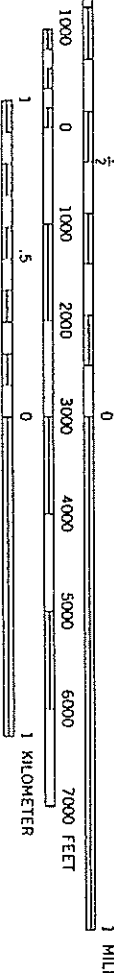
DISTRICT BOUNDARY

PROVISIONAL MAP

PRODUCED FROM ORIGINAL
MANUSCRIPT DRAWINGS.

GRAPHICAL INFORMATION SYSTEM

SCALE 1:24 000



STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 6 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Katcher Residence
(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3135 Via Palos Verdes

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0060

Township 14S Range 14E Section 16 Quarters NW1/4 of the NW1/4 Acreage 1.2

Block Lot(s) 6 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507250 Northing 356470

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT F. Sharman not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1952 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

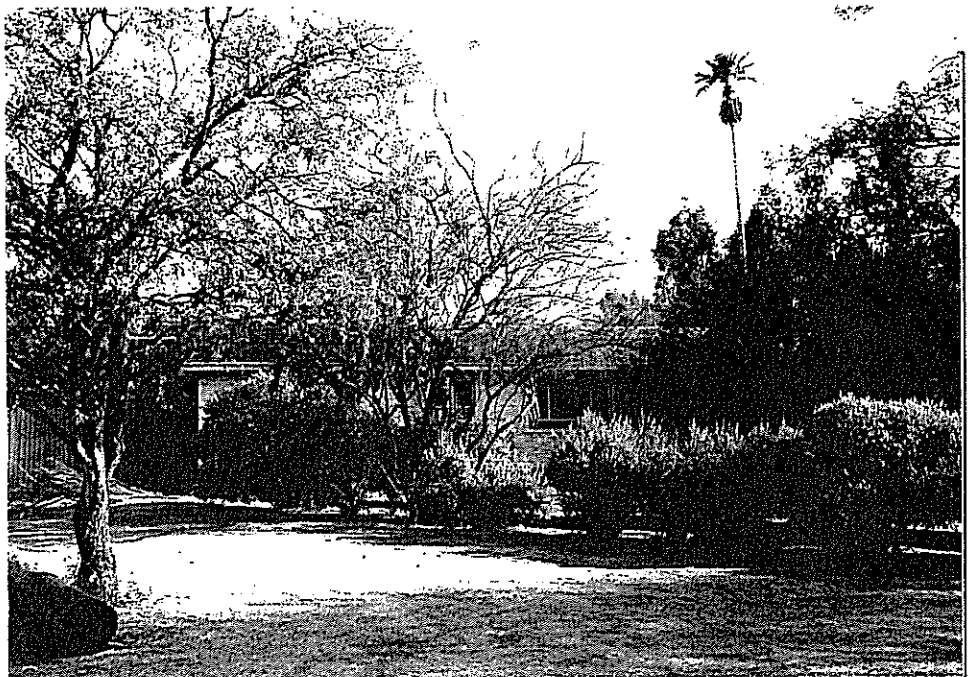
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) northwest

Negative No. #30. Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable

Describe other character-defining features of its massing, size, and scale Rectangular form, overhanging eaves, low residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Garage enclosed c. 1959. Added front clerestory, c. 1980.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed face brick

Windows metal casement, fixed glass panels

Roof flat concrete tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, well-constructed houses with desert landscaping all sides, faces quiet residential street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Overhanging eaves, exposed rafters, ornamental wood trim around windows, recessed entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/1/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 13 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Virtue Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3252 Broadway Blvd.

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0130

Township 14S Range 14E Section 16 Quarters NW1/4 of the NW1/4 Acreage .9

Block Lot(s) 13 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507200 Northing 356496

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER Crady Hawkins not determined known Source records search

CONSTRUCTION DATE 1952 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) southwest

Negative No. #13, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable

Describe other character-defining features of its massing, size, and scale Modest sized house with residential scale, horizontal massing, stepped back wing and carport, extended roof at entrance porch.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Carport enclosed and two car attached garage constructed 1994.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) face brick, brown ashlar stone planter

Windows steel casement, picture window

Roof asphalt shingles painted white Foundation concrete

SETTING. Describe the natural and/or built environment around the property Natural desert landscaping, well-built neighboring houses to east and to rear, vacant lot to west, faces busy Broadway.

How has the environment changed since the property was constructed? Not changed except that Broadway traffic has increased.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple but competent detailing, well-constructed.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/18/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 15 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Mack Residence #2 (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3259 Via Palos Verdes

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0150

Township 14S Range 14E Section 16 Quarters NW1/4 of the NW1/4 Acreage .98

Block Lot(s) 15 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507245 Northing 356488

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) northwest

Negative No. #7, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable
Describe other character-defining features of its massing, size, and scale Horizontal emphasis with long low gable roof with overhanging eaves, intimate residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Added garage c. 1960.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) adobe face brick, wood vertical siding panel

Windows steel casement

Roof stained wood shakes Foundation concrete

SETTING. Describe the natural and/or built environment around the property Attractive desert landscaping, well-constructed, well-landscaped house each side, faces quiet neighborhood street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-constructed, well-detailed, overhanging eaves have exposed wood beams.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/26/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 22 Survey Area Colonia Solana Residential Historic District

Historic Name(s) O'Dowd Residence #2 (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 142 S. Calle Chaparita

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0220

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage 1.27

Block Lot(s) 22 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507490 Northing 356488

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Gordon Luepke not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) southwest

Negative No. #4, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building John B. O'Dowd was a prominent local
lawyer and businessman. Burr Udall, current owner, is a prominent attorney and brother of Morris and Stewart Udall.

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable
Describe other character-defining features of its massing, size, and scale Long rectangular plan with offset wing, low overhanging eaves,
recessed entry, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Walled side patio added c. 1961.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) red face brick

Windows steel casement, fixed glass in gable end

Roof tan asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Attractive desert landscaping, faces quiet neighborhood
street, surrounded by attractive houses with desert landscaping.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed,
exposed rafters in eaves, wood lintels, wood grilled screen at entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/26/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 23 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Smith Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 190 S. Calle Chaparita

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0230

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage 1.0

Block Lot(s) 23 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507495 Northing 356480

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Russell Hastings not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1950 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

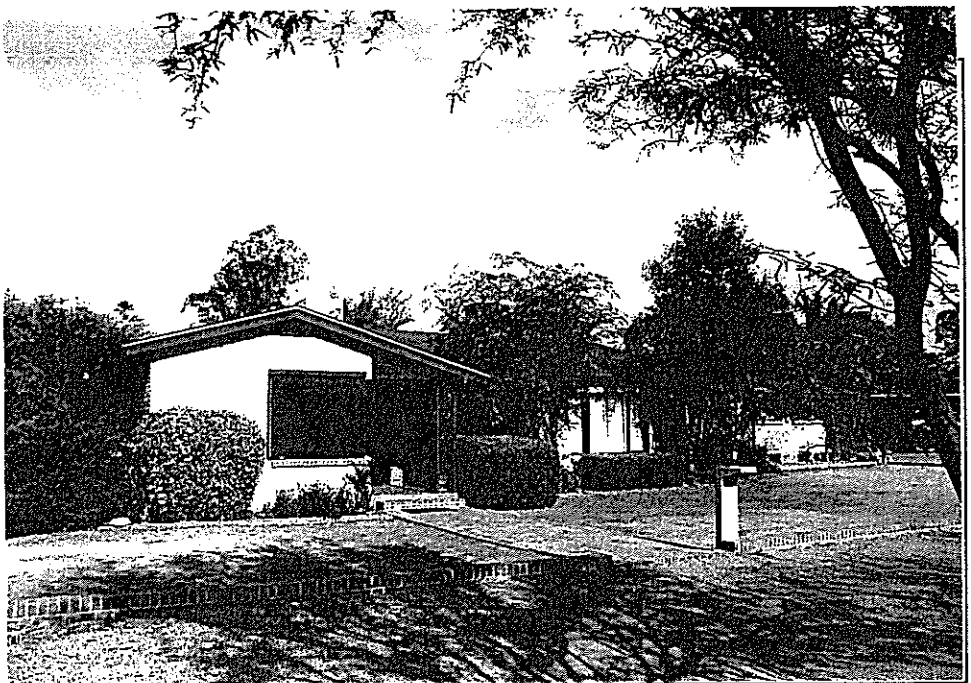
PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards)

west

Negative No. #36, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form stepped-down gable with cross gable and hipped end
Describe other character-defining features of its massing, size, and scale Low horizontal scale with L-shaped plan, sheltered porch entry, extended carport, residential quality.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Covered porch glassed in 1962.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed face brick
Windows steel casement windows, picture window
Roof tan asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert vegetation, corner lot, faces quiet residential streets, attractive houses with desert vegetation all sides.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple details, well-constructed, overhanging roof with exposed rafters in eaves, louvered vent in gable.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant Date: 6/19/02
Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711 Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 29 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Renaud Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3210 Via Palos Verdes

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0290

Township 14S Range 14E Section 16 Quarters NW1/4 of the NW1/4 Acreage .85

Block Lot(s) 29 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507180 Northing 356484

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source owner's records

BUILDER O. J. Harris not determined known Source owner's records

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) southeast

Negative No. #18. Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building Dr. Richard Dahlen, a prominent local physician,
owned house after 1963.

C. ARCHITECTURE. Style/Type Ranch, with Spanish Colonial Revival influence no style
Stories one Basement Roof form gable with cross gable
Describe other character-defining features of its massing, size, and scale Long, low horizontal scale, overhanging eaves, slightly angled
plan with entry at recess, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Small addition added 1952, carport enclosed 1966,
semi-attached carport added at north end 1978.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed face brick

Windows steel casement, picture windows

Roof grouted Mission tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, corner lot faces quiet neighborhood
streets, attractive adjacent houses with desert landscaping.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-constructed,
exposed beams in eaves, ornamental metal column at entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ, 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 37 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Blixt Residence #2 (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 190 S. Randolph Way

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0380

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .94

Block Lot(s) 37 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507700 Northing 356483

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1952 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) southwest

Negative No. #11, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable

Describe other character-defining features of its massing, size, and scale Low horizontal residential scale, low overhanging eave line, long low front planter.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) red face brick

Windows steel casement without muntins

Roof tan asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Corner lot, small apartment complex to north, attractive desert landscaping, well-built nearby houses, faces moderate street traffic.

How has the environment changed since the property was constructed? Not changed except slightly more street traffic on Randolph Way.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well constructed, simple details,

overhanging eaves with exposed rafters. Wood paneling in eaves. Ornamental brick vent in chimney.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District

Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711 Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 39 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Manspeaker Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 185 S. Calle Chaparita

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0400

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage 1.0

Block Lot(s) 39 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507525 Northing 356482

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1952 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) northeast

Negative No. #7, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable, flat areas

Describe other character-defining features of its massing, size, and scale Low horizontal scale, residential character, low pitched roof with overhanging eaves, higher sloped interior gable roof.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Garage enclosed c. 1961, patio wall demolished c. 1964.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed adobe brick

Windows steel casement without muntins

Roof asphalt shingles and composition built-up Foundation concrete

SETTING. Describe the natural and/or built environment around the property Sparse desert vegetation, corner lot faces quiet neighborhood streets, attractive nearby houses.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-constructed, solid wood fascia, exposed rafters in soffits, exposed beam at entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 41 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Mandel Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3330 Via Golondrina

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0420

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .95

Block Lot(s) 41 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507330 Northing 356470

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Bernard Friedman not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1950 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) southeast

Negative No. #5, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable with cross gable

Describe other character-defining features of its massing, size, and scale Long, low horizontal massing, slightly angled, modest projecting wing with cross gable, long horizontal planter, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Covered porch glassed-in, c. 1964.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) painted adobe brick

Windows steel double hung, horizontal muntins, wood framed fixed glass in gable and entry

Roof red Spanish tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Corner lot on quiet residential street, trim desert

landscaping, well-built, well-landscaped neighboring houses.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Attractive brickwork,

well-detailed and constructed wood details at gable, front entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District

Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 45 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Silverman Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3410 Via Golondrina

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0460

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .99

Block Lot(s) 45 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507570 Northing 356462

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Nicholas Sakellar not determined known Source owner's records

BUILDER Frank Randall not determined known Source owner's records

CONSTRUCTION DATE 1953 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

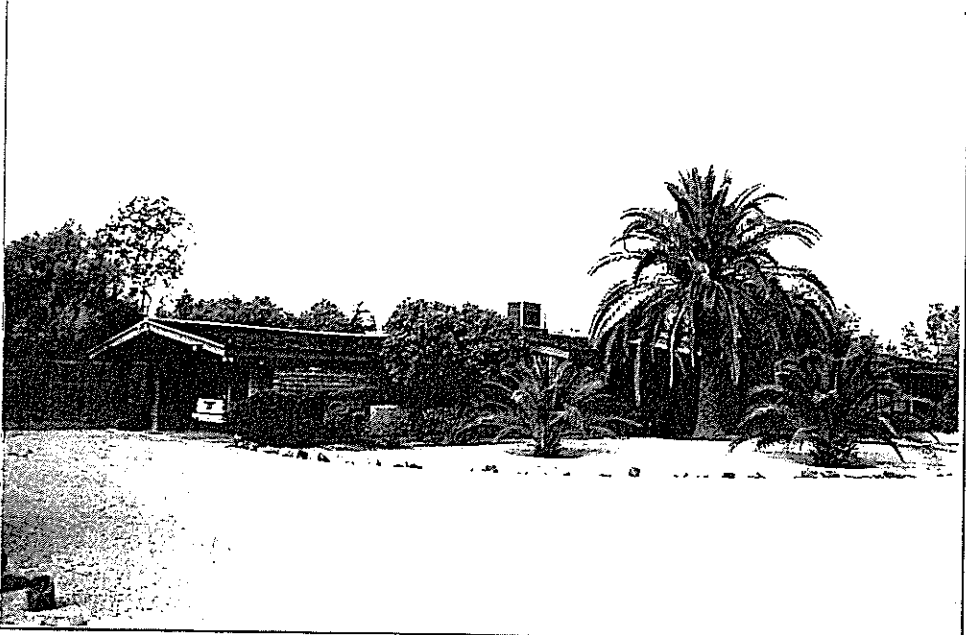
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) southwest

Negative No. #24, Roll #2



Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 45 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Silverman Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3410 Via Golondrina

City or Town Tucson

vicinity

County Pima

Tax Parcel No. 126-21-0460

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .99

Block Lot(s) 45 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507570 Northing 356462

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Nicholas Sakellar

not determined

Source owner's records

BUILDER Frank Randall

not determined

Source owner's records

CONSTRUCTION DATE 1953

known estimated

Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

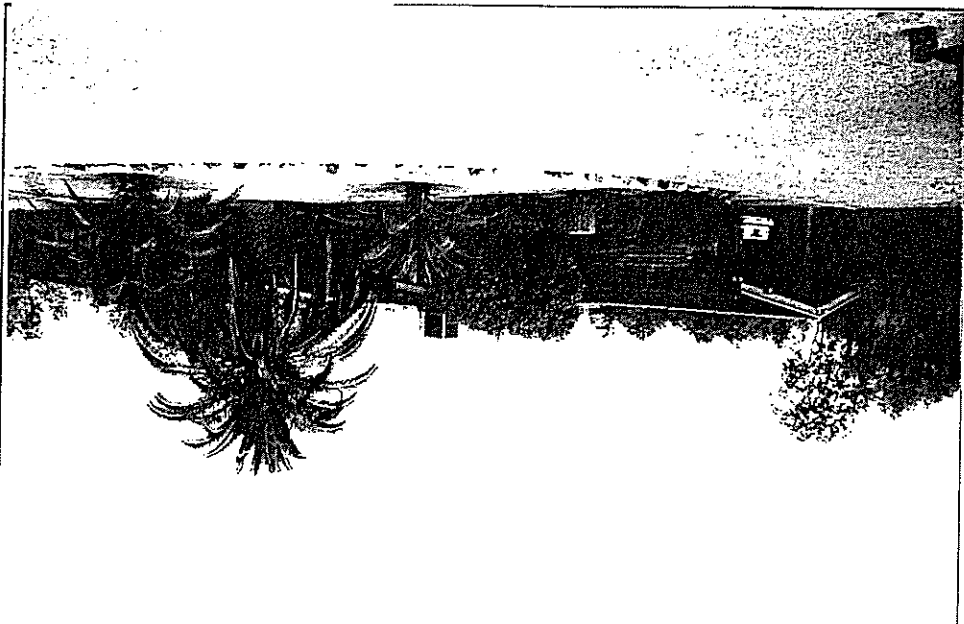
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) southwest

Negative No. #24, Roll #2



STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 49 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Kurtin Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3455 Via Guadalupe

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0500

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .22

Block Lot(s) 49 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507643 Northing 356466

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1955 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards)

northeast

Negative No. #19, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable with a stepped-down gable
Describe other character-defining features of its massing, size, and scale Rectangular plan form with a projecting entry and projecting side wing, overhanging eaves, low residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) red face brick
Windows steel casement windows with muntins and fixed glass panels
Roof Spanish tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Arid landscaping on site, attractive landscaped houses all sides, faces quiet neighborhood street.
How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-built, overhanging eaves, solid wood fascia, brick soldier course in chimney.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant Date: 7/16/02
Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711 Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 52 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Bogard Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3425 Via Guadalupe

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0530

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .94

Block Lot(s) 52 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507460 Northing 356464

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Starkweather & Morse not determined known Source owner's records

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source owner's records

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent) Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

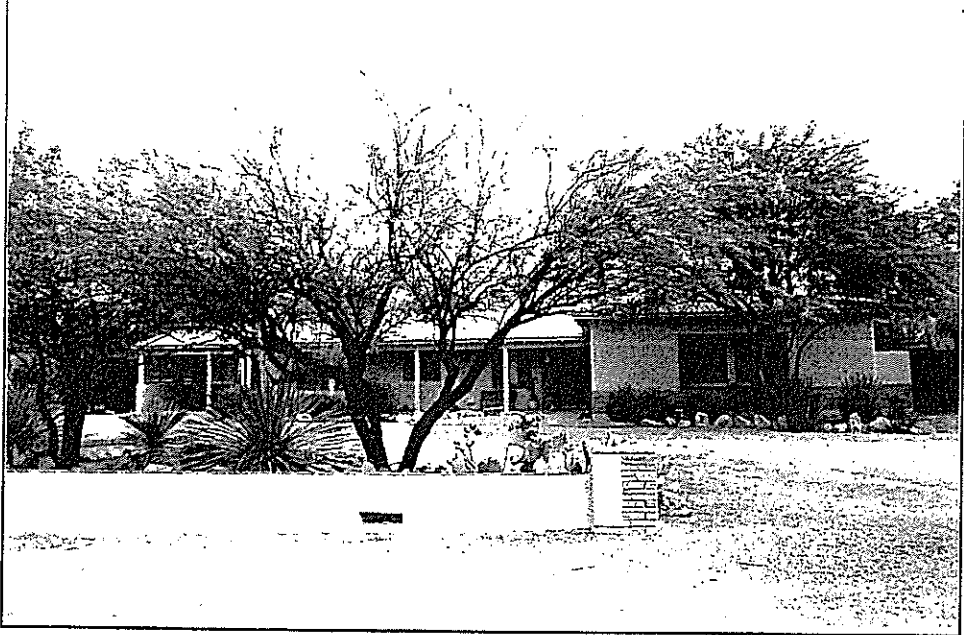
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) north

Negative No. #2, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable with hipped cross gable

Describe other character-defining features of its massing, size, and scale L-shaped plan, low horizontal massing, overhanging eaves create generous front porch, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) stucco with tan ashlar stone accents

Windows steel casement, no muntins, fixed glass panel

Roof beige variegated concrete tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, well-built houses with desert landscaping all sides, faces quiet neighborhood street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, built, exposed

beams at eaves, attractive ashlar stone piers at entry, unusual masonry cooler tower.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District

Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/26/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ, 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 60 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Laz Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 502 Via Golondrina

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0610

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage .26

Block Lot(s) 60 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507555 Northing 356472

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1955 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) north

Negative No. #26. Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable with a stepped-down gable

Describe other character-defining features of its massing, size, and scale Simple rectangular form with one plan set-back forming a sheltered porch, low pitched gable roof with overhangs, low horizontal emphasis.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) red face brick

Windows spaced casement windows with fixed glass panels

Roof asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Sparse desert landscaping, attractive houses all sides with desert landscaping, faces quiet residential street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-constructed house, overhanging, open framed eaves, projecting brick sills.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/16/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 62 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Price Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3145 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0630

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage .67

Block Lot(s) 62 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507300 Northing 356460

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Jaastad and Knipe not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1952 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES / FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

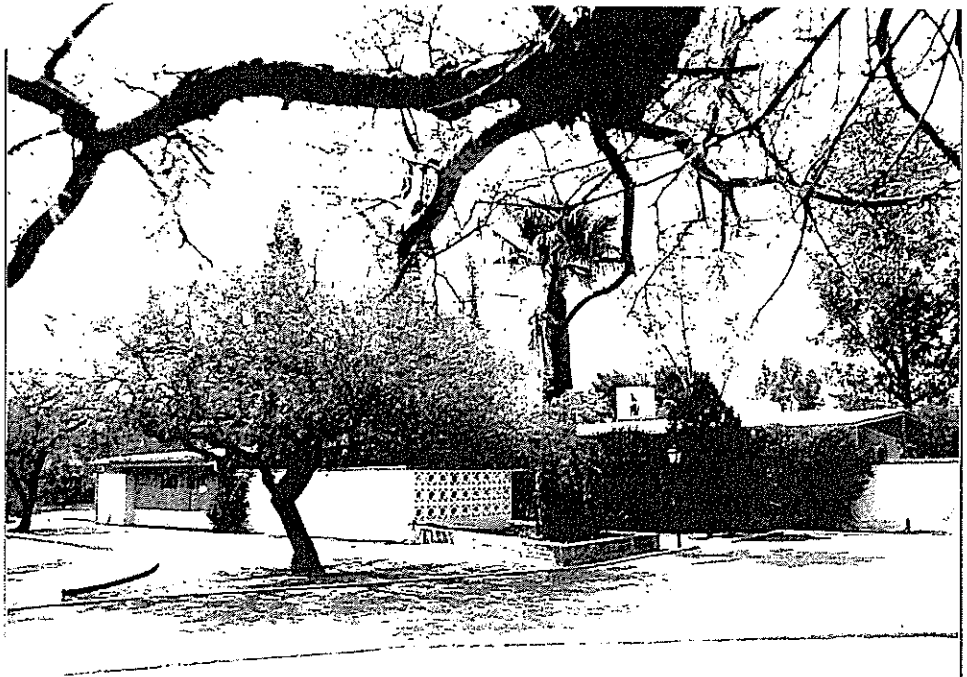
PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards)

northwest

Negative No. #16, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable

Describe other character-defining features of its massing, size, and scale Low residential scale, simple gable roof form, steps out at garage, generous extending eaves, walled patios at front and end.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Connected garage added c. 1954.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) tan face brick

Windows steel casement

Roof white composition built-up Foundation concrete

SETTING. Describe the natural and/or built environment around the property Quiet residential street facing naturalized wash, corner lot with mesquite trees, well-built nearby houses.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Exposed rafters at eaves,

solid fascia, simple well-constructed details.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District

Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 63 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Sulger Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 435 S. Country Club Rd.

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0640

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.05

Block Lot(s) 63 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 506940 Northing 356422

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Mr. Northen not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1953 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

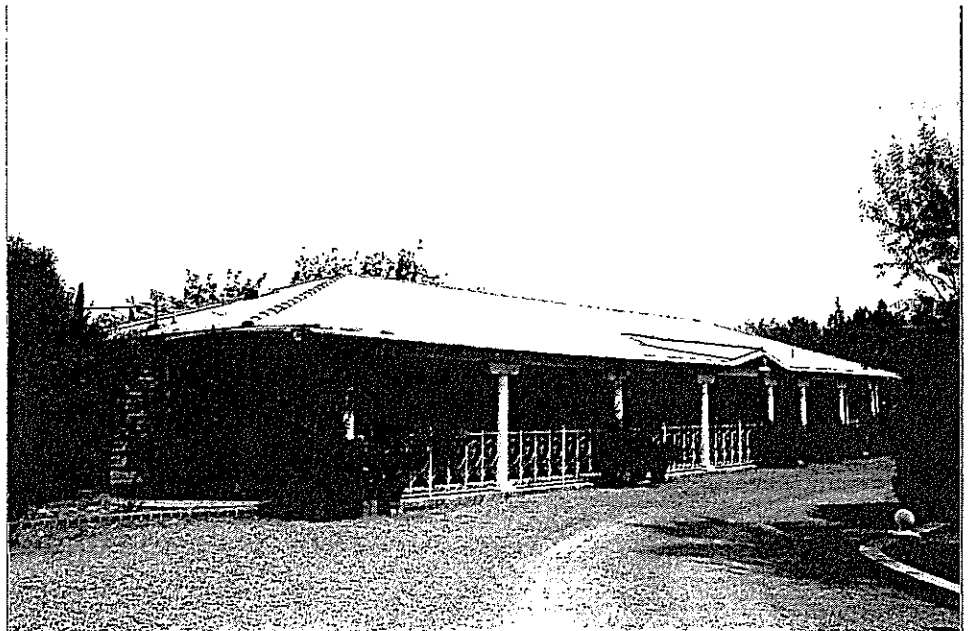
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) southeast

Negative No. #9, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form hipped with small cross gable at entry
Describe other character-defining features of its massing, size, and scale Low horizontal scale, roof overhang creates broad front porch,
residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Screen porch glassed in, 1957.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) adobe brick

Windows metal casement

Roof asphalt shingles/composition built-up Foundation concrete

SETTING. Describe the natural and/or built environment around the property Mixed desert/non-desert landscaping, well constructed,
well-landscaped houses each side, front brick wall, faces busy street.

How has the environment changed since the property was constructed? Not changed except that traffic on Country Club Road
has increased.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-constructed house,
front porch columns with ornamental bracket capitals, ceramic tile band frames entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant
Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Date: 6/19/02
Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 64 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Swift Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 425 S. Country Club Rd.

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0650

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.6

Block Lot(s) 64 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 506945 Northing 356428

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source owner's records

BUILDER Al Hubbard not determined known Source owner's records

CONSTRUCTION DATE 1950 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

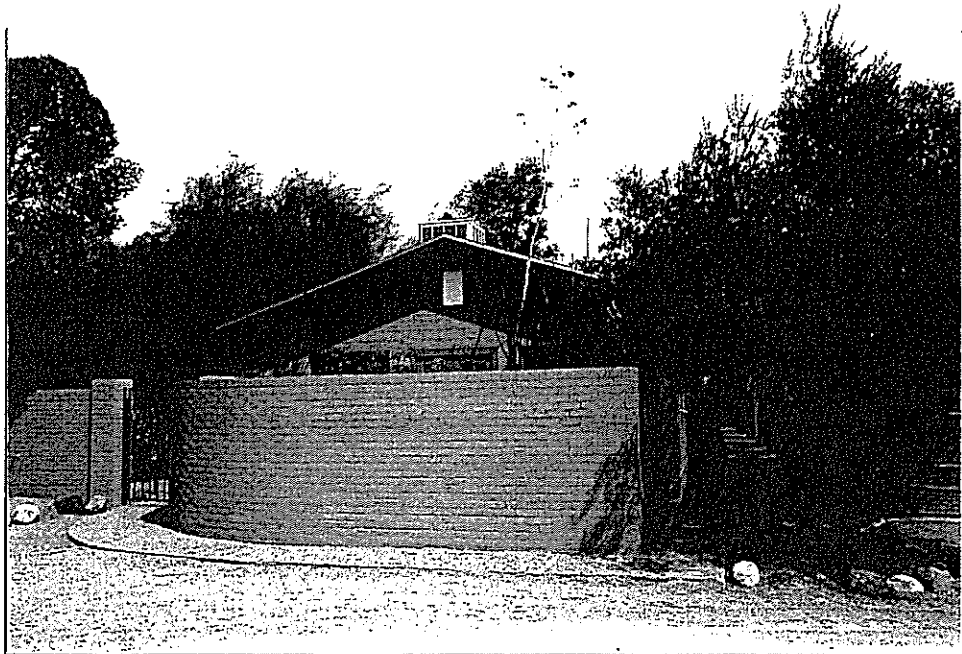
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) southeast

Negative No. #11. Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable

Describe other character-defining features of its massing, size, and scale Overhanging gable roof, horizontal residential scale, latticed entry porch roof.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Attached garage added c. 1960. Front screen wall added.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) tan painted face brick

Windows steel casement

Roof brown asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, front masonry screen wall, faces busy Country Club Road, well-constructed, landscaped houses each side.

How has the environment changed since the property was constructed? Not changed except that traffic on Country Club Road has increased.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-constructed, well-detailed, gable roof has flat soffits, deep porch beside entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 66 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Garten Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 505 Via Golondrina

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0670

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.09

Block Lot(s) 66 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507110 Northing 356451

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT J. H. Hughes not determined known Source owner's records

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

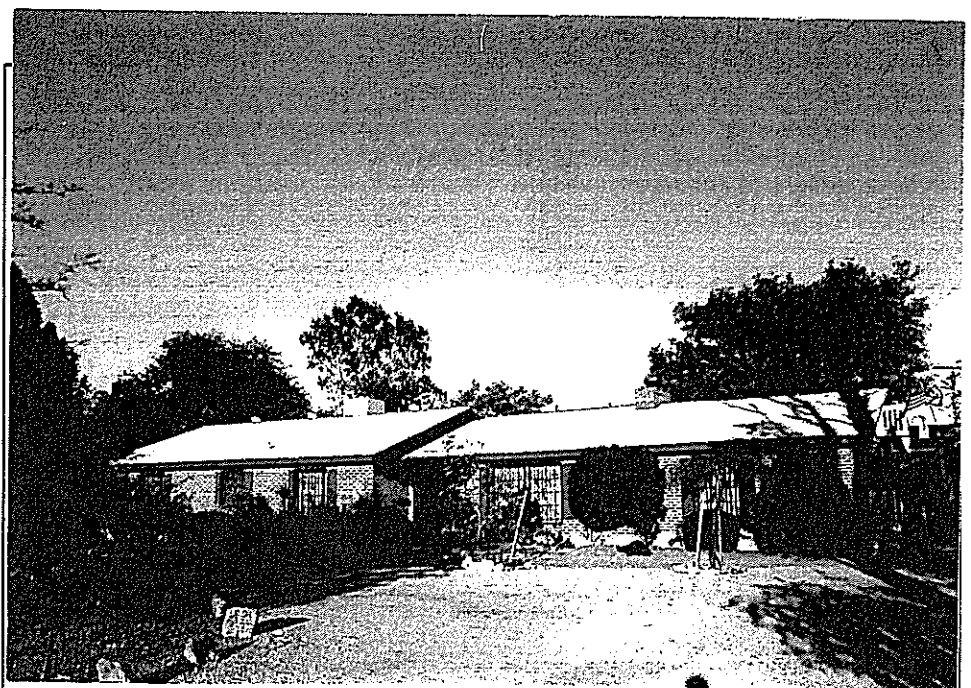
PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards)

east

Negative No. #1, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building N. F. Garten was an admiral in the U.S. Navy.

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable, with stepped-down gable

Describe other character-defining features of its massing, size, and scale Long horizontal rectangle with step-back, overhanging eaves, residential scale, side carport and rear wing.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) face brick, wood clapboards in gables

Windows wood double hung with wrought iron grilles and wood shutters

Roof asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, well constructed, desert landscaped houses each side, faces naturalized desert wash, quiet street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-constructed, overhanging soffit, wood shutters.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/1/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 68 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Lintner Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 345 Via Golondrina

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0690

Township 14S Range 14E Section 16 Quarters NW1/4 of the NW1/4 Acreage .67

Block Lot(s) 68 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507200 Northing 356461

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES / FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

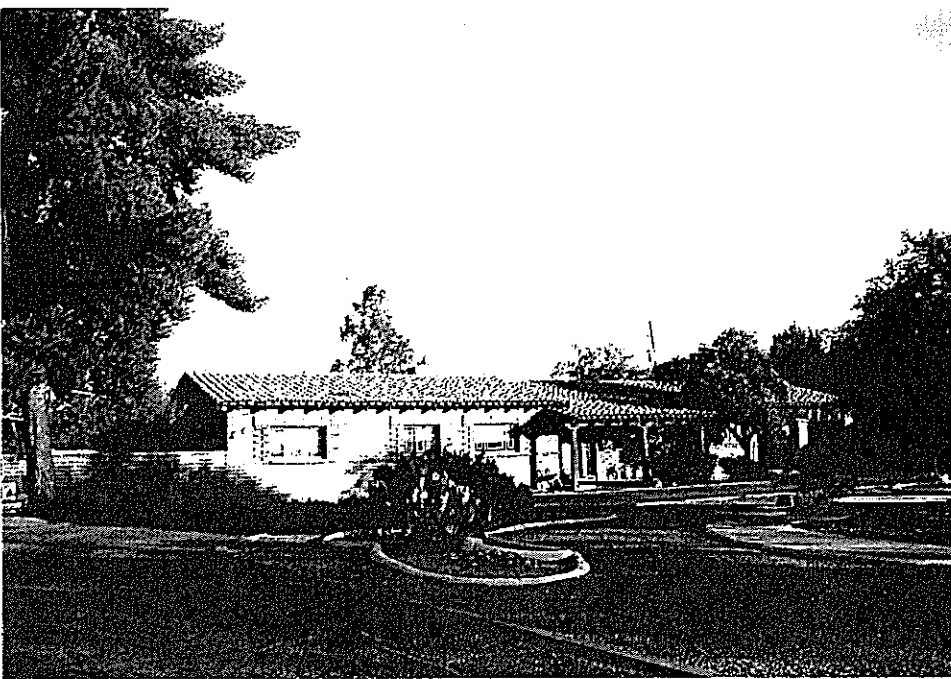
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) southwest

Negative No. #4, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch with Spanish Colonial Revival influence no style
Stories one Basement Roof form gable with step down and projecting eave at entry
Describe other character-defining features of its massing, size, and scale Long rectilinear form with set back at entry, overhanging eaves and projecting eave at entry porch, low residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Carport added 1957.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) adobe brick

Windows steel casement

Roof grouted Mission tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Mixed landscaping, well-constructed houses with desert landscaping all sides, faces quiet residential street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed, projecting brick belt course, soldier course lintel, ornamental brickwork at window sides.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/1/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 69 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Blixt Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 400 S. Avenida de Palmas

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0700

Township 14S Range 14E Section 16 Quarters NW1/4 of the NW1/4 Acreage .83

Block Lot(s) 69 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507245 Northing 356464

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) southwest

Negative No. #34, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building Long-time owner Jack G. Marks was

Superior Court Judge and active in civic affairs.

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable with cross gable

Describe other character-defining features of its massing, size, and scale Rectilinear plan with step back and projecting roof which form entry porch, low eaves, intimate residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Room addition at south end forms projecting cross gable. c. 1999.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) burnt adobe brick

Windows steel casements with fixed glass panels

Roof wood shakes Foundation concrete

SETTING. Describe the natural and/or built environment around the property Mixed desert vegetation, well-constructed, desert landscaped, houses all around, faces quiet residential streets.

How has the environment changed since the property was constructed? Not changed

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed, overhanging eaves with exposed beams, ornamental bracketed columns at porch.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/1/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 72 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Becker Residence
(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 550 Via Guadalupe

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0730

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .99

Block Lot(s) 72 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507265 Northing 356451

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Gordon Luepke not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1953 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES / FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

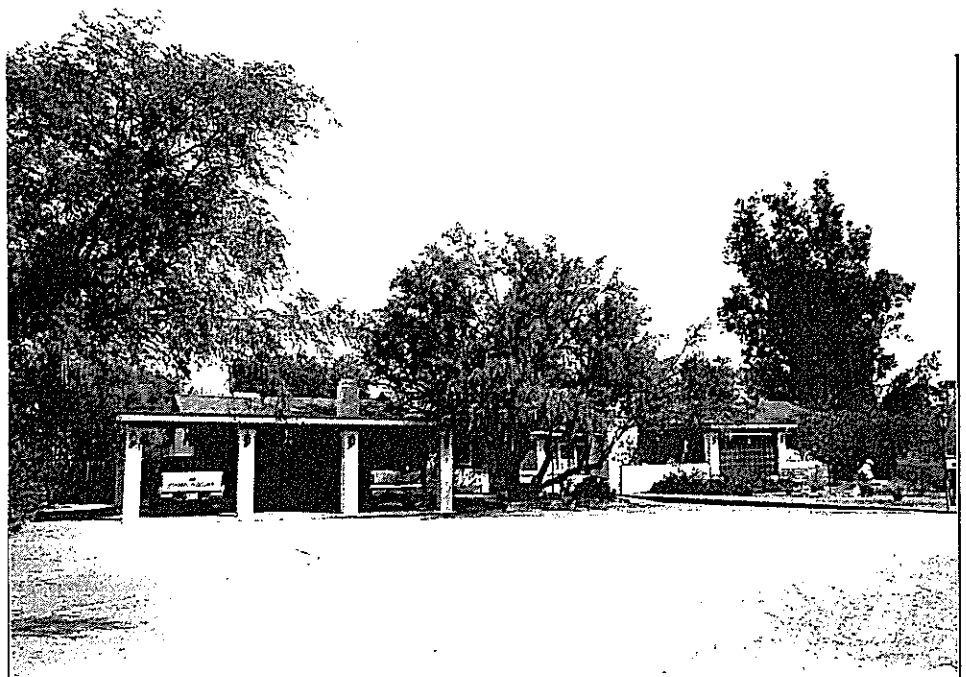
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) northwest

Negative No. #9, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable with hipped cross gable

Describe other character-defining features of its massing, size, and scale Low horizontal eave line, articulated floor plan, entrance porch and recessed entry, projecting carport, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Three car carport and entry screen and wing walls and bay window added, windows (except two within carport) changed to aluminum casement, c. 1985.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) painted concrete brick

Windows steel casement, aluminum casement, fixed glass panels

Roof asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, well-built houses with desert landscaping all sides.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-constructed, well-detailed, wide painted trim at windows, corbelled column capitals, tile screen at entry patio.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: Most façade windows changed to aluminum casement, large carport and front entry screen wall and patio walls conceal more than 50% of front façade.

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/26/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 73 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Kaufmann Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 560 Via Guadalupe

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0740

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage 1.01

Block Lot(s) 73 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507242 Northing 356446

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Gerald I. Cain and W. Carr not determined known Source owner's records

BUILDER not determined known Source

CONSTRUCTION DATE 1953 known estimated Source owner's records

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) southwest

Negative No. #15, Roll #3



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building Owner S. L. Schorr is prominent attorney.

Current co-owner, Eleanor D. Schorr, is former state legislator and justice of peace.

C. ARCHITECTURE. Style/Type Modern with Ranch Style influence no style

Stories one Basement Roof form hipped

Describe other character-defining features of its massing, size, and scale Long low horizontal eave, overhanging roof, cut-outs and extended overhang at entry walk, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Storage room converted to bath 1959, walls and gate forming entry court added c. 1985.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed face brick, vertical wood sheathing

Windows steel casements, fixed glass, glazed areas organized in bands

Roof brown asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, faces quiet residential street, well-constructed, well-landscaped houses all sides.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed, exposed wood beams and wood posts, wood louvered section, walled patio and brick columns at entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/26/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 82 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Wilkison Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3333 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0830

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage .84

Block Lot(s) 82 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507400 Northing 356447

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) northeast

Negative No. #33, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable, with one step-down gable
Describe other character-defining features of its massing, size, and scale Long, low rectilinear plan, overhanging eaves, recessed entry porch,
residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Storage area and den additions, dates not known.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) adobe brick
Windows steel casement
Roof wood shake, brown stained Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, well-built, desert landscaped houses
each side, faces naturalized desert arroyo across street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-constructed,
exposed overhanging eaves, wood boarding at gable ends, soldier course frames entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant
Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Date: 6/19/02
Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 85 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Myerson Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3440 Via Guadalupe

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0860

Township 14S Range 14E Section 16 Quarters NE1/4 of the NW1/4 Acreage 1.14

Block Lot(s) 85 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507560 Northing 356462

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1954 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) south

Negative No. #21, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch with Spanish Colonial Revival influence no style

Stories one Basement Roof form hipped

Describe other character-defining features of its massing, size, and scale Residential scale, overhanging eaves, stepped back floor plan, low eave line, horizontal emphasis, informal appearance.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Carport closed-in 1979, two bedrooms added, brown concrete brick front perimeter wall 1986.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) burnt adobe brick

Windows steel casement, fixed glass between structural wood posts

Roof grouted Mission tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, adjacent houses with desert landscaping, faces quiet neighborhood street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed, overhanging eaves with solid fascia, flat soffit, corbelled brick coursing at chimney.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 88 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Lesemann Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3489 Via Esperanza

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0890

Township 14S Range 14E Section 16 Quarters SE1/4 of the NW1/4 Acreage .99

Block Lot(s) 88 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507700 Northing 356435

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Mr. Ambrose not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1950 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) northeast

Negative No. #17, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building Dr. Lesemann was a prominent physician

in Tucson.

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable

Describe other character-defining features of its massing, size, and scale Low residential scale, angled plan, overhanging eaves, horizontal gable roof with porte cochere and attached garage.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed brick, wood boarding

Windows steel casements without muntins

Roof tan asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, corner lot facing quiet neighborhood street, adjacent houses with desert landscaping.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed,

exposed rafters and beams at eaves, concrete lintels at windows

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District

Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 4 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Richardson Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 150 Avenida de Palmas

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0040

Township 14S Range 14E Section 16 Quarters NW1/4 of the NW1/4 Acreage 1.09

Block Lot(s) 4 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507650 Northing 356482

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER Mr. Blixt not determined known Source records search

CONSTRUCTION DATE 1950 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) west

Negative No. #32. Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch with Spanish Colonial Revival influence no style
Stories one Basement Roof form single gable with projecting eaves at entry
Describe other character-defining features of its massing, size, and scale Long, low horizontal massing, recessed entry porch, extending patio wall, attractive residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Carport enclosed, ramada added, utility room remodeled.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) painted face brick

Windows steel casements and picture window

Roof mortar-washed, grouted Mission tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, well-built, well-landscaped neighboring houses, faces quiet residential street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed, projecting wood rafters at eaves, attractive wood columns with brackets at entry.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 90 Survey Area Colonia Solana Residential Historic District

Historic Name(s) West Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 565 S. Avenida de Palmas

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0910

Township 14S Range 14E Section 16 Quarters SE1/4 of the NW1/4 Acreage 1.25

Block Lot(s) 90 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507560 Northing 356465

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT not determined known Source

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) northeast

Negative No. #16, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Spanish Colonial Revival no style
Stories one Basement Roof form flat

Describe other character-defining features of its massing, size, and scale Low horizontal scale, interlocking plan elements, varied parapet heights, informal residential character.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Covered porch and new bedroom added 1955, carport added c. 1958.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed brick

Windows steel casement, wrought iron grillwork

Roof composition built-up Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping on corner lot, faces quiet neighborhood street, attractive adjacent houses with desert landscaping.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Interesting detailing, well-constructed, projecting brick frames at door and window openings, ornamental brickwork parapet cap.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 97 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Little Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3435 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-0980

Township 14S Range 14E Section 16 Quarters SE1/4 of the NW1/4 Acreage .99

Block Lot(s) 97 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 50740 Northing 356435

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Blanton & Cole not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1954 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

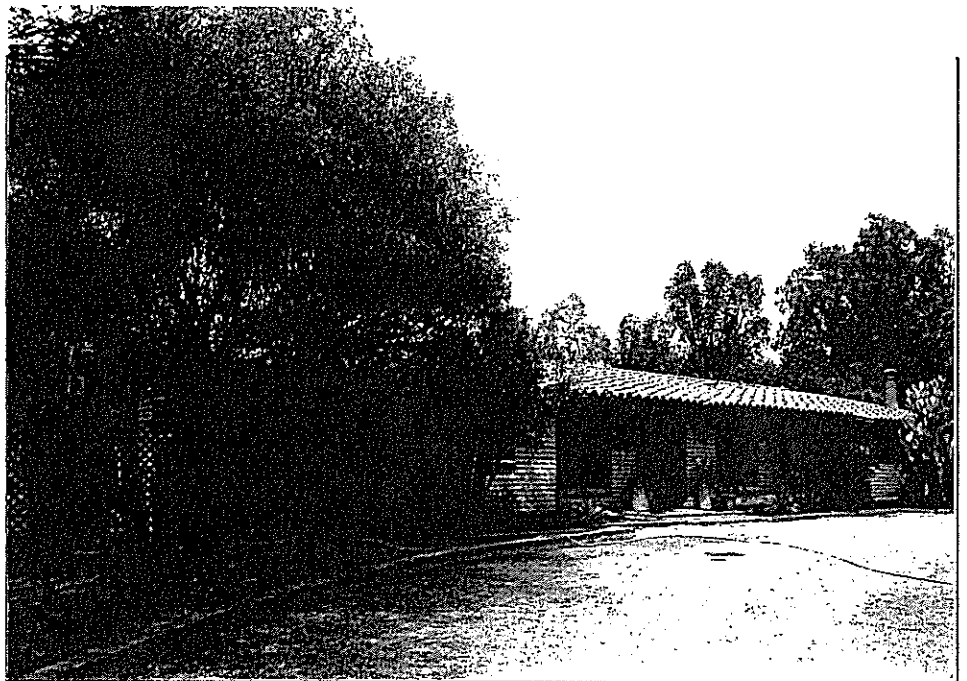
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) east

Negative No. #14, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch, with Spanish Colonial Revival elements no style
Stories one Basement Roof form long gable, flat at enclosed carport

Describe other character-defining features of its massing, size, and scale Long, low, pleasant residential scale, walls step in and out, eave steps out, recessed entry.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Guest house added to east side, 1974. Original carport enclosed, new carport added, 1998.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) adobe brick

Windows steel casement

Roof grouted Mission tile Foundation concrete

SETTING. Describe the natural and/or built environment around the property Quiet residential street facing naturalized wash, desert landscaping, attractive, landscaped houses to sides.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-constructed, projecting beams at eaves.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 104 Survey Area Colonia Solana Residential Historic District

Historic Name(s) McCann Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3202 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1050

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.2

Block Lot(s) 104 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507850 Northing 356437

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Mrs. McCann, designer not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1950 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

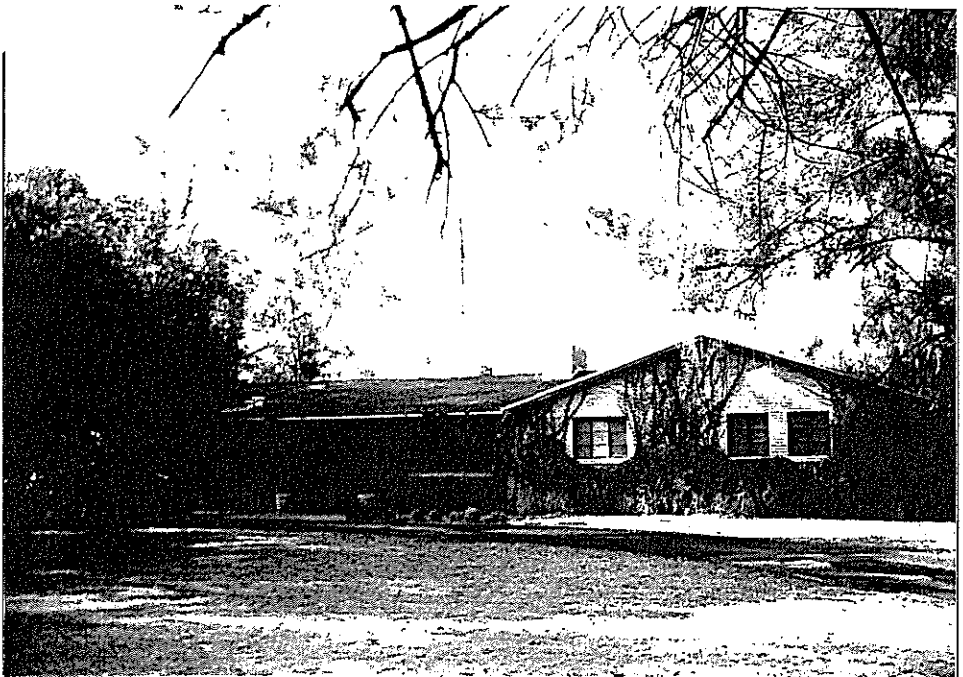
Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) south

Negative No. #28, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building Long-time owner Richard Hannah was a
Superior Court judge in Tucson.

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable with cross gable
Describe other character-defining features of its massing, size, and scale Low horizontal scale, overhanging eaves with exposed rafters,
intimate residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) tan face brick

Windows steel casement, steel fixed

Roof green asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property. Sparse desert landscaping, large trees, well-constructed,
well-landscaped houses each side, faces naturalized desert arroyo across quiet street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction. Simple detailing, well-constructed,
overhanging eaves have exposed rafters, patterned brick vent in gable end, wood door has wood side panel.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ, 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 106 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Martin Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3248 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1070

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.05

Block Lot(s) 106 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507200 Northing 356436

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT not determined known Source

BUILDER not determined known Source

CONSTRUCTION DATE 1953 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) southeast

Negative No. #26. Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
House before alterations related to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Neoclectic no style

Stories one Basement Roof form gable with hipped cross gables

Describe other character-defining features of its massing, size, and scale Front porte cochere and side bay projection create elaborate appearance, non-intimate scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Extensive front, side and rear alterations, front porte cochere, side garage, rear enclosed porch c. 1990s.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) face brick

Windows aluminum casement, steel casement, fixed glass at entry porch

Roof asphalt shingles with Mission tile ridges Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, houses with desert landscaping each side, faces naturalized desert arroyo.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-constructed, arched windows, brick piers in porte cochere and entry porch, raised roof line.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: Extensive alterations and front porte cochere conceal original Ranch Style house.

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711 Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 107 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Williams Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 602 Via Guadalupe

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1080

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.02

Block Lot(s) 107 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507240 Northing 356436

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT not determined known Source

BUILDER not determined known Source

CONSTRUCTION DATE 1951 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards)

southwest

Negative No. #24, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style

Stories one Basement Roof form gable

Describe other character-defining features of its massing, size, and scale Low gable roof with overhanging eaves, projecting gable at entry, horizontal, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Addition to south side, carport and entry porch added to east side, c. 1990.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) face brick, wood siding on clerestory

Windows steel casement

Roof composition built up Foundation concrete

SETTING. Describe the natural and/or built environment around the property Desert landscaping, well-constructed houses to side, desert landscaping all around, quiet residential street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple details, fair construction, exposed rafters at eaves, entry porch has columns with brackets.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: Carport and entrance porch visually dominate primary façade.

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/1/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ. 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 109 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Hall Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3249 Camino Campestre

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1100

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage .24

Block Lot(s) 109 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507400 Northing 356414

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source owner's records

BUILDER not determined known Source

CONSTRUCTION DATE 1952 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards)

southwest

Negative No. #30. Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable with sloped projection

Describe other character-defining features of its massing, size, and scale Rectangular plan with projecting side room, low-pitched gable roof, low eave line, deep front porch across front.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Covered porch added c. 1962. Carport enclosed c. 1955.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) brown painted face brick, wood siding

Windows steel casement with muntins, fixed glass panels

Roof tan asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Sparse desert landscaping, well-built houses on both sides with desert landscaping, faces lightly travelled street and tree bordered park.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-built, heavy wood porch columns with bevelled brackets, French door entry with muntins and sidelights.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/16/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 112 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Price Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3312 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1130

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.3

Block Lot(s) 112 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507300 Northing 356436

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1952 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/22/02

View Direction (looking towards)

southeast

Negative No. #8A, Roll #4



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building Morris K. Udall and family owned house 1953-60.

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable
Describe other character-defining features of its massing, size, and scale Simple rectangular shape, low overhanging eaves, residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates No alterations noted.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed face brick

Windows steel casement, fixed sash

Roof composition built up Foundation concrete

SETTING. Describe the natural and/or built environment around the property Mostly desert landscaping, similar well-built houses with desert landscaping each side, faces naturalized desert arroyo across street.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Simple detailing, well-constructed, double doors at entry with sidelights, large chimney with screened vents.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant Date: 7/1/02
Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711 Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 114 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Scanland Residence

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3364 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1150

Township 14S Range 14E Section 16 Quarters SW1/4 of the NW1/4 Acreage 1.25

Block Lot(s) 114 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507450 Northing 356436

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Arthur T. Brown not determined known Source owner's records

BUILDER Builders Control Service not determined known Source owner's records

CONSTRUCTION DATE 1953 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards)

south

Negative No. #22, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building Mr. William A. Scanland was local judge.
Dr. Herbert K. Abrams, current owner, is a physician and advocate for public health.

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable
Describe other character-defining features of its massing, size, and scale Simple rectangular shape, overhanging eaves, low residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Enclosed carport c. 1955.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) mortar-washed face brick
Windows steel casement with wrought iron grilles and decorative wood shutters
Roof tan asphalt shingles Foundation concrete

SETTING. Describe the natural and/or built environment around the property Mostly desert landscaping, each side similar well-built houses with desert landscaping, faces naturalized wash.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-constructed, brick header belt course, ceramic tile around entry, simple eave detail.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant Date: 7/1/02
Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711 Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 115 Survey Area Colonia Solana Residential Historic District

Historic Name(s) Vance Residence (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3380 Arroyo Chico

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1160

Township 14S Range 14E Section 16 Quarters SE1/4 of the NW1/4 Acreage .21

Block Lot(s) 115 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507155 Northing 356411

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT Ann Rysdale not determined known Source owner's records

BUILDER Dick Kesterson not determined known Source owner's records

CONSTRUCTION DATE 1955 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES / FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/19/02

View Direction (looking towards) southeast

Negative No. #27, Roll #2



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____
Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable with front projection, step-down to flat
Describe other character-defining features of its massing, size, and scale Low pitched roof, low eave line, rectangular form with front projection, angled carport, low residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Porch enclosed c. 1959.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) burnt adobe brick

Windows steel casement, fixed glass panels

Roof composition built up Foundation concrete

SETTING. Describe the natural and/or built environment around the property Mixed vegetation, large trees, well-built, landscaped houses each side, faces quiet residential street and naturalized desert arroyo.

How has the environment changed since the property was constructed? Not changed.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Well-detailed, well-built, overhanging roof with exposed rafters, attractive brickwork.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a listed or potential historic district.
 More information needed to evaluate.
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 7/16/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 118 Survey Area Colonia Solana Residential Historic District

Historic Name(s) None (Enter the name(s), if any, that best reflects the property's historic importance.)

Address 3331 Camino Campestre

City or Town Tucson vicinity County Pima Tax Parcel No. 126-21-1190

Township 14S Range 14E Section 16 Quarters SE1/4 of the NW1/4 Acreage 1.13

Block Lot(s) 118 Plat (Addition) Colonia Solana Year of plat (addition) 1928

UTM reference: Zone 12 Easting 507342 Northing 356485

USGS 7.5' quadrangle map: Tucson, Arizona

ARCHITECT M. H. Starkweather not determined known Source records search

BUILDER not determined known Source

CONSTRUCTION DATE 1954 known estimated Source neighborhood nomination

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. residential

Sources neighborhood nomination

PHOTO INFORMATION

Date of photo 7/5/02

View Direction (looking towards) northeast

Negative No. #21, Roll #1



SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS. Describe any historic events/trends associated with the property _____

Relates to post World War II development in Colonia Solana.

B. PERSONS. List and describe persons with an important association with the building none

C. ARCHITECTURE. Style/Type Ranch no style
Stories one Basement Roof form gable with hipped cross gable

Describe other character-defining features of its massing, size, and scale Small, horizontal design emphasis, overhanging eaves with flat soffits, low residential scale.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. Original site Moved: date _____ original site _____

DESIGN. Describe alterations from the original design, including dates Porch enclosed 1961.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) masonry bearing Walls (sheathing) adobe brick wainscot, red brick above

Windows steel casement with wrought iron grilles, wood picture window

Roof asphalt shingles with clay tile ridges Foundation concrete

SETTING. Describe the natural and/or built environment around the property Sparse desert landscaping, well-built houses with desert landscaping both sides, faces Hi Corbett Field across street.

How has the environment changed since the property was constructed? Not changed

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction Normal craftsmanship,

ornamental iron grillwork and adobe brick soldier course frame around entrance door.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually Listed; Contributor Noncontributor to Colonia Solana Residential Historic District
Date Listed _____ Determined eligible by Keeper of National Register (date _____)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: Ralph Comey Architects, consultant

Date: 6/19/02

Mailing Address: 800 N. Swan, Suite 111, Tucson, AZ 85711

Phone #: (520) 795-1191