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**U.S. Department of Housing and Urban
Development**
451 Seventh Street, SW
Washington, DC 20410
www.hud.gov
espanol.hud.gov

**Environmental Assessment
Determinations and Compliance Findings
for HUD-assisted Projects
24 CFR Part 58**

Project Information

Project Name: HOME-Rodeo-Addition-Subdivision

HEROS Number: 900000010375313

Responsible Entity (RE): TUCSON, PO Box 27210 Tucson AZ, 85726

RE Preparer: Rolanda Mazeika

State / Local Identifier:

Certifying Officer: Ann Chanecka

Grant Recipient (if different than Responsible Entity):

Point of Contact:

Consultant (if applicable):

Point of Contact:

Project Location: 5386 s nogales hwy, tucson, AZ 85706

Additional Location Information:

The Rodeo Addition Subdivision Project includes the following properties: 5386, 5390, 5400, 5406, 5412, 5418, and 5424 South Nogales Highway, Tucson, Pima County, Arizona, 85706, Pima County Assessor Parcel Numbers 137-04-1100, 137-04-1110, 137-04-1120, 137-04-1130, 137-04-1140, 137-04-1150, and 137-04-1160. The Rodeo

Addition Subdivision Project is located on the west side of South Nogales Highway, north of East Drexel Road, east of Missiondale Avenue, and south of East Olive Road in the Sunnyside Neighborhood Association.

Direct Comments to: E-mail: rolanda.mazeika@tucsonaz.gov, or
Mail: City of Tucson Housing & Community Development
Department, PO Box 27210, Tucson, Arizona 85726

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Rodeo Addition Subdivision Project provides for the new construction of 18, single-family, affordable attached housing units for sale to first-time homebuyers located on a 1.93-acre infill site in the City of Tucson by Habitat for Humanity Tucson (HFHT). The seven existing vacant lots will be resubdivided and replatted as part of the subdivision development and will be designed using the Flexible Lot Development (FLD) option of the City's land use code to maximize land use to support affordable housing opportunities. The lots will be cleared, graded, and leveled. A total of nine duplex-style units will be constructed, each containing two, 3-bedroom/2-bath homes with a shared wall. The homes will have one-car garages, gray water harvesting landscaping, and will be plumbed for solar heating. Two community parking lots, stormwater retention basins and common areas, and public and private streets will also be included in the subdivision development. Eight of the 18 duplex units will be funded through HOME Investment Partnerships Program (HOME) funds through the City of Tucson Housing & Community Development Department. A new hybrid construction technology will be applied for the build-out of the project, combining wall system kits with on-site construction and assembly, which allows for accelerated construction timeframes and durability. HFHT, the project developer, is a state-certified Community Housing Development Organization. Home purchase opportunities are provided to households earning 40-80% of area median income and HFHT's home purchase model integrates home buyer education with designated volunteers who serve as family partners throughout the home building and financing process. Pre-purchase homebuyer counseling will be provided by Family Housing Resources. HFHT receives Energy Star certification on all housing units through a third-party inspection, and building features include efficient HVAC systems, R-19 rated insulation, R-48 rated roofs, dual pane windows, and water-efficient fixtures and design elements. The project will comply with fair housing and accessibility requirements. Total Estimated Project Cost: \$2,991,788. Estimated project funding: \$320,000 in HOME Investment Partnerships Program (HOME) funds, grant number M-22-DC-04-0229 through the City of Tucson Housing & Community Development Department. The Rodeo Addition Subdivision Project includes the following properties: 5386, 5390, 5400, 5406, 5412, 5418, and 5424 South Nogales Highway, Tucson, Pima County, Arizona, 85706, Pima County Assessor Parcel Numbers 137-04-1100, 137-04-1110, 137-04-1120, 137-04-1130, 137-04-1140, 137-04-1150, and 137-04-1160. The Rodeo Addition Subdivision Project is located on the west side of South Nogales Highway, north of East Drexel Road, east of Missiondale Avenue, and south of East Olive Road in the Sunnyside Neighborhood Association.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

This project supports the City of Tucson Consolidated Plan policies to develop affordable housing including: acquisition and/or rehabilitation of affordable rental, permanent supportive, and HOME-funded transitional housing; construction of affordable rental housing, including permanent supportive housing and transitional housing; monthly rental assistance and security and utility deposits; assistance for first-time home buyers; and construction of or acquisition/rehabilitation/resale of affordable homeownership housing. The project serves the program purpose of increasing the supply of much needed affordable housing in the City of Tucson. The project also supports the goals of Plan Tucson, the 2013 City of Tucson General & Sustainability Plan, to provide housing, human services, public facilities, and economic development programs to address the housing needs of the most vulnerable populations (www.tucsonaz.gov/Departments/Planning-Development-Services/Development-Tools-Resources/Plans#section-2).

Existing Conditions and Trends [24 CFR 58.40(a)]:

The site is located on the south side of Tucson, on the west side of South Nogales Highway, north of East Drexel Road, east of Missiondale Avenue, and south of East Olive Road in the Sunnyside Neighborhood Association. The site is located along, but set back from, Nogales Highway, a major arterial. The site is approximately 1.23 miles east of Interstate 10 and 1.46 miles north of the Tucson International Airport. The site is currently vacant, undeveloped land with mostly native desert vegetation surrounded by residential, commercial, and industrial urban development. An unpaved road traverses the central portion of the site, there is an area of cleared vegetation on the southern portion of the site, and there is evidence of illegal dumping and other human activity onsite. Tucson's regional transit system including Sun Tran and Sun Van provide service to 6th Avenue, to the west of the site, and bus stops are within walking distance. The bus line connects directly to the Laos Transit Center, which serves as a hub to multiple bus lines providing services and connections throughout Tucson. Amenities within walking distance or directly available via the transit system include medical providers and pharmacies; markets and grocery; restaurants; retail shopping; and senior/recreation centers. The site is located within 2,100 feet of two major roadways, Nogales Highway and Drexel Road. The site is surrounded by residential development to the west, commercial, industrial, residential development, and vacant lots to the north, east, and south. The adjoining sites consist of the following: North, events center (5382 S Nogales Hwy); South, vacant lot (APN 137-01-005G); East, South Nogales Hwy followed by an apartment complex (under construction), vacant lots, and commercial/industrial development (5383 S Nogales Hwy, 5389 and 5395 S Nogales Hwy, 5455, 5425, 5437, 5451, and 5505 S Nogales Hwy, respectively); and West, residential neighborhood. Rudy Garcia Park (formerly Rodeo Park), El Pueblo Community Center, and El Rio Health Center are about one-half mile north of the site. The site is a good choice for housing

development based on the current affordable housing crisis as well as its proximity to transit, community and public services and facilities. Low- to high-density commercial, residential, public, and government development/improvements are likely to continue in the area.

Maps, photographs, and other documentation of project location and description:

- [2024-1-11 Nogales Google Aerial Map.pdf](#)
- [2024-1-11 Nogales Aerial Map.pdf](#)
- [2023 Rodeo Addn Dev Package Tentative Plat.pdf](#)
- [2023-3-6 Rodeo Addition Conceptual Site Plan.pdf](#)
- [2023-2-17 Nogales Site Recon Photos.pdf](#)

Determination:

✓	Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.13] The project will not result in a significant impact on the quality of human environment
	Finding of Significant Impact

Approval Documents:

- [2024-2-8 Nogales Signature Page.pdf](#)

7015.15 certified by Certifying Officer on:

7015.16 certified by Authorizing Officer on:

Funding Information

Grant / Project Identification Number	HUD Program	Program Name	Funding Amount
M-22-DC-04-0229	Community Planning and Development (CPD)	HOME Program	\$320,000.00

Estimated Total HUD Funded, Assisted or Insured Amount: \$320,000.00

Estimated Total Project Cost [24 CFR 58.2 (a) (5)]: \$2,991,788.00

Compliance with 24 CFR §50.4, §58.5 and §58.6 Laws and Authorities

<p>Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §50.4, §58.5, and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determination (See Appendix A for source determinations)</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.6</p>		
<p>Airport Hazards Clear Zones and Accident Potential Zones; 24 CFR Part 51 Subpart D</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements.</p>
<p>Coastal Barrier Resources Act Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>This project is located in a state that does not contain CBRS units. There are no CBRS units in Arizona. Therefore, this project is in compliance with the Coastal Barrier Resources Act.</p>
<p>Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. FEMA Zone X, 04019C 2289L, 6/16/2011. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements.</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.5</p>		
<p>Air Quality Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The project's county or air quality management district is in non-attainment status for the following: Particulate Matter, <10 microns (Rillito planning area, Pima County, AZ). The project's county or air quality management district is in maintenance status for the following: Carbon monoxide (Tucson, Pima County, AZ) and Particulate Matter, <10 microns (Ajo planning area, Pima County, AZ). This project does not exceed de minimis emissions levels or the screening level established by the state or air quality</p>

		<p>management district for the pollutant(s) identified above. The Arizona Department of Environmental Quality (ADEQ) and the Pima County Department of Environmental Quality (PDEQ) have reviewed air quality monitoring data and do not believe the development of single-family residences, multi-family housing, or small apartment complexes (under 100 units) in existing residential areas will adversely impact air quality. Memo from Richard Grimaldi, PDEQ, dated 12/18/2019. The project is in compliance with the Clean Air Act.</p>
<p>Coastal Zone Management Act Coastal Zone Management Act, sections 307(c) & (d)</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>This project is located in a state that does not participate in the Coastal Zone Management Program. There are no coastal areas in Arizona. Therefore, this project is in compliance with the Coastal Zone Management Act.</p>
<p>Contamination and Toxic Substances 24 CFR 50.3(i) & 58.5(i)(2)]</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Site contamination was evaluated as follows: ASTM Phase I ESA, Aplomado Environmental LLC, 3/10/2023. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements.</p>
<p>Endangered Species Act Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. E-mail from US Fish & Wildlife Service, 5/1/2023. This project is in compliance with the Endangered Species Act.</p>
<p>Explosive and Flammable Hazards Above-Ground Tanks)[24 CFR Part 51 Subpart C</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>There is a current or planned stationary aboveground storage container of concern within 1 mile of the project site. One propane AST, one AST containing resin solution, and two ASTs containing diesel fuel were evaluated. The</p>

		Separation Distances from the project are acceptable. The project is in compliance with explosive and flammable hazard requirements.
Farmlands Protection Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The site does not meet the definition of farmland per 7 CFR Part 658.2(a), "...Farmland" does not include land already in or committed to urban development or water storage..." The site is in a fully developed, urban environment per the US Census Urban Area Map printed 7/5/2022. The project is in compliance with the Farmland Protection Policy Act.
Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not occur in a floodplain. FEMA Zone X, 04019C 2289L, 6/16/2011. The project is in compliance with Executive Order 11988.
Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Based on the project description the project has No Potential to Cause Effects. No impact determination by the City of Tucson Historic Preservation Officer, 1/17/2024. The project is in compliance with Section 106.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	A Noise Assessment was conducted. The noise level was acceptable: 65.0 db. See noise analysis, Joel Viers, Pima County Department of Community & Workforce Development, 3/2023. Home construction includes wall insulation values of R-19, ceiling values of R-48, and dual pane windows that may contribute to higher sound transmission class ratings. The project is in compliance with HUD's Noise regulation.
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project is located on a sole source aquifer. The region has an MOU or other working agreement with EPA for HUD projects impacting a sole source aquifer, and the MOU or working agreement excludes the project from

		further review (Section II.B.1, "Construction of residential, commercial or industrial projects, or public facilities, or land developments, which will be served by an existing and publicly owned and operated sewerage system and treatment plant which is not subject to a locally or EPA imposed moratorium, except for any development covered in A above."). The project will utilize existing municipal water and wastewater facilities. The project is in compliance with Sole Source Aquifer requirements.
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project will not impact on- or off-site wetlands. The northeast portion of the project area lies closest to the Nebraska Wash (riverine) located approximately 436 feet northeast of the site. The new subdivision's flow will be directed to engineered retention basins on the west and southwest portions of the subdivision. The subdivision will be cleared, graded, and leveled, and will be prepared to engineering standards to handle flow appropriately. The project is in compliance with Executive Order 11990. The project is in compliance with Executive Order 11990.
Wild and Scenic Rivers Act Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not within proximity of a NWSRS river. There are no NWSRS in Tucson. The project is in compliance with the Wild and Scenic Rivers Act.
HUD HOUSING ENVIRONMENTAL STANDARDS		
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898.

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27]

Impact Codes: An impact code from the following list has been used to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement.

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	The project consists of resubdividing and replatting seven existing vacant lots , lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site that conforms with the surrounding neighborhoods in terms of overall scale, density, size, and massing. The new construction activities will be permitted through the City of Tucson and Pima County. The site is consistent with local and regional planning efforts and must receive planning and zoning verification from the City of Tucson. The project site is zoned R-2. The project supports the goals of Plan Tucson, the City of Tucson General & Sustainability Plan to provide housing, human services, public facilities, and economic development programs to address the housing needs of the most vulnerable populations. https://www.tucsonaz.gov/Departments/Planning-Development-Services/Development-Tools-Resources/Plans#section-2 . The project also supports the goals of the Tucson-Pima County HUD 5 Year Consolidated Plan. Development Package approved by the City Development Review Committee, 9/12/2023.	
Soil Suitability / Slope/ Erosion / Drainage and Storm Water Runoff	2	The project consists of resubdividing and replatting seven existing vacant lots , lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. Surface drainage of stormwater was generally directed northwestward toward the alley and adjoining properties per the site visit by Aplomado Environmental LLC. The lot will be cleared, graded, and leveled, and will be prepared to engineering	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		standards to handle flow appropriately. The built area will serve to collect and direct water to two onsite retention basins per the drainage report prepared by Rick Engineering Company, 3/31/2023. Phase I ESA, Aplomado Environmental LLC, 3/10/2023.	
Hazards and Nuisances including Site Safety and Site-Generated Noise	2	No evidence of onsite hazards or nuisances including soil contamination; proximity to high pressure pipelines or other volatile and explosive products; high-voltage transmission lines; radio/TV transmission towers; excessive smoke, fumes, odors subsidence, ground water, inadequate surface drainage, flood, etc. There are no visible poisonous plants or animals on the site. No known natural hazards exist. The site has access to intersections with crosswalks for residents to cross nearby arterial streets, sidewalks, bike lanes, and other safety features. Other than a brief period of construction there should be no increase in noise levels. Phase I ESA, Aplomado Environmental LLC, 3/10/2023.	
SOCIOECONOMIC			
Employment and Income Patterns	2	The City of Tucson anticipates sustaining jobs in the environmental, engineering, and construction industries as part of this project. Employment opportunities will be created for construction trades as part of this project. The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. The project will follow Section 3 requirements in all employment, construction, and subcontracting activities. The site is within walking distance or a short commute on public transit to numerous retail, restaurant, and service businesses.	
Demographic Character Changes / Displacement	2	The project site is in an area of moderate income. There is a mix of medium density, single-family and multifamily, residential development, together with schools, parks, and other public services necessary for an urban residential environment, general commercial uses that serve	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>the community and region, residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses, mid-rise, office, medical, civic, and select other uses, such as urban agriculture and renewable energy generation, that provide reasonable compatibility with adjoining residential uses, and a limited area of industrial uses that do not have offensive characteristics in addition to land uses permitted in more restrictive nonresidential zones. The area has a 95% minority population with approximately 34% of housing units being renter-occupied. The project consists of resubdividing and replatting seven existing vacant lots , lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. Displacement of residents or businesses is not projected.</p>	
<p>Environmental Justice EA Factor</p>	<p>2</p>	<p>The project site is in an area of moderate income. There is a mix of medium density, single-family and multifamily, residential development, together with schools, parks, and other public services necessary for an urban residential environment, general commercial uses that serve the community and region, residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses, mid-rise, office, medical, civic, and select other uses, such as urban agriculture and renewable energy generation, that provide reasonable compatibility with adjoining residential uses, and a limited area of industrial uses that do not have offensive characteristics in addition to land uses permitted in more restrictive nonresidential zones. The area has a 95% minority population with approximately 34% of housing units being renter-occupied. Elevated EJ Indexes are observed within one mile of the site related to the nearby Superfund site (Tucson International Airport Area, TIAA) and commercial/industrial</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>sites, older housing stock (lead paint), air quality, and the adjacent and nearby traffic corridors. The project consists of resubdividing and replatting seven existing vacant lots , lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. A Phase I Environmental Site Assessment was conducted. No recognized environmental conditions were identified. The project supports the goals of City of Tucson Consolidated Plan policies to develop affordable housing including: acquisition and/or rehabilitation of affordable rental, permanent supportive, and HOME-funded transitional housing; construction of affordable rental housing, including permanent supportive housing and transitional housing; monthly rental assistance and security and utility deposits; assistance for first-time home buyers; and construction of or acquisition/rehabilitation/resale of affordable homeownership housing. Development of the Consolidated Plan included a robust consultation and public comment process including agencies/organizations whose operations and clientele would be directly impacted by the Plan's activities. The project will have minimal impact to neighboring residents/occupants.</p>	
COMMUNITY FACILITIES AND SERVICES			
<p>Educational and Cultural Facilities (Access and Capacity)</p>	<p>2</p>	<p>The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. Little impact to area primary, middle, and high schools, daycares, and pre-schools is anticipated. Neighborhood residents are served by 13 elementary, middle, and high schools within walking distance and/or a 6-minute driving distance. Educational and cultural enrichment opportunities are available at nearby community centers, libraries, recreation centers, and parks. The El Pueblo Activity & Senior and Cherry Avenue Centers feature various recreation opportunities for all ages and activities, field trips, and special</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		events for seniors. The El Pueblo Center also offers a senior meal program, Mondays-Fridays. The Roy Drachman Boys & Girls Clubhouse is located within 2 miles of the project site and offers youth programming, Monday-Friday. Multi-modal access to educational and cultural facilities is readily available and is not anticipated to be impacted by foreseeable climate changes.	
Commercial Facilities (Access and Proximity)	2	The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. The project will not adversely impact or displace commercial facilities. The project site is within 2.5 miles of major grocery stores, local food markets, discount stores, pharmacies, and medical providers. Multi-modal access to these facilities is readily available.	
Health Care / Social Services (Access and Capacity)	2	The project site is within 4 miles of two medical centers with emergency care. Emergency facilities, clinics, and physician services are accessible via public transit. Nearby support services include Cope Behavioral Services, MIKID (Mentally Ill Kids in Distress), La Frontera, and the Tucson VA (Veterans Affairs) Medical Center. The additional residents from this project will not have an adverse impact on the available services.	
Solid Waste Disposal and Recycling (Feasibility and Capacity)	2	Onsite waste disposal and recycling services are available through the City of Tucson Environmental & General Services Department. The City of Tucson provides extensive recycling options, including construction debris handling and recycling, landfill disposal, green waste recycling, and household hazardous waste disposal services. Construction debris generated during demolition will be routed to a nearby Tucson Landfill or to a regional landfill depending on the category of waste material.	
Waste Water and Sanitary Sewers	2	The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
(Feasibility and Capacity)		site. Pima County Wastewater provides wastewater and sewer service to the project area. The tentative plat indicates the development to be connected to the public wastewater system. Wastewater and sewer services are not anticipated to be impacted by foreseeable climate changes. Tentative plat package, 7/19/2023.	
Water Supply (Feasibility and Capacity)	2	The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. Tucson Water provides water service to the project area. The tentative plat indicates the development to be connected to the public potable water system. Tentative plat package, 7/19/2023.	
Public Safety - Police, Fire and Emergency Medical	2	The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. The project site is within 3 miles of two fire stations. Response times vary depending on the type of call, but the average time for emergency response is nine minutes or less. The site is within 2 miles of the Tucson Police Department Santa Cruz Substation. The project site is within 4 miles of two medical centers with an emergency room.	
Parks, Open Space and Recreation (Access and Capacity)	2	The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. The site is within two miles of seven parks. The Rudy Garcia and El Pueblo Parks are located approximately 0.6 miles north of the project site. The El Pueblo Park is part of the larger El Pueblo Activity and Senior Center that offers various recreation opportunities for all ages and activities, field trips, and special events for seniors including a senior meal program, Mondays-Fridays. The Rudy Garcia is a 44-acre park with abundant outdoor recreation space.	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
Transportation and Accessibility (Access and Capacity)	2	The site is located along, but set back from, Nogales Highway, a major arterial and south of Drexel Road, another major roadway, and is approximately 1.23 miles east of Interstate 10. The site has access to crosswalks, sidewalks, and bicycle lanes. Tucson's regional transit system, Sun Tran, provides service within walking distance and bus stops are available west of the site along 6th Avenue, which connect directly to the Laos Transit Center, a bus hub.	
NATURAL FEATURES			
Unique Natural Features /Water Resources	2	There are no unique natural or water features on or nearby the site.	
Vegetation / Wildlife (Introduction, Modification, Removal, Disruption, etc.)	2	The site is currently vacant, undeveloped land with mostly native desert vegetation surrounded by residential, commercial, and industrial urban development. An unpaved road traverses the central portion of the site, there is an area of cleared vegetation on the southern portion of the site, and there is evidence of illegal dumping and other human activity onsite. Minimal evidence of wildlife, ground squirrels and birds, is observed. There are no effects anticipated to proposed/listed species or proposed/designated critical habitat from this project, E-mail from US Fish & Wildlife Service, 5/1/2023.	
Other Factors 1			
Other Factors 2			
CLIMATE AND ENERGY			
Climate Change	2	The project consists of resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site. Climate predictions forecast increased average daily temperatures and decreased annual precipitation for the area. HFHT receives Energy Star certification on all housing units through a third-party inspection, and building features include efficient HVAC systems, R-19 rated	

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		insulation, R-48 rated roofs, dual pane windows, and water efficient fixtures and design elements.	
Energy Efficiency	2	<p>HFHT receives Energy Star certification on all housing units through a third-party inspection. HVAC systems are designed to meet Energy Star 3 specifications and are located in a semi conditioned attic; floors are epoxy coated, walls coated with low Volatile Organic Compound paints; insulation is rated at the R-19 level, with roofs at the R-48 level; fluorescent and/or LED light bulbs are installed; windows are .30/.30 dual-pane; roofing tiles contain recycled concrete; washing machines are piped to irrigate yard plants; and rain water is diverted to landscape plants and basins (most plants are native to the Sonoran desert, and all are drought-tolerant). HFHT installs hybrid water heaters in all homes, along with faucet fixtures gauged at 1.5 gpm, and 1.28 gpf for toilets. HFHT offers low-income home buyers an option to participate in the Tucson Electric Power solar program set-aside for a 10-year period. Energy use for construction activities, such as construction equipment, are temporary in nature.</p>	

Supporting documentation

- [2024-2-2 Rudy Garcia Park.pdf](#)
- [2024-2-2 Nogales Google Map Parks.pdf](#)
- [2024-2-2 Nogales Google Map Fire Station.pdf](#)
- [2024-2-2 El Pueblo Park.pdf](#)
- [2024-2-1 Nogales Google Map Schools.pdf](#)
- [2024-2-1 Nogales Google Map Pharmacies.pdf](#)
- [2024-2-1 Nogales Google Map Parks.pdf](#)
- [2024-2-1 Nogales Google Map Mental Health.pdf](#)
- [2024-2-1 Nogales Google Map Libraries.pdf](#)
- [2024-2-1 Nogales Google Map Hospitals.pdf](#)
- [2024-2-1 Nogales Google Map Grocery.pdf](#)
- [2024-2-1 Nogales Google Map Discount Stores.pdf](#)
- [2024-2-1 Nogales Google Map Daycares.pdf](#)
- [2024-2-1 Nogales Google Map Comm Ctrs.pdf](#)
- [2024-2-1 Nogales Google Map Clinics.pdf](#)
- [2024-2-1 El Pueblo Activity-Senior Ctr.pdf](#)

[2024-2-1 Cherry Ave Ctr.pdf](#)
[2024-2-1 Boys Girls Club Roy Drachman Site.pdf](#)
[2024-2- Nogales Google Map Police.pdf](#)
[2024-1-11 Nogales Zoning Map.pdf](#)
[2024-1-11 Nogales Transit Map.pdf](#)
[2024-1-11 Nogales FFIEC Demographics.pdf](#)

Additional Studies Performed:

Field Inspection [Optional]: Date and completed
by:

Aplomado Environmental LLC

2/17/2023 12:00:00 AM

[2023 Rodeo Addn Dev Package Tentative Plat.pdf](#)
[2023-3-6 Rodeo Addition Conceptual Site Plan.pdf](#)
[2023-2-17 Nogales Site Recon Photos.pdf](#)

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

City of Tucson, Office of the Mayor-Mayor Regina Romero; City of Tucson, Housing and Community Development Department-Ann Chanecka, Mary Leon, Ben Carpenter; City of Tucson Planning and Development Services; City of Tucson, Department of Transportation and Mobility; Tucson Fire Department; Tucson Police Department; City of Tucson, Tucson Water Department; City of Tucson, Environmental & General Services Department; Pima County Wastewater Management; Pima County Department of Environmental Quality; City of City of Tucson-Pima County Consortium, Consolidated Plan & Annual Action Plans,
<https://www.tucsonaz.gov/Departments/Housing-and-Community-Development/Documents/Plans>

List of Permits Obtained:

The reviews that go into each project include but are not limited to: Planning, Zoning, Engineering, Landscape, Fire, ADA, Plumbing, Solid Waste, Right of Way Improvements, Structural, Mechanical and Plumbing, Electrical, Fire, Zoning Engineering, Wastewater, Water, Transportation. The City of Tucson Planning and Development Services Department reviews, approves, and issues all permits for: zoning, site plans, grading, storm water, demolition, parking, landscape and construction trades; issues all permits; performs inspections and issues certificate of occupancy. The Department enforces building and zoning codes.

Public Outreach [24 CFR 58.43]:

Publication of English and Spanish language combined Notice of Intent to Request Release of Funds/Finding of No Significant Impacts (RROF/FONSI) in the Arizona Daily Star on 2/13/2024. Interested parties contacted by e-mail. The Environmental Review Record (ERR) that documents the environmental determinations for this project is available at www.tucsonaz.gov/Departments/Housing-and-Community-Development/Documents/Environmental-Review and in-person at 310 North Commerce Park Loop, Tucson, Arizona 85745. The ERR will also be available and distributed on the HUD HEROS system.

[2024-2-13 Nogales contact list.pdf](#)

Cumulative Impact Analysis [24 CFR 58.32]:

The proposed resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site is located on the south side of Tucson, Arizona in the Sunnyside Neighborhood Association, in an area of moderate income, with a mix of medium density, single-family and multifamily, residential development, together with schools, parks, and other public services necessary for an urban residential environment, general commercial uses that serve the community and region, residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses, mid-rise, office, medical, civic, and select other uses, such as urban agriculture and renewable energy generation, that provide reasonable compatibility with adjoining residential uses, and a limited area of industrial uses that do not have offensive characteristics in addition to land uses permitted in more restrictive nonresidential zones. The project will be a minor contributor to the projected increase in population, traffic, and energy usage already anticipated in the area. The project will redevelop a currently vacant, undeveloped site surrounded by residential, commercial, and industrial urban development and will use existing roadways, sewer systems, municipal water, and other utilities. No significant cumulative impacts on the environment are anticipated from the Proposed Action in conjunction with other activities.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

No alternatives other than the No Action Alternative were considered.

No Action Alternative [24 CFR 58.40(e)]

Resubdividing and replatting seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site would not occur. Goals of the City of Tucson-Pima County Consortium (Consolidated/Annual Action) Plan would not be fulfilled. Development of additional affordable housing would not occur.

Summary of Findings and Conclusions:

The proposed resubdividing and replatting of seven existing vacant lots, lot preparation, and new construction of 18, single-family, attached housing units on a 1.93-acre infill site will not adversely affect the environment or the neighborhood. The activity is compatible with existing medium density, single-family and multifamily, residential development, together with schools, parks, and other public services necessary for an urban residential environment, general commercial uses that serve the community and region, residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses, mid-rise, office, medical, civic, and select other uses, such as urban agriculture and renewable energy generation, that provide reasonable compatibility with adjoining residential uses, and a limited area of industrial uses that do not have offensive characteristics in addition to land uses permitted in more restrictive nonresidential zones in the area. There will be little to no impact on existing resources or services in the area. The project locations are owned by the redeveloper and the site plans are approved. The project is a positive step in meeting City of Tucson goals for encouraging appropriate growth and development in the area. The project is a positive step in meeting City of Tucson goals for addressing the housing shortage and housing affordability needs in the community.

Mitigation Measures and Conditions [CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Mitigation Plan	Complete
--	--	---	----------------------------	-----------------

Project Mitigation Plan

Supporting documentation on completed measures

APPENDIX A: Related Federal Laws and Authorities

Airport Hazards

General policy	Legislation	Regulation
It is HUD's policy to apply standards to prevent incompatible development around civil airports and military airfields.		24 CFR Part 51 Subpart D

1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

No

Based on the response, the review is in compliance with this section. Document and upload the map showing that the site is not within the applicable distances to a military or civilian airport below

Yes

Screen Summary

Compliance Determination

The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements.

Supporting documentation

[2024-1-11 Nogales Airport Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Coastal Barrier Resources

General requirements	Legislation	Regulation
HUD financial assistance may not be used for most activities in units of the Coastal Barrier Resources System (CBRS). See 16 USC 3504 for limitations on federal expenditures affecting the CBRS.	Coastal Barrier Resources Act (CBRA) of 1982, as amended by the Coastal Barrier Improvement Act of 1990 (16 USC 3501)	

This project is located in a state that does not contain CBRA units. Therefore, this project is in compliance with the Coastal Barrier Resources Act.

Compliance Determination

This project is located in a state that does not contain CBRS units. There are no CBRS units in Arizona. Therefore, this project is in compliance with the Coastal Barrier Resources Act.

Supporting documentation

[Coastal Barriers Template 2024-1-11.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Flood Insurance

General requirements	Legislation	Regulation
Certain types of federal financial assistance may not be used in floodplains unless the community participates in National Flood Insurance Program and flood insurance is both obtained and maintained.	Flood Disaster Protection Act of 1973 as amended (42 USC 4001-4128)	24 CFR 50.4(b)(1) and 24 CFR 58.6(a) and (b); 24 CFR 55.1(b).

1. Does this project involve financial assistance for construction, rehabilitation, or acquisition of a mobile home, building, or insurable personal property?

No. This project does not require flood insurance or is excepted from flood insurance.

Yes

2. Upload a FEMA/FIRM map showing the site here:

[2024-1-11 Nogales Flood Map.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use the best available information to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site. Provide FEMA/FIRM floodplain zone designation, panel number, and date within your documentation.

Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?

No

Based on the response, the review is in compliance with this section.

Yes

4. While flood insurance is not mandatory for this project, HUD strongly recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). Will flood insurance be required as a mitigation measure or condition?

Yes

✓ No

Screen Summary

Compliance Determination

The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. FEMA Zone X, 04019C 2289L, 6/16/2011. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements.

Supporting documentation

Are formal compliance steps or mitigation required?

Yes

✓ No

Air Quality

General requirements	Legislation	Regulation
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate SIP.	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

Yes

No

Air Quality Attainment Status of Project's County or Air Quality Management District

2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

No, project's county or air quality management district is in attainment status for all criteria pollutants.

Yes, project's management district or county is in non-attainment or maintenance status for the following criteria pollutants (check all that apply):

Carbon Monoxide

Lead

Nitrogen dioxide

Sulfur dioxide

Ozone

Particulate Matter, <2.5 microns

✓ Particulate Matter, <10 microns

3. What are the *de minimis* emissions levels (40 CFR 93.153) or screening levels for the non-attainment or maintenance level pollutants indicated above

Carbon monoxide ppm (parts per million)

Particulate Matter, <10 microns µg/m3 (micrograms per cubic meter of air)

Provide your source used to determine levels here:

Pima County Department of Environmental Quality (PDEQ)

4. Determine the estimated emissions levels of your project. Will your project exceed any of the *de minimis* or threshold emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?

✓ No, the project will not exceed *de minimis* or threshold emissions levels or screening levels.

Enter the estimate emission levels:

Carbon monoxide ppm (parts per million)

Particulate Matter, <10 microns µg/m3 (micrograms per cubic meter of air)

Based on the response, the review is in compliance with this section.

Yes, the project exceeds *de minimis* emissions levels or screening levels.

Screen Summary

Compliance Determination

The project's county or air quality management district is in non-attainment status for the following: Particulate Matter, <10 microns (Rillito planning area, Pima County, AZ). The project's county or air quality management district is in maintenance status for the following: Carbon monoxide (Tucson, Pima County, AZ) and Particulate Matter,

<10 microns (Ajo planning area, Pima County, AZ). This project does not exceed de minimis emissions levels or the screening level established by the state or air quality management district for the pollutant(s) identified above. The Arizona Department of Environmental Quality (ADEQ) and the Pima County Department of Environmental Quality (PDEQ) have reviewed air quality monitoring data and do not believe the development of single-family residences, multi-family housing, or small apartment complexes (under 100 units) in existing residential areas will adversely impact air quality. Memo from Richard Grimaldi, PDEQ, dated 12/18/2019. The project is in compliance with the Clean Air Act.

Supporting documentation

[Air quality memo 12-18-19.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Coastal Zone Management Act

General requirements	Legislation	Regulation
Federal assistance to applicant agencies for activities affecting any coastal use or resource is granted only when such activities are consistent with federally approved State Coastal Zone Management Act Plans.	Coastal Zone Management Act (16 USC 1451-1464), particularly section 307(c) and (d) (16 USC 1456(c) and (d))	15 CFR Part 930

This project is located in a state that does not participate in the Coastal Zone Management Program. Therefore, this project is in compliance with the Coastal Zone Management Act.

Screen Summary

Compliance Determination

This project is located in a state that does not participate in the Coastal Zone Management Program. There are no coastal areas in Arizona. Therefore, this project is in compliance with the Coastal Zone Management Act.

Supporting documentation

[Coastal Zones Template 2024-1-11.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Contamination and Toxic Substances

General requirements	Legislation	Regulations
It is HUD policy that all properties that are being proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of the occupants or conflict with the intended utilization of the property.		24 CFR 58.5(i)(2) 24 CFR 50.3(i)

1. Evaluate the site for contamination. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property?

✓ No

Explain:

ASTM Phase I ESA, Aplomado Environmental LLC, 3/10/2023, no RECs

Based on the response, the review is in compliance with this section.

Yes

✓ Check here if an ASTM Phase I Environmental Site Assessment (ESA) report was utilized. [Note: HUD regulations does not require an ASTM Phase I ESA report for single family homes]

Screen Summary

Compliance Determination

Site contamination was evaluated as follows: ASTM Phase I ESA, Aplomado Environmental LLC, 3/10/2023. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements.

Supporting documentation

[2023-3-10 Rodeo Addn Phase I ESA 5386-5424 S Nogale Hwy Aplomado.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Endangered Species

General requirements	ESA Legislation	Regulations
Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure that actions that they authorize, fund, or carry out shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service (“FWS” and “NMFS” or “the Services”).	The Endangered Species Act of 1973 (16 U.S.C. 1531 <i>et seq.</i>); particularly section 7 (16 USC 1536).	50 CFR Part 402

1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office

- ✓ Yes, the activities involved in the project have the potential to affect species and/or habitats.

2. Are federally listed species or designated critical habitats present in the action area?

- ✓ No, the project will have No Effect due to the absence of federally listed species and designated critical habitat

Based on the response, the review is in compliance with this section. Document and upload all documents used to, make your determination below. Documentation may include letters from the Services, species lists from the Services’ websites, surveys or other documents and analysis showing that there are no species in the action area.

Yes, there are federally listed species or designated critical habitats present in the action area.

Screen Summary

Compliance Determination

This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. E-mail from US Fish & Wildlife Service, 5/1/2023. This project is in compliance with the Endangered Species Act.

Supporting documentation

[2023-5-2 Nogales IPAC List.pdf](#)

[2023-5-1 FWS Review.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Explosive and Flammable Hazards

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable Separation Distance (ASD) requirements to protect them from explosive and flammable hazards.	N/A	24 CFR Part 51 Subpart C

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

No

Yes

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

No

Yes

3. Within 1 mile of the project site, are there any current or planned stationary aboveground storage containers that are covered by 24 CFR 51C? Containers that are NOT covered under the regulation include:

- Containers 100 gallons or less in capacity, containing common liquid industrial fuels OR

- Containers of liquified petroleum gas (LPG) or propane with a water volume capacity of 1,000 gallons or less that meet the requirements of the 2017 or later version of National Fire Protection Association (NFPA) Code 58.

If all containers within the search area fit the above criteria, answer "No." For any other type of aboveground storage container within the search area that holds one of the flammable or explosive materials listed in Appendix I of 24 CFR part 51 subpart C, answer "Yes."

No

Yes

4. Based on the analysis, is the proposed HUD-assisted project located at or beyond the required separation distance from all covered tanks?

Yes

Based on the response, the review is in compliance with this section.

No

Screen Summary

Compliance Determination

There is a current or planned stationary aboveground storage container of concern within 1 mile of the project site. One propane AST, one AST containing resin solution, and two ASTs containing diesel fuel were evaluated. The Separation Distances from the project are acceptable. The project is in compliance with explosive and flammable hazard requirements.

Supporting documentation

[2024-2-8 Nogales AST Summary.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Farmlands Protection

General requirements	Legislation	Regulation
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	7 CFR Part 658

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

Yes

No

If your project includes new construction, acquisition of undeveloped land or conversion, explain how you determined that agricultural land would not be converted:

The site does not meet the definition of farmland per 7 CFR Part 658.2(a), "...Farmland" does not include land already in or committed to urban development or water storage..." The site is in a fully developed, urban environment per the US Census Urban Area Map printed 7/5/2022.

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary

Compliance Determination

This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The site does not meet the definition of farmland per 7 CFR Part 658.2(a), "...Farmland" does not include land already in or committed to urban development or water storage..." The site is in a fully developed, urban environment per the US Census Urban Area Map printed 7/5/2022. The project is in compliance with the Farmland Protection Policy Act.

Supporting documentation

[US Census Urban Area Map 2022-7-5.pdf](#)

Are formal compliance steps or mitigation required?

HOME-Rodeo-Addition-
Subdivision

tucson, AZ

900000010375313

Yes

✓ No

Floodplain Management

General Requirements	Legislation	Regulation
Executive Order 11988, Floodplain Management, requires federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable.	Executive Order 11988	24 CFR 55

1. Do any of the following exemptions apply? Select the applicable citation? [only one selection possible]

55.12(c)(3)

55.12(c)(4)

55.12(c)(5)

55.12(c)(6)

55.12(c)(7)

55.12(c)(8)

55.12(c)(9)

55.12(c)(10)

55.12(c)(11)

None of the above

2. Upload a FEMA/FIRM map showing the site here:

[2024-1-11 Nogales Flood Map.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use **the best available information** to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site.

Does your project occur in a floodplain?

No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

This project does not occur in a floodplain. FEMA Zone X, 04019C 2289L, 6/16/2011.
The project is in compliance with Executive Order 11988.

Supporting documentation

Are formal compliance steps or mitigation required?

Yes

✓ No

Historic Preservation

General requirements	Legislation	Regulation
Regulations under Section 106 of the National Historic Preservation Act (NHPA) require a consultative process to identify historic properties, assess project impacts on them, and avoid, minimize, or mitigate adverse effects	Section 106 of the National Historic Preservation Act (16 U.S.C. 470f)	36 CFR 800 "Protection of Historic Properties" https://www.govinfo.gov/content/pkg/CFR-2012-title36-vol3/pdf/CFR-2012-title36-vol3-part800.pdf

Threshold

Is Section 106 review required for your project?

- No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA). (See the PA Database to find applicable PAs.)
- ✓ No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].
- Yes, because the project includes activities with potential to cause effects (direct or indirect).

Threshold (b). Document and upload the memo or explanation/justification of the other determination below:

Based on the response, the review is in compliance with this section.

Screen Summary

Compliance Determination

Based on the project description the project has No Potential to Cause Effects. No impact determination by the City of Tucson Historic Preservation Officer, 1/17/2024. The project is in compliance with Section 106.

Supporting documentation

[HPO Programmatic agreement.pdf](#)

[2024-1-11 Nogales HPO Map.pdf](#)

[2024-1-17 Nogales HPO No Impact Determination.pdf](#)

[2023-5-31 CRS COT 23-008 5424 S Nogales Hwy SRSF.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Noise Abatement and Control

General requirements	Legislation	Regulation
HUD's noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972 General Services Administration Federal Management Circular 75-2: "Compatible Land Uses at Federal Airfields"	Title 24 CFR 51 Subpart B

1. What activities does your project involve? Check all that apply:

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

Rehabilitation of an existing residential property

A research demonstration project which does not result in new construction or reconstruction

An interstate land sales registration

Any timely emergency assistance under disaster assistance provision or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster

None of the above

4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

There are no noise generators found within the threshold distances above.

- ✓ Noise generators were found within the threshold distances.

5. **Complete the Preliminary Screening to identify potential noise generators in the**

- ✓ Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Indicate noise level here: 65

Based on the response, the review is in compliance with this section. Document and upload noise analysis, including noise level and data used to complete the analysis below.

Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Unacceptable: (Above 75 decibels)

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels.

Check here to affirm that you have considered converting this property to a non-residential use compatible with high noise levels.

Indicate noise level here: 65

Document and upload noise analysis, including noise level and data used to complete the analysis below.

Screen Summary

Compliance Determination

A Noise Assessment was conducted. The noise level was acceptable: 65.0 db. See noise analysis, Joel Viers, Pima County Department of Community & Workforce Development, 3/2023. Home construction includes wall insulation values of R-19, ceiling values of R-48, and dual pane windows that may contribute to higher sound transmission class ratings. The project is in compliance with HUD's Noise regulation.

Supporting documentation

[2023-3 Nogales Noise Calculation.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Sole Source Aquifers

General requirements	Legislation	Regulation
The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.	Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)	40 CFR Part 149

1. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes

✓ No

2. Is the project located on a sole source aquifer (SSA)?

A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

No

✓ Yes

3. Does your region have a memorandum of understanding (MOU) or other working agreement with Environmental Protection Agency (EPA) for HUD projects impacting a sole source aquifer?

✓ Yes

Document and upload MOU or Agreement below.

No

4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review. If negative effects cannot be mitigated, cancel the project using the button at the bottom of this screen

Yes

Document and upload where your project fits within the MOU or working agreement below. Based on the response, the review is in compliance with this section.

No

Screen Summary

Compliance Determination

The project is located on a sole source aquifer. The region has an MOU or other working agreement with EPA for HUD projects impacting a sole source aquifer, and the MOU or working agreement excludes the project from further review (Section II.B.1, "Construction of residential, commercial or industrial projects, or public facilities, or land developments, which will be served by an existing and publicly owned and operated sewerage system and treatment plant which is not subject to a locally or EPA imposed moratorium, except for any development covered in A above."). The project will utilize existing municipal water and wastewater facilities. The project is in compliance with Sole Source Aquifer requirements.

Supporting documentation

[Sole Source Aquifer Template 5-11-18.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Wetlands Protection

General requirements	Legislation	Regulation
Executive Order 11990 discourages direct or indirect support of new construction impacting wetlands wherever there is a practicable alternative. The Fish and Wildlife Service's National Wetlands Inventory can be used as a primary screening tool, but observed or known wetlands not indicated on NWI maps must also be processed Off-site impacts that result in draining, impounding, or destroying wetlands must also be processed.	Executive Order 11990	24 CFR 55.20 can be used for general guidance regarding the 8 Step Process.

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance? The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order

No

✓ Yes

2. Will the new construction or other ground disturbance impact an on- or off-site wetland? The term "wetlands" means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds.

"Wetlands under E.O. 11990 include isolated and non-jurisdictional wetlands."

✓ No, a wetland will not be impacted in terms of E.O. 11990's definition of new construction.

Based on the response, the review is in compliance with this section. Document and upload a map or any other relevant documentation below which explains your determination

Yes, there is a wetland that be impacted in terms of E.O. 11990's definition of new construction.

Screen Summary

Compliance Determination

The project will not impact on- or off-site wetlands. The northeast portion of the project area lies closest to the Nebraska Wash (riverine) located approximately 436 feet northeast of the site. The new subdivision's flow will be directed to engineered retention basins on the west and southwest portions of the subdivision. The subdivision will be cleared, graded, and leveled, and will be prepared to engineering standards to handle flow appropriately. The project is in compliance with Executive Order 11990. The project is in compliance with Executive Order 11990.

Supporting documentation

[2024-1-11 Nogales Wetlands Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Wild and Scenic Rivers Act

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act provides federal protection for certain free-flowing, wild, scenic and recreational rivers designated as components or potential components of the National Wild and Scenic Rivers System (NWSRS) from the effects of construction or development.	The Wild and Scenic Rivers Act (16 U.S.C. 1271-1287), particularly section 7(b) and (c) (16 U.S.C. 1278(b) and (c))	36 CFR Part 297

1. Is your project within proximity of a NWSRS river?

No

Yes, the project is in proximity of a Designated Wild and Scenic River or Study Wild and Scenic River.

Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

Screen Summary

Compliance Determination

This project is not within proximity of a NWSRS river. There are no NWSRS in Tucson. The project is in compliance with the Wild and Scenic Rivers Act.

Supporting documentation

[NWSRS Wild-Scenic Rivers 2023-10-9.pdf](#)

[NRI Wild-Scenic Rivers 2023-10-9.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Environmental Justice

General requirements	Legislation	Regulation
Determine if the project creates adverse environmental impacts upon a low-income or minority community. If it does, engage the community in meaningful participation about mitigating the impacts or move the project.	Executive Order 12898	

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?

Yes

No

Based on the response, the review is in compliance with this section.

Screen Summary

Compliance Determination

No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898.

Supporting documentation

[2024-1-11 Nogales EJScreen.pdf](#)

Are formal compliance steps or mitigation required?

Yes



No



Notes

Aerial Map

Legend

-  Parcels
-  Railroads

Project location

1: 2,257



364.4 0 182.21 364.4 Feet



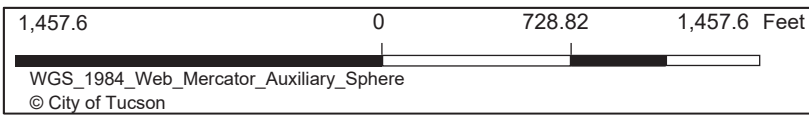
Notes
 Aerial Map

Legend

- Parcels
- + Railroads

Project Area

1: 9,028 



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



5386 S Nogales Hwy

5386-5424 S Nogales Hwy, Tucson, AZ 85706



Map data ©2024 200 ft



5386 S Nogales Hwy



Directions



Save



Nearby



Send to phone



Share



5386 S Nogales Hwy, Tucson, AZ 85706



523M+RW Tucson, Arizona



S. Tucson-Nogales Hwy

RODEO ADDITION No. 2

1 STORY

1 STORY

2 STORY

2 STORY

2 STORY

1

2

3

4

5

6

7

8

9

10

FOS / BASIN

18

17

16

15

14

13

12

11

1 STORY

1 STORY

1 STORY

1 STORY

BASIN

PUBLIC ALLEY

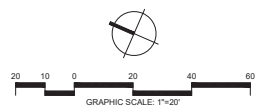
RODEO ADDITION No. 2

FOS = FUNCTIONAL OPEN SPACE

SITE INFORMATION

SITE AREA:	1.93 AC.
ZONING:	R-2
NUMBER OF LOTS:	18
TYPICAL LOT SIZES:	31' x 75'
FUNCTIONAL OPEN SPACE:	0.35 AC.

NOTE: PLAN IS CONCEPTUAL. FIGURES AND DIMENSIONS ARE SUBJECT TO CHANGE.



RODEO ADDITION No. 4 - CONCEPTUAL SITE PLAN

03/06/2023

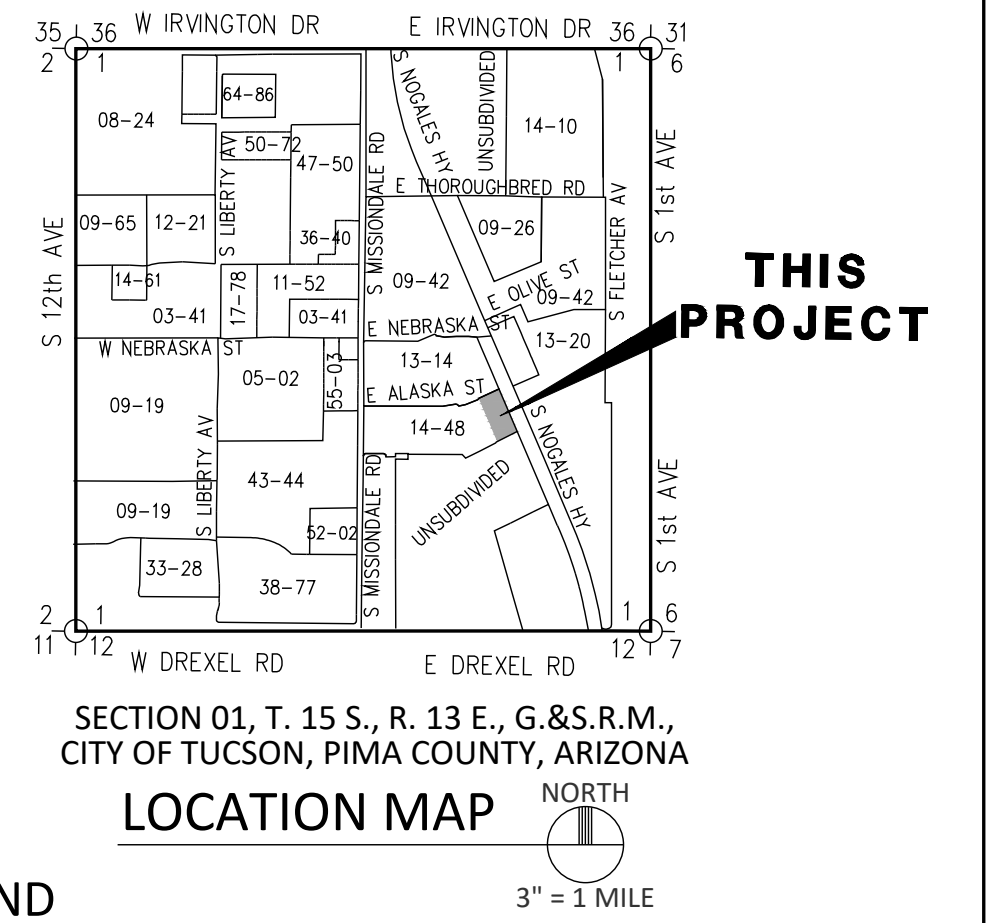
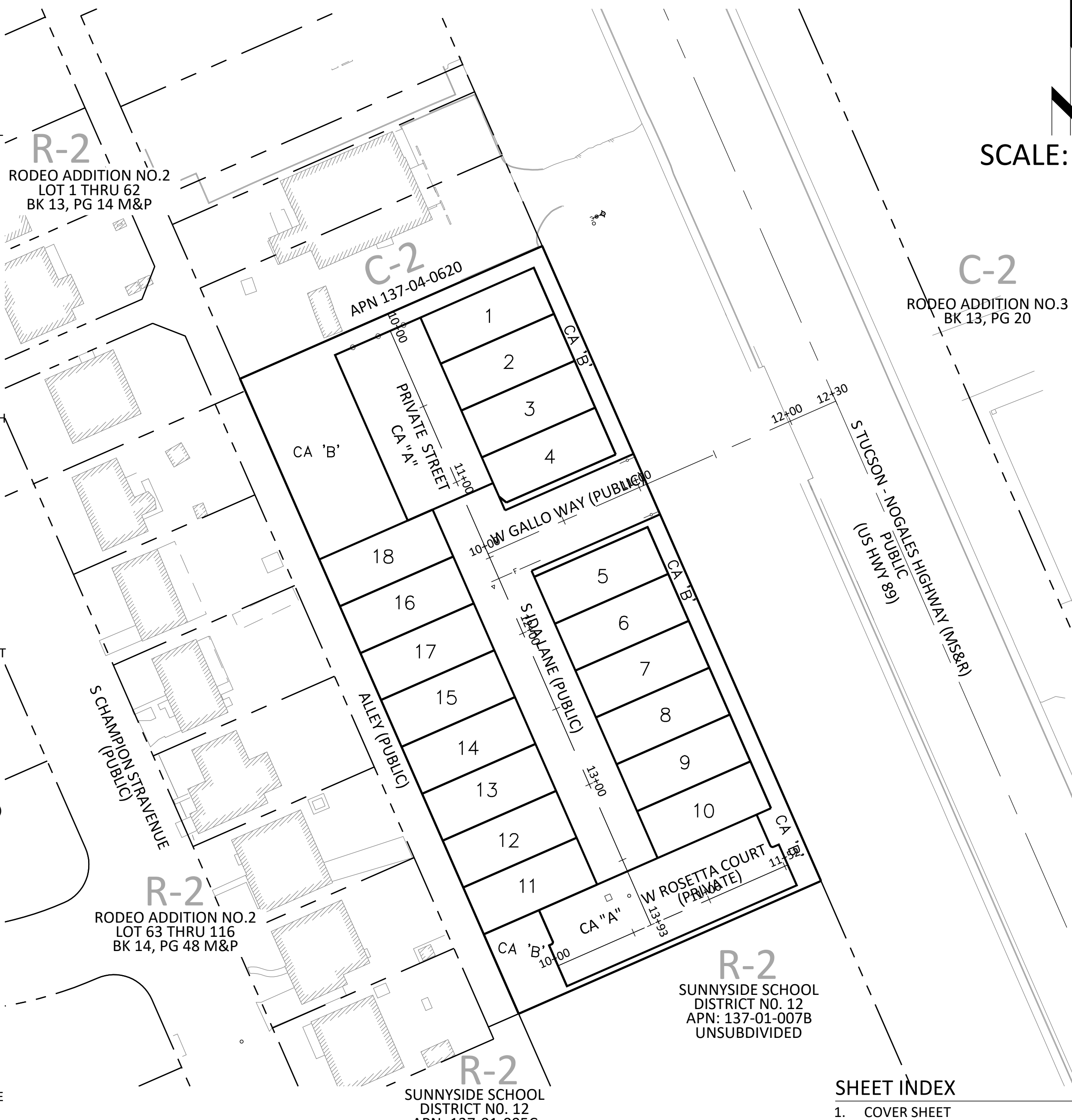
GENERAL NOTES

- 1. THE EXISTING ZONE IS R-2, NO ZONE CHANGE REQUESTED FOR THIS PROJECT.
2. THE EXISTING USE IS VACANT. THE PROPOSED USE OF THE DEVELOPMENT IS RESIDENTIAL-SINGLE-FAMILY ATTACHED UTILIZING THE FLEXIBLE LOT DEVELOPMENT OPTION AND IS SUBJECT TO USE SPECIFIC STANDARD 8.7.3.
3. THE GROSS SITE AREA OF THIS SUBDIVISION IS 84,000 SQUARE FEET, OR 1.93 ACRES. TOTAL DEDICATED OPEN SPACE IS 15407.78 SQUARE FEET, OR 0.35 ACRES (DEDICATED AS COMMON AREA "B")
4. THE DEVELOPER, ANY SUCCESSOR AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
5. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTION OTHER THAN AS SHOWN ON THIS SITE PLAN.
6. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
7. ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
8. ON-SITE SANITARY SEWERS WILL BE PUBLIC AND WILL BE DESIGNED AND CONSTRUCTED TO PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT STANDARDS AND MUST BE ACCEPTED AND RELEASED FOR SERVICE BY PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT PRIOR TO THE ISSUANCE OF SEWER CONNECTION PERMITS.
9. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
10. CONSTRUCTION AUTHORIZATION FROM THE PIMA COUNTY DEPARTMENT OF ENVIRONMENT QUALITY IS REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT. APPROVAL OF THIS SUBDIVISION PLAN DOES NOT CONSTITUTE CONSTRUCTION AUTHORIZATION.
11. ACCESSIBLE STANDARDS MUST BE MET PER 2018 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMP (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
12. DIMENSIONAL STANDARDS FOR FLD PER U.D.C. SEC. 8.7.3 FOR ALTERNATIVE 'B' LOW-INCOME HOUSING IN R-2 ZONE:
RESIDENTIAL DENSITY CALCULATION:
MAXIMUM = 22 UNITS/ACRE
ACTUAL = 18/1.93 = 9.3 UNITS/ACRE
SITE COVERAGE CALCULATION:
MAXIMUM = 75%
ACTUAL = 26,352/84,000 = 31.4%
MAXIMUM BUILDING HEIGHT = 25'
ACTUAL BUILDING HEIGHT = 24' (MAX)
BUILDING SETBACKS:
REQUIRED PROVIDED
NORTH (COMMERCIAL)- 10' 16.5' MIN.
EAST (STREET) - H=20' 24' MIN.
SOUTH - 1/3(17.3')= 11.55' 59.5' MIN.
WEST - 1/3(17.5')= 11.67' 14' MIN.
PER SECTION 6.4.5.C.1.d.(3) TRAFFIC LESS THAN 140 ADT:
INTERIOR STREET (140 ADT) - 1.0' (GARAGE) 1.0' (GARAGE)
SIDE STREET - 5.0'(DWELLING)5.0' (DWELLING)
- 10.0' 11.5'

GENERAL NOTES (cont.)

- *ACCESSIBLE SPACES REQUIRED = 2 SPACES
*ACCESSIBLE SPACES PROVIDED = 2 SPACES
BICYCLE PARKING:
*SHORT TERM: N/A
*LONG TERM:
TOTAL REQUIRED = 0 SPACES
TOTAL PROVIDED = 18 SPACES+
† LONG-TERM SPACES ARE PROVIDED WITHIN EACH UNIT. SEE DETAIL G, SHEET 8.
14. THE TOTAL NUMBER OF LOTS IS 18.
15. TOTAL MILES OF NEW PUBLIC ROADWAY IS 0.067 MILES
TOTAL MILES OF NEW PRIVATE ROADWAY IS 0.050 MILES
16. THERE WILL BE NO FURTHER DIVISION OF LOTS WITHOUT THE EXPRESSED APPROVAL OF THE CITY OF TUCSON.
17. MAIL SERVICE TO BE PROVIDED AT GROUPED LOCATION. INDIVIDUAL MAIL SERVICE WILL NOT PROVIDED.
18. COMMON AREAS "B" DEFINES VEGETATED OPEN SPACE WITHIN THE DEVELOPMENT. COMMON AREA "B" ALSO SERVES AS THE FUNCTIONAL OPEN SPACE REQUIRED FOR THIS SUBDIVISION. COMMON AREAS SHOWN HEREON WILL BE GRANTED AS EASEMENT BY THE FINAL PLAT TO THE CITY OF TUCSON, PIMA COUNTY AND ALL UTILITY COMPANIES FOR THE INSTALLATION AND MAINTENANCE OF ABOVE GROUND AND UNDERGROUND UTILITIES AND SEWERS.
19. A SINGLE PROPERTY OWNER, PROPERTY MANAGEMENT COMPANY, OR HOME OWNERS ASSOCIATION, WILL BE RESPONSIBLE FOR THE MANAGEMENT OF THE SOLID WASTE COLLECTION SERVICES AND STORAGE AREA FOR ALL DEVELOPMENT OCCUPANTS.
20. WASTE STREAM CALCULATION: BASED ON 1440 SF PER UNIT.
PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 63.2 TONS OF SOLID WASTE PER YEAR. A MINIMUM OF 810 GALLONS OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.
THIS WILL BE ACCOMPLISHED BY PROVIDING ONE 95-GAL. APC TRASH BIN AND ONE 95-GAL. APC RECYCLE BIN PER UNIT, BEING PICKED UP ONCE PER WEEK, FOR A TOTAL OF 3420 GALLONS OF TRASH COLLECTION.
21. PERIMETER YARDS ON INTERIOR LOTS (INTERIOR YARD BUILDING SETBACK) - THE PERIMETER YARD REQUIREMENTS OF SECTION 6.3.4, DIMENSIONAL STANDARDS AND EXCEPTIONS TABLES, MAY BE REDUCED FOR SETBACKS ALONG INTERIOR LOT LINES TO EXTENT PERMITTED BY THE CITY'S ADOPTED BUILDING CODES.
22. A.P.N.s AFFECTED BY THIS PROJECT:
137-04-110; 137-04-110; 137-04-1120; 137-04-1130; 137-04-1140; 137-04-1150; 137-04-60
23. THE TOTAL DEVELOPMENT AREA FOR THIS FLD MATCHES THE TOTAL GROSS SITE AREA, AS THERE ARE NO DEDICATION FLOODWAYS, WHICH IS 84,000 SF. THE DEVELOPMENT AREA FOR EACH LOT IS EQUAL TO THE TOTAL LOT SIZE, WHICH IS 2,325 SF (SEE LOT AREA TABLE, SHEET 6).
24. FUNCTIONAL OPEN SPACE CALCULATION:
REQUIRED (LESS THAN 13 DU/AC) = 109 SF/UNIT
TOTAL REQUIRED = 109x18 = 1,962 SF
TOTAL PROVIDED (VIA C.A. "B") = 15,407.78 SF
25. THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R).
26. ACCORDING TO THE FEDERAL AVIATION ADMINISTRATION (FAA) NOTICE CRITERIA TOOK, NO NOTICE CRITERIA ARE EXCEEDED. APPLICANTS ARE THEREFORE NOT REQUIRED TO FILE FAA FORM 7460. HOWEVER, IF THE USE OF CRANES IS ANTICIPATED DURING DEVELOPMENT AND CONSTRUCTION ACTIVITIES, THE APPLICANT MUST FILE FAA FORM 7460 AT LEAST 45 DAYS IN ADVANCE OF SUCH USE, TO PROVIDE THE APPLICANT WITH SUFFICIENT TIME TO RESPOND TO ANY CONCERNS IDENTIFIED BY THE FAA. PLEASE FILE FORM 7460 AT https://oeaaa.faa.gov/oeaaa/EXTERNAL_JSP.
27. PRIOR TO THE CITY'S APPROVAL OF ANY CONSTRUCTION PERMIT AND BEFORE ANY PROPOSED SUBDIVISION OF THE PROPERTY, THE PROPERTY OWNER/DEVELOPER/APPLICANT SHALL RECORD THE FAA APPROVED AVIATION EASEMENT FORM WHICH DISCLOSES THE EXISTENCE, AND OPERATIONAL CHARACTERISTICS OF THE TUCSON INTERNATIONAL AIRPORT TO FUTURE OWNERS OR TENANTS OF THE PROPERTY AND FURTHER CONVEYS THE RIGHT TO THE PUBLIC TO LAWFULLY USE THE AIRSPACE ABOVE THE PROPERTY. THE AVIATION EASEMENT SHALL BE RECORDED IN A MANNER WITH THE PIMA COUNTY RECORDER WHICH SHALL DOCUMENT IT AS HAVING TITLE LIABILITY. THE CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE FORM AND INSTRUCTIONS PROVIDED.
28. THE PROPERTY OWNER/DEVELOPER/APPLICANT SHALL PROVIDE THE AIRPORT DISCLOSURE STATEMENT FORM, AT TIME OF SALE, TO THE NEW PROPERTY OWNERS WITH ALL NEW UNIT PURCHASES. IN THE EVENT THE DEVELOPMENT OF ANY USES DOES NOT INVOLVE THE SALE OF NEW UNITS BUT IS INSTEAD OFFERING RENTAL RESIDENTIAL UNITS TO THE PUBLIC, THE NEW TENANT OF THE RENTAL UNIT SHALL BE PROVIDED A COPY OF THE AIRPORT DISCLOSURE STATEMENT FORM. THE INTENT OF THE AIRPORT DISCLOSURE STATEMENT FORM IS TO EDUCATE AND NOTIFY THE NEW RESIDENTS THAT THEY ARE LIVING NEAR AN AIRPORT. THE CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE FORM AND INSTRUCTIONS PROVIDED.
29. THE PROPERTY OWNER (FOR ITSELF OR ITS TENANTS) SHALL FORWARD A SIGNED COPY OF THE AIRPORT DISCLOSURE STATEMENT FORM TO THE TUCSON AIRPORT AUTHORITY WITH TEN (10) DAY SIGNATURE, USING THE MAILING ADDRESS PROVIDED BELOW.
SCOTT ROBIDOUX
MANAGER OF PLANNING
TUCSON AIRPORT AUTHORITY
7250 SOUTH TUCSON BLVD
SUITE 300
TUCSON, AZ 85756

TENTATIVE PLAT PACKAGE FOR
RODEO ADDITION NO.4 SUBDIVISION
A FLEXIBLE LOT DEVELOPMENT SUBDIVISION



SCALE: 1"=50'

LEGEND table with columns for EXISTING and PROPOSED symbols and descriptions for boundaries, easements, contours, and utilities.

C:\RICK\Projects\105000\5229_Rodeo_Adrn_2_Lots_110_116\Civil\Plans\Rodeo Addition 4 - TTP.dwg - plotted by: shuyun - ctbyspress_v2.ctb - © 2023 Rick Engineering Company

TECHICAL STANDARDS MIDIFICATION REQUEST NOTES

- 1. STANDARD NUMBER: 10-01.3.3. C.4 & 5 AND 10-01.9.0 FIGURE 1 RELIEF TO ALLOW SIDEWALK ON ONE SIDE AND ADJUST THE TYPICAL 40 FT ROW CROSS SECTION FOR INTERIOR ROADS & NO PARKING LANES FOR THE FOLLOWING REASONS:
GALLO WAY IS A 40FT. ROW PUBLIC STREET. NO PARKING WITH A 5-FOOT SIDEWALK ON THE NORTH SIDE ONLY AND 6" VERTICAL CURBS.
THE INTERIOR STREETS, IDA LANE AND ROSETTA CT. ARE 40-FOOT ROW STREETS WITH EACH BEING LESS THAN 140ADT TRAFFIC VOLUMES AND NO PARKING. A STRETCH OF IDA LANE WILL BE A PUBLIC STREET PER AGREEMENT WITH DTM.
THE INTERIOR STREET SECTION HAS 2-FOOT WEDGE CURBS FOR THE HOME DRIVEWAY ACCESS AND A 24-FOOT PAVEMENT WIDTH, 5-FOOT-WIDE SIDEWALKS

TECHICAL STANDARDS MIDIFICATION REQUEST NOTES - CONTINUED

- 2. STANDARD NUMBER: 7.4.6.K.5 AND 10-01.9.0 FIGURE 1 10-01.9.0 FIGURE 1 RELIEF TO ALLOW 90-DEGREE VISITOR PARKING SPACES TO BACK OUT INTO THE PUBLIC STREET.
3. STANDARD NUMBER: 10-01.3.2.C AND FIGURE 6 RELIEF TO ALLOW AN 18-FOOT CURB RETURN RADIUS.
4. STANDARD NUMBER: 10-01.5.2.B.1 RELIEF THAT NO SIGHT TRIANGLE IS REQUIRED.
5. STANDARD NUMBER: 10-01.6.4.B RELIEF TO NOT REQUIRE A RIGHT-OF-WAY CURVE RADIUS OF 25 FEET AT THE INTERSECTION OF GALLO WAY & IDA LANE. THE 18 FOOT CURB RETURN MEETS THE STANDARD.

SHEET INDEX

- 1. COVER SHEET
2. NOTES
3. SITE PLAN
4. GRADING + DRAINAGE PLAN
5. UTILITIES + EASEMENT PLAN
6. PROPERTY PLAN
7. DETAILS
8. DETAILS
9. DETAILS
10. LANDSCAPE COVER PAGE
11. NATIVE PLAN PERSEVERATION PLAN
12. NATIVE PLAN PERSEVERATION PLAN
13. LANDSCAPE PLAN
14. LANDSCAPE PLAN
15. LANDSCAPE DETAILS
16. IRRIGATION PLAN
17. IRRIGATION PLAN
18. IRRIGATION DETAILS
19. EROSION CONTROL PLAN

ENGINEER
RICK ENGINEERING
3945 EAST FORT LOWELL ROAD, SUITE 111
TUCSON, ARIZONA 85712
ATTN: COREY THOMPSON, P.E.
PH: (520) 795-1000
E: cthompson@rickengineering.com
GEOTECHNICAL ENGINEER
CONFORMATECH
1425 E. APACHE PARK PLACE
TUCSON, ARIZONA 85714
ATTN: OLEG IVSYI, P.E.
PH: (520) 573-2045
E: olegivsyi@conformatech.com

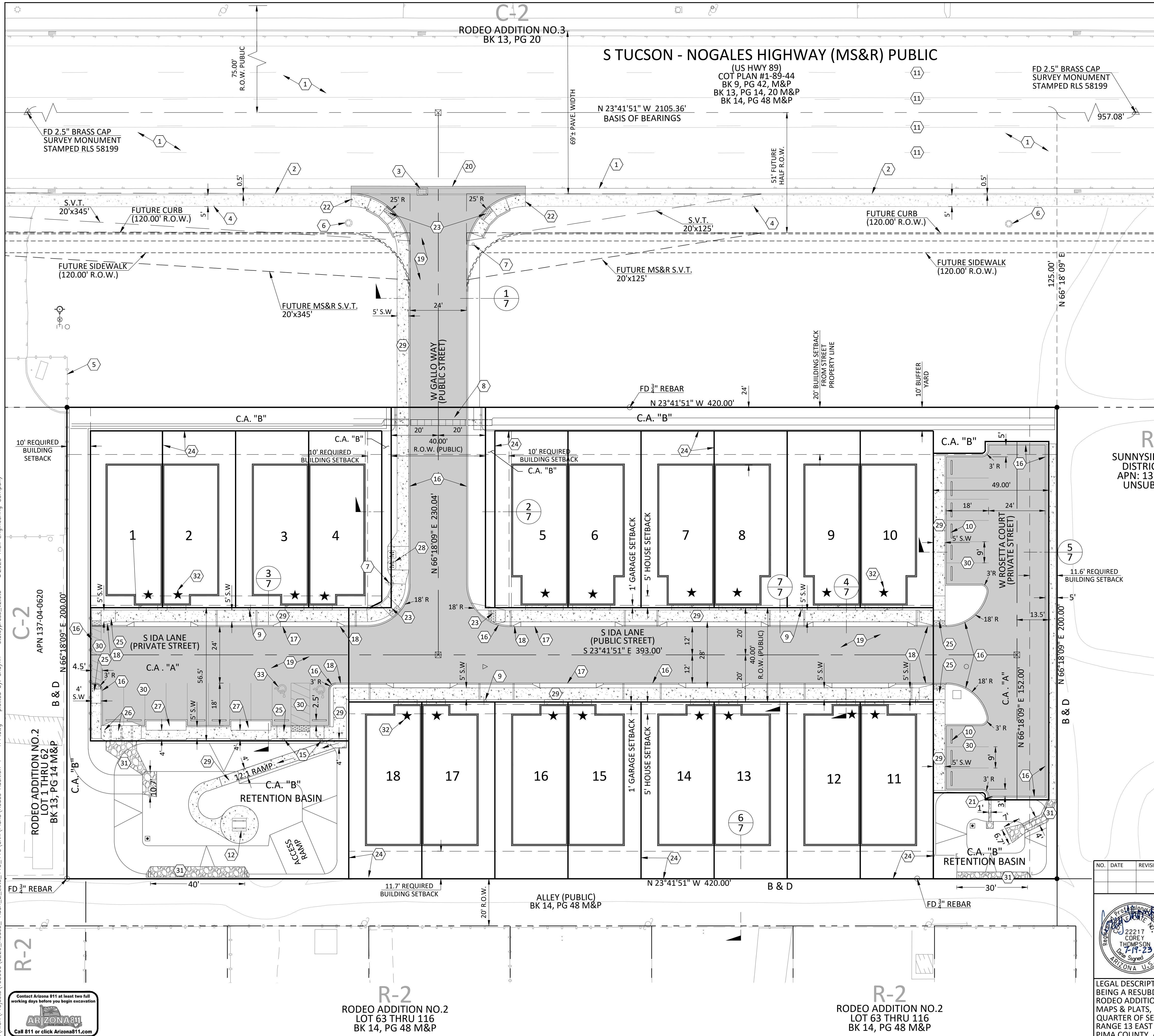
OWNER
STEWART TITLE&TRUST OF TUCSON
TRUST NO. 3778
3939 E BROADWAY BLVD
TUCSON, ARIZONA 85711
TRUST OFFICER: ERIK ZWERK
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LANDSCAPE ARCHITECT
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ATTN: MARK FELLINGER, PLA
PH: (520) 795-1000
E: mfellinger@rickengineering.com

Professional seals for Rick Engineering and City of Tucson, and a table for REVISION DESCRIPTION.

DEVELOPER
HABITAT FOR HUMANITY TUCSON
3501 N MOUNTAIN AVE
TUCSON, ARIZONA 85719
ATTN: JEFF OCAMPO
PH: (520) 497-2395
E: JEFFO@HABITATTUCSON.ORG
SITE ADDRESS
5400 S NOGALES HWY
TUCSON, AZ 85706

TENTATIVE PLAT PACKAGE for
RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 +
PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B"
OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION
cover sheet

TD-DEV-0423-00197
1 OF 19



- KEYNOTES**
- EXISTING ASPHALT TO REMAIN.
 - EXISTING CURB TO REMAIN.
 - REBUILD/REPLACE EXISTING CATCH BASIN TO MATCH PAG DETAIL 309 (TYPE 4, SINGLE EF-1 GRATE).
 - EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - EXISTING FENCE TO REMAIN.
 - EXISTING LIGHT TO REMAIN.
 - NEW STREET NAME STOP SIGN (MUTCD #R1-1 & D3-1).
 - NEW TRENCH BOX WITH 7.5 NEENAH GRATES. SEE DETAIL A, SHEET 7.
 - NEW "NO PARKING-FIRE LANE" SIGN. SEE DETAIL B, SHEET 7.
 - NEW 6" WHEEL STOP (TYP.). SEE DETAIL C, SHEET 7.
 - EXISTING STRIPING TO REMAIN.
 - PICNIC TABLE AS APPROVED BY OWNER.
 - NOT USED.
 - SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - NEW ACCESSIBLE SIGN AND POST. SEE DETAIL D, SHEET 7.
 - NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - NEW 6" HIGH WEDGE CURB PER PAG DETAIL 209.
 - NEW CURB TRANSITION (VERTICAL TO WEDGE) PER PAG DETAIL 210.
 - NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL E, SHEET 7.
 - SAWCUT A MINIMUM OF 24" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - NEW 3" CURB OPENING PER DETAIL F, SHEET 7.
 - CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203. REMOVE AND REPLACE EXISTING SIDEWALK AS NECESSARY TO MAINTAIN ADA COMPLIANCE.
 - NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207.
 - NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - NEW CONCRETE CURB ACCESS RAMP. FOR RAMP OPTIONS SEE DETAIL H, SHEET 8.
 - NEW SIDEWALK SCUPPER (TYPE 3) PER PAG DETAIL 205.5.
 - NEW PLANTERS PER LANDSCAPE PLANS.
 - NEW GANG MAIL BOX.
 - NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS. 2% MAX. CROSS SLOPE; 5% MAX. LONGITUDINAL SLOPE.
 - NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. SEE PLAN FOR DIMENSIONS.
 - INSTALL LONG TERM BIKE HANGER IN ALL GARAGES PER DETAIL G, SHEET 8.
 - TYPICAL ACCESSIBLE PARKING DETAIL PER DETAIL I, SHEET 8.

R-2
 SUNNYSIDE SCHOOL
 DISTRICT NO. 12
 APN: 137-01-007B
 UNSUBDIVIDED

R-2
 SUNNYSIDE SCHOOL
 DISTRICT NO. 12
 APN: 137-01-007B
 UNSUBDIVIDED

SCALE: 1"=20'



- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- per letter in SIRE, Revision #
- SCZ
- ERZ
- HDZ
- WASH
- Other

NO.	DATE	REVISION DESCRIPTION	BY	DEVELOPER
				HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATTUCSON.ORG
				RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com
				SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706
				PROJECT NO: 5229

LEGAL DESCRIPTION:
 BEING A RESUBDIVISION OF LOTS 110-116 OF
 RODEO ADDITION NO. 2, PER BOOK 14, PAGE 48,
 MAPS & PLATS, LOCATED IN THE SOUTHEAST
 QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH
 RANGE 13 EAST GILA & SALT RIVER MERIDIAN,
 PIMA COUNTY, ARIZONA

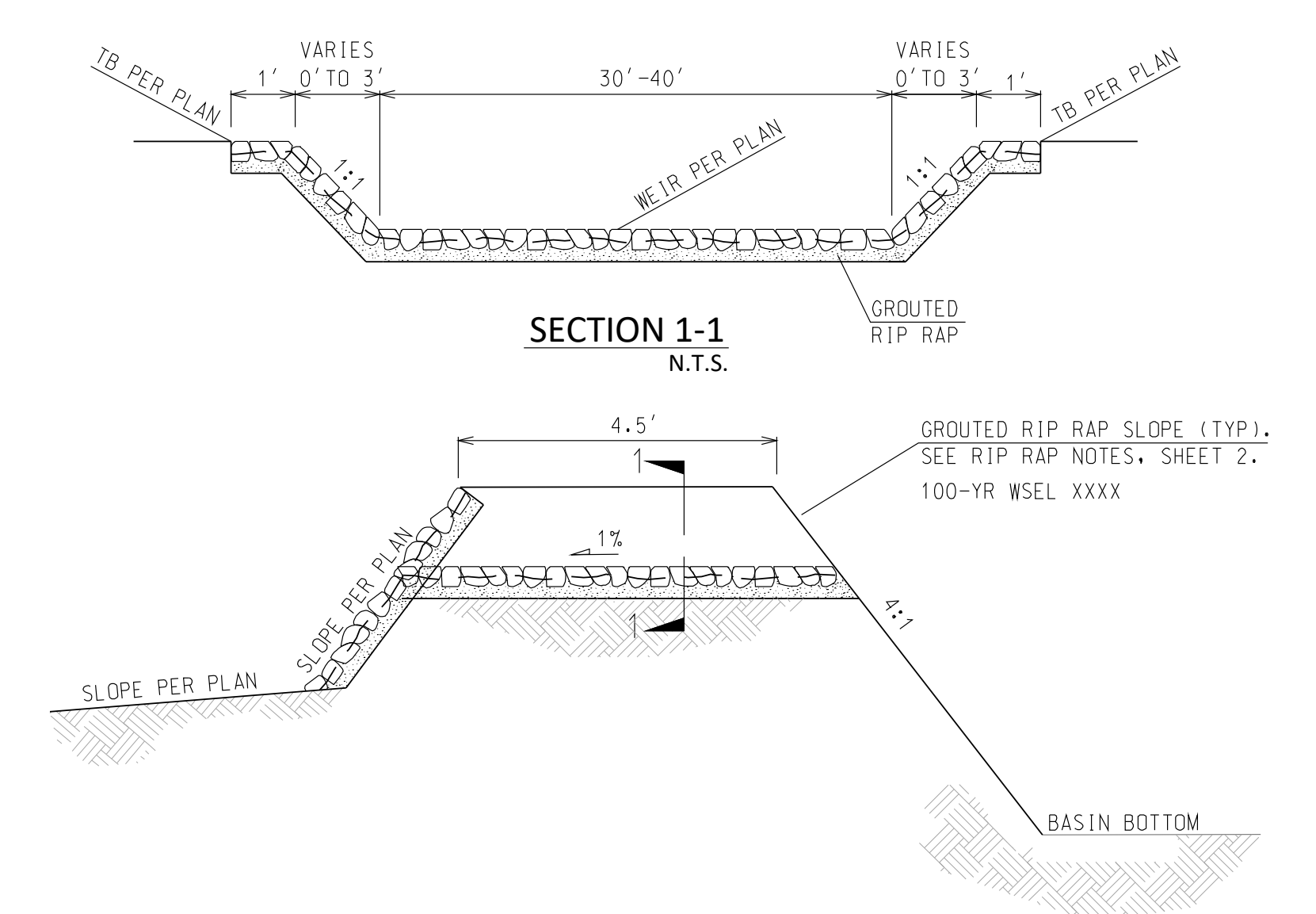
TENTATIVE PLAT PACKAGE for
 RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 +
 PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B"
 OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION
site plan

C:\RICK\Projects\105000\5229_Rodeo_Addn_2_Lots_110_116\Civil\Plans\Rodeo Addition_4 - TPP.dwg - plotted by: shuyh - cbsycpress_v2.ctb - ©2023 Rick Engineering Company

TD-DEV-0423-00197

S TUCSON - NOGALES HIGHWAY (MS&R) PUBLIC

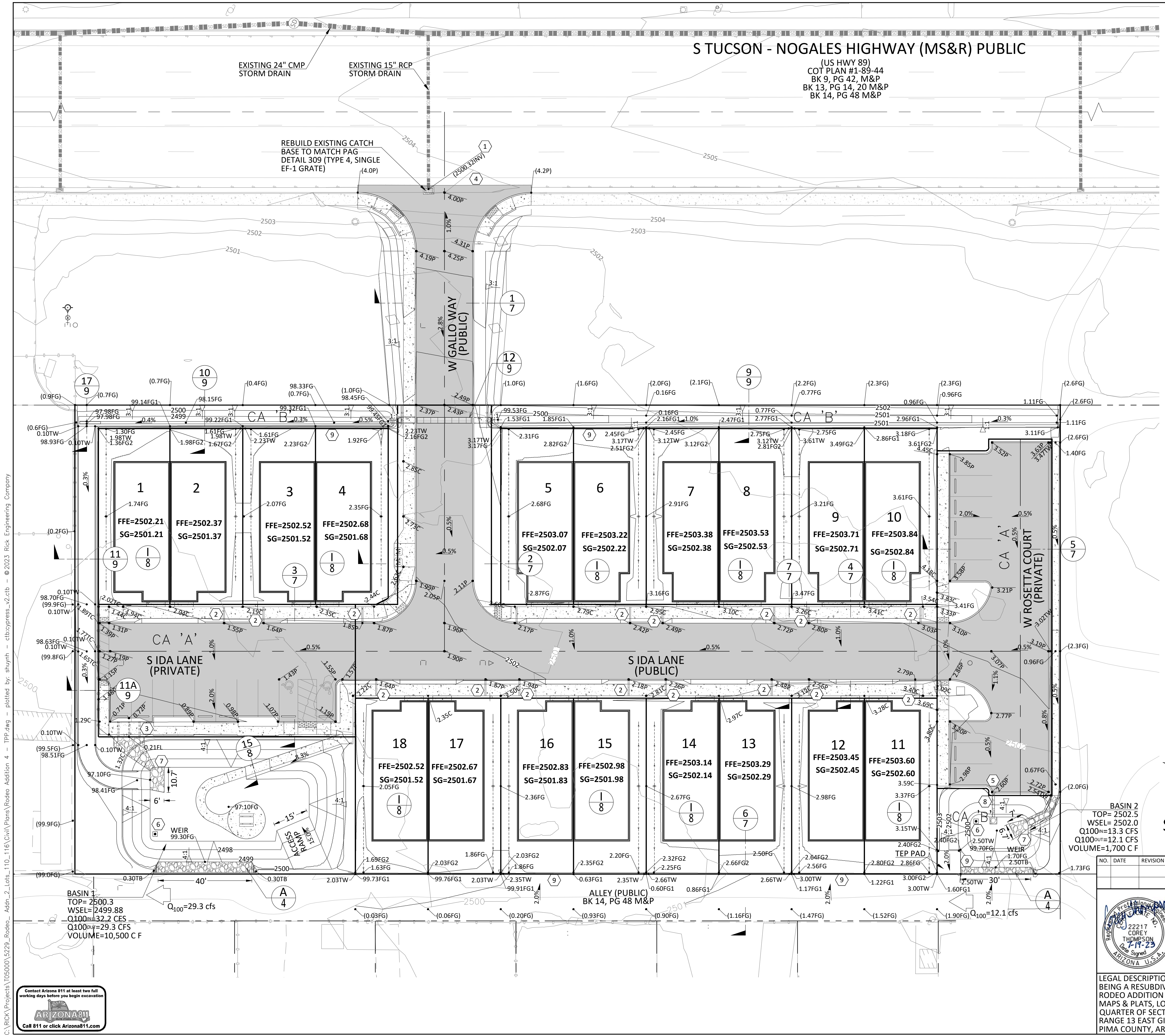
(US HWY 89)
COT PLAN #1-89-44
BK 9, PG 42, M&P
BK 13, PG 14, 20 M&P
BK 14, PG 48 M&P



A BASIN OUTLET WEIR
SOUTH BASIN N.T.S.

GRADING/STORM DRAIN KEYNOTES

- EXISTING STORM DRAIN INLET TO REMAIN. SEE KEYNOTE FOR RIM.
- NEW SIDEWALK SCUPPER (TYPE 1) PER PAG STD 204. GRAD DRAINAGE SWALE AS NEEDED TO AVOID UTILITY PAD.
- 2 NEW SIDEWALK SCUPPERS (TYPE 3) PER PAG STD 205.5. PER DETAIL 13, SHEET 9.
- SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING CURB, SIDEWALK, ASPHALT, TACK AND JOIN.
- NEW 1' CURB OPENING.
- SEDIMENT MARKER PER DETAIL 16, SHEET 8.
- 2 LAYERS DUMPED ANGULAR ROCK RIP RAP D50-8" MIN, T-16" MIN OVER 1 LAYER MIRAFI 180N FILTER FABRIC OR EQUIVALENT
- CHANNEL SECTION PER DETAIL 21, SHEET 9.
- RETAINING WALL PER DETAIL 20, SHEET 9.



BASIN 2
TOP= 2502.5
WSEL= 2502.0
Q100=13.3 CFS
Q100OUT=12.1 CFS
VOLUME=1,700 C F

SCALE: 1"=20'



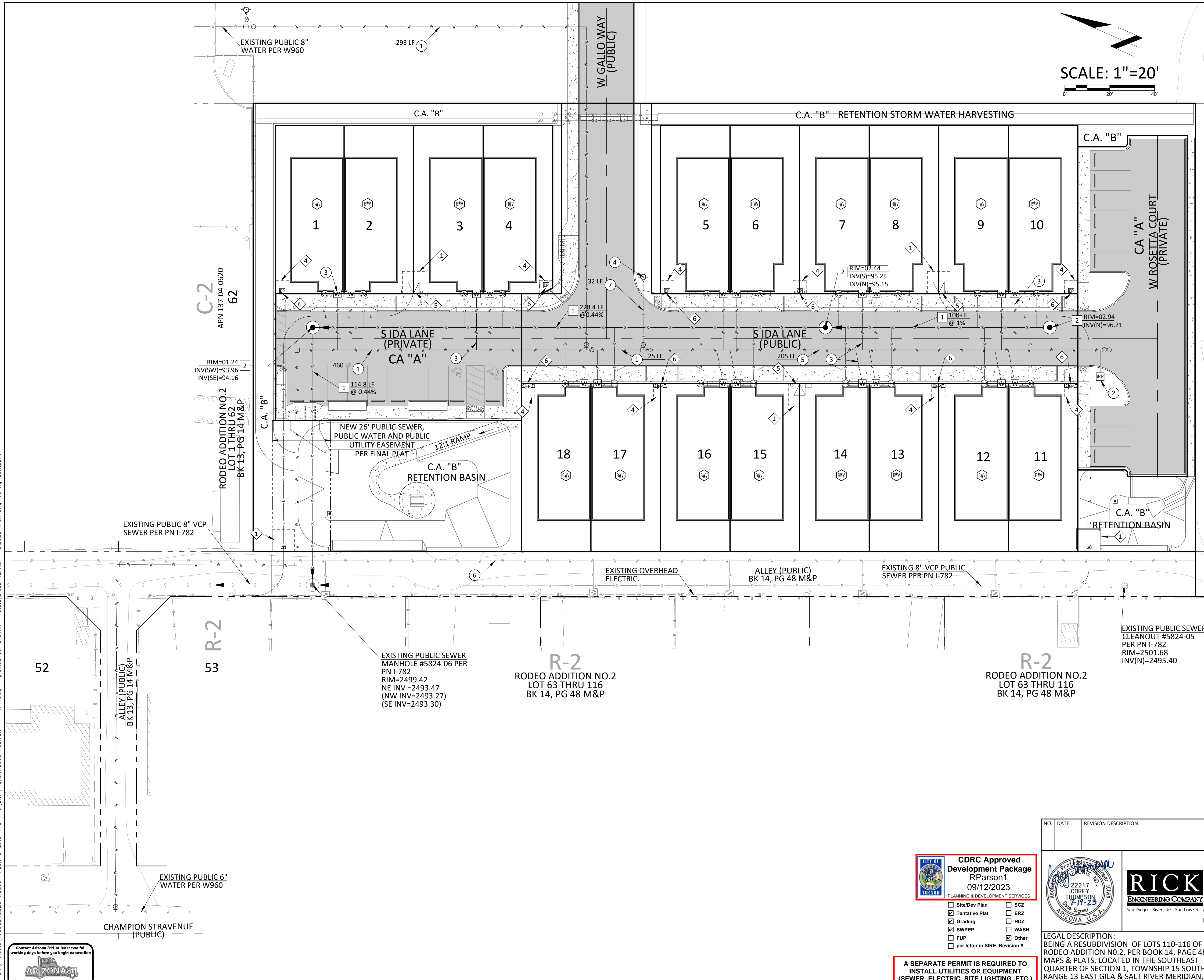
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|---|--------------------------------|
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| <input checked="" type="checkbox"/> Tentative Plat | <input type="checkbox"/> ERZ |
| <input checked="" type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input checked="" type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input type="checkbox"/> Other |
| <input type="checkbox"/> per letter in SIRE, Revision # | |

NO.	DATE	REVISION DESCRIPTION	BY	DEVELOPER
				HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATUCSON.ORG
				SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706
PROJECT NO: 5229				LEGAL DESCRIPTION: BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO.2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA
TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION				grading + drainage plan



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4 of 19



SCALE: 1"=20'

- SEWER KEYNOTES**
- 1 NEW PUBLIC 8" SEWER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - 2 NEW PUBLIC MANHOLE PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR RIM AND INVERT(S).

- WATER KEYNOTES**
- 1 NEW PUBLIC 8" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
 - 2 NEW PUBLIC WATER METER FOR IRRIGATION PER SEPARATE PLAN AND PERMIT.
 - 3 NEW PUBLIC WATER SERVICE + METER PER SEPARATE PLAN AND PERMIT (TYP., 1 PER LOT).
 - 4 NEW PUBLIC FIRE HYDRANT PER SEPARATE PLAN AND PERMIT.
 - 5 NEW PUBLIC 4" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.
 - 6 ABANDONED WATER PIPE AND WATER SERVICES.
 - 7 NEW PUBLIC 6" WATER MAIN PER SEPARATE PLAN AND PERMIT. SEE KEYNOTE FOR LENGTH.

- OTHER UTILITY KEYNOTES**
- 1 NEW 10' x 10' ELECTRICAL EASEMENT TO BE DEDICATED BY FINAL PLAT.
 - 2 EXISTING UTILITY INFRASTRUCTURE. ADJUST RIM TO MATCH NEW FINISH GRADE ELEVATION.
 - 3 NEW UNDERGROUND ELECTRIC.
 - 4 NEW 6"x6" ELECTRIC EASEMENT TO BE DEDICATED BY FINAL PLAT.
 - 5 NEW ELECTRIC TRANSFORMER.
 - 6 NEW ELECTRIC PEDESTAL.

- PRIVATE UTILITY NOTES**
1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
 2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO RICK. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND RICK DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

R-2
SUNNYSIDE SCHOOL
DISTRICT NO. 12
APN: 137-01-007B
UNSUBDIVIDED

C:\RICK\Projects\105000\5229_Rodeo_Addn_2_Lots_110_116\Civil\Plans\Rodeo Addition 4 - TPP.dwg - plotted by: shuyh - c:\cypress_v2.ctb - © 2023 Rick Engineering Company



CDRC Approved Development Package
RParson1
09/12/2023
PLANNING & DEVELOPMENT SERVICES

<input checked="" type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input checked="" type="checkbox"/> Tentative Plat	<input type="checkbox"/> ERZ
<input checked="" type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input checked="" type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input checked="" type="checkbox"/> Other
<input type="checkbox"/> per letter in SIRE, Revision #	

A SEPARATE PERMIT IS REQUIRED TO INSTALL UTILITIES OR EQUIPMENT (SEWER, ELECTRIC, SITE LIGHTING, ETC.)

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<p>LEGAL DESCRIPTION: BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO. 2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA</p>		<p>3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com</p> <p>SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706</p>
<p>TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION utilities + easements plan</p>		<p>PROJECT NO: 5229</p>

TD-DEV-0423-00197

S TUCSON-NOGALES HIGHWAY (MS&R) PUBLIC

(US HWY 89)
COT PLAN #1-89-44
BK 9, PG 42, M&P
BK 13, PG 14, 20 M&P
BK 14, PG 48, M&P

LOT AREA TABLE

LOT #	AREA	ZONE	LOT TYPE	LOT #	AREA	ZONE	LOT TYPE
1	2,287.50 SF	R-2		11	2,325.00 SF	R-2	
2	2,325.00 SF	R-2		12	2,325.00 SF	R-2	
3	2,325.00 SF	R-2		13	2,325.00 SF	R-2	
4	2,318.30 SF	R-2		14	2,325.00 SF	R-2	
5	2,325.00 SF	R-2		15	2,325.00 SF	R-2	
6	2,325.00 SF	R-2		16	2,325.00 SF	R-2	
7	2,325.00 SF	R-2		17	2,325.00 SF	R-2	
8	2,325.00 SF	R-2		18	2,325.00 SF	R-2	
9	2,325.00 SF	R-2		PUBLIC STREETS COMMON AREA "A"	13,320.00 SF	R-2	
10	2,325.00 SF	R-2		COMMON AREA "B"	15,414.48 SF	R-2	
				TOTAL AREA =		84,000.00 SF	

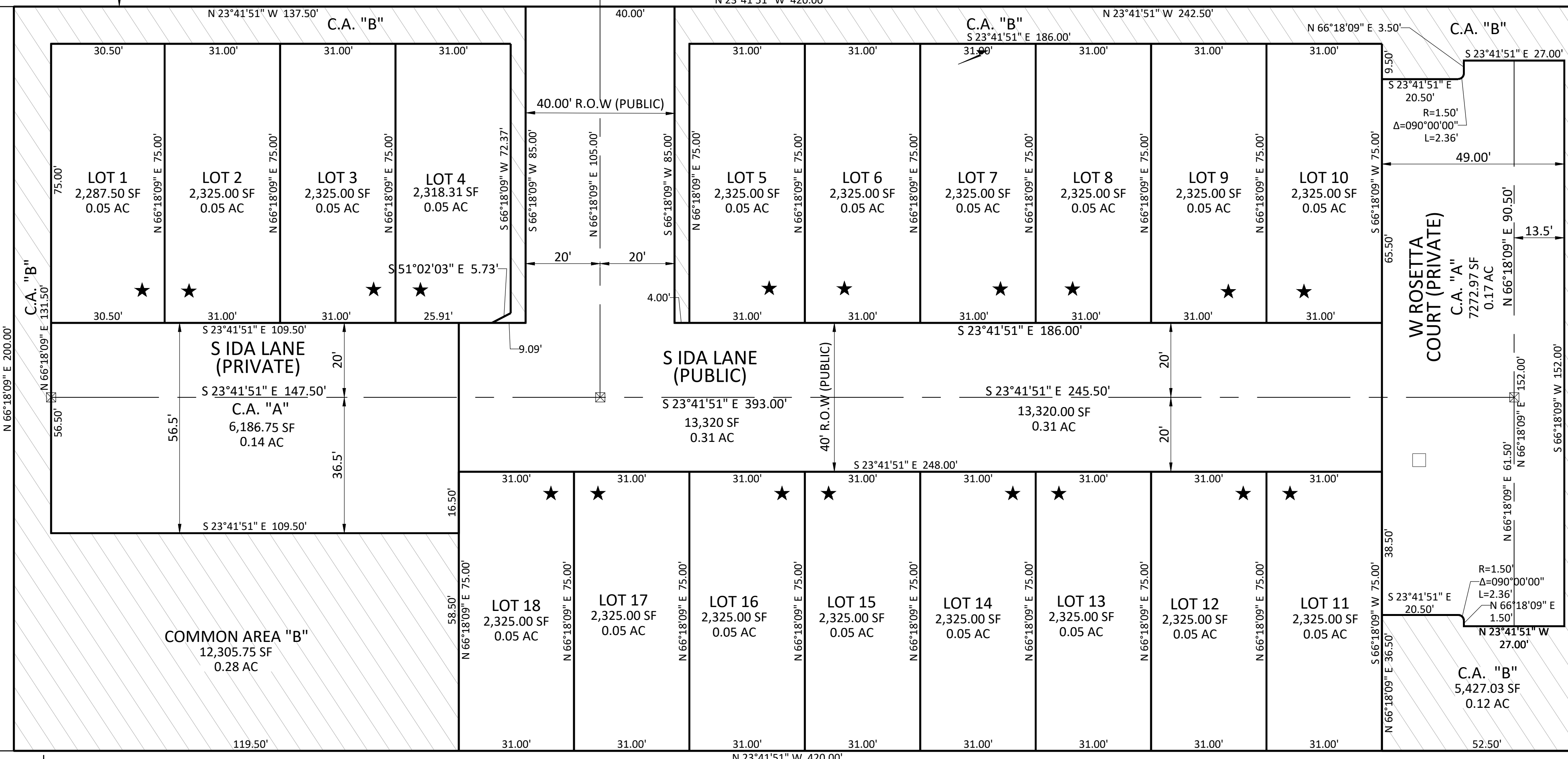
125.00' 1/2 R.O.W. PUBLIC

W GALLO WAY (PUBLIC)

SCALE: 1"=20'

C-2
APN 137-04-0620

R-2
SUNNYSIDE SCHOOL DISTRICT NO. 12
APN: 137-01-007B
UNSUBDIVIDED



- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- per letter in SIRE, Revision #
- SCZ
- ERZ
- HDZ
- WASH
- Other

R-2
RODEO ADDITION NO.2
LOT 1-62
BK. 13, PG. 14

R-2
RODEO ADDITION NO.2
LOT 63-116
BK. 14, PG. 48

NO.	DATE	REVISION DESCRIPTION	BY
DEVELOPER			
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SITE ADDRESS			
5400 S NOGALES HWY TUCSON, AZ 85706			
PROJECT NO: 5229			

LEGAL DESCRIPTION:
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MAPS & PLATS, LOCATED IN THE SOUTHEAST
QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH
RANGE 13 EAST GILA & SALT RIVER MERIDIAN,
PIMA COUNTY, ARIZONA

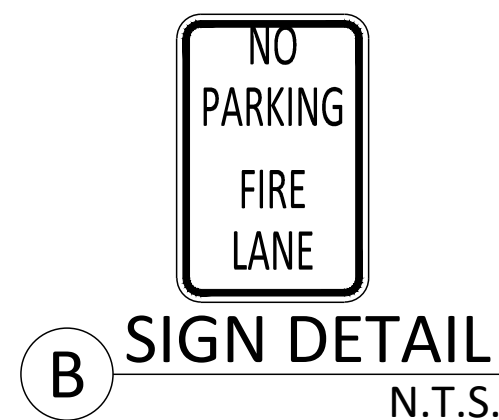
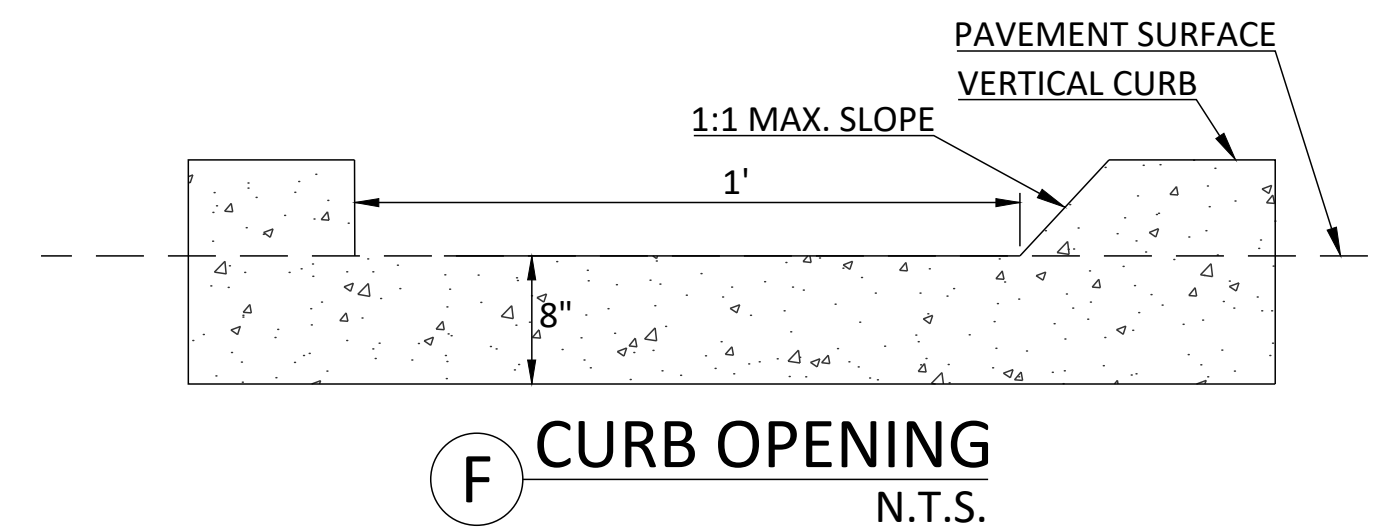
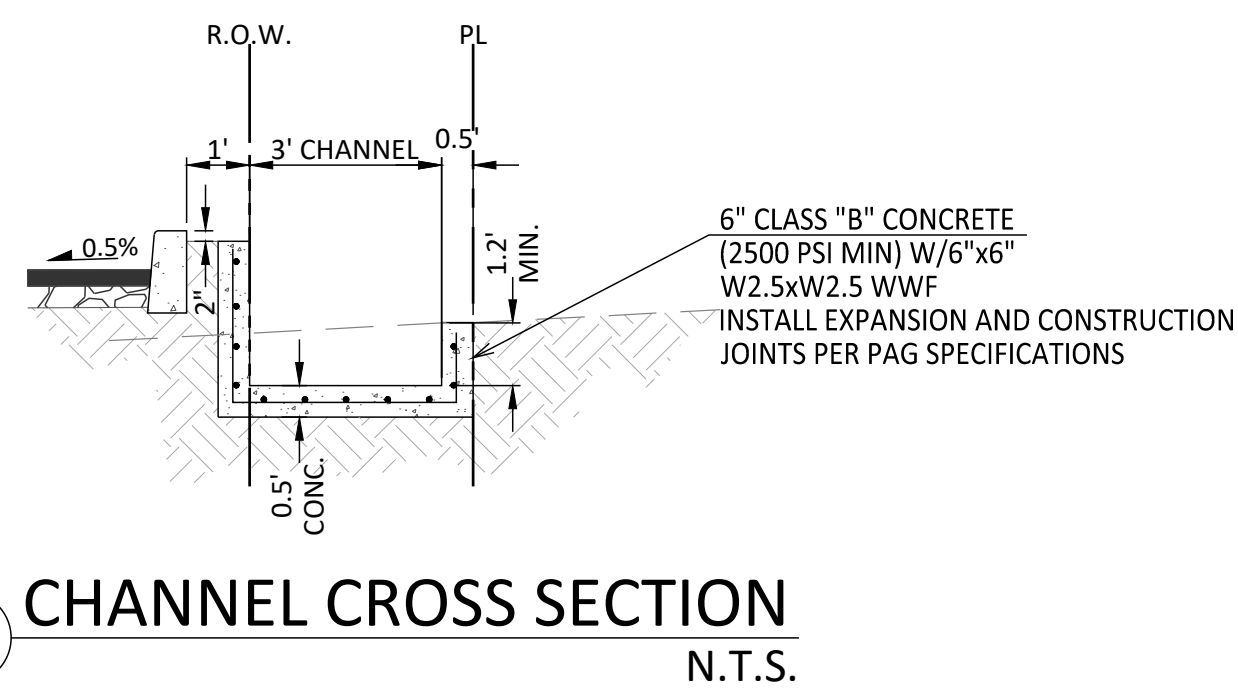
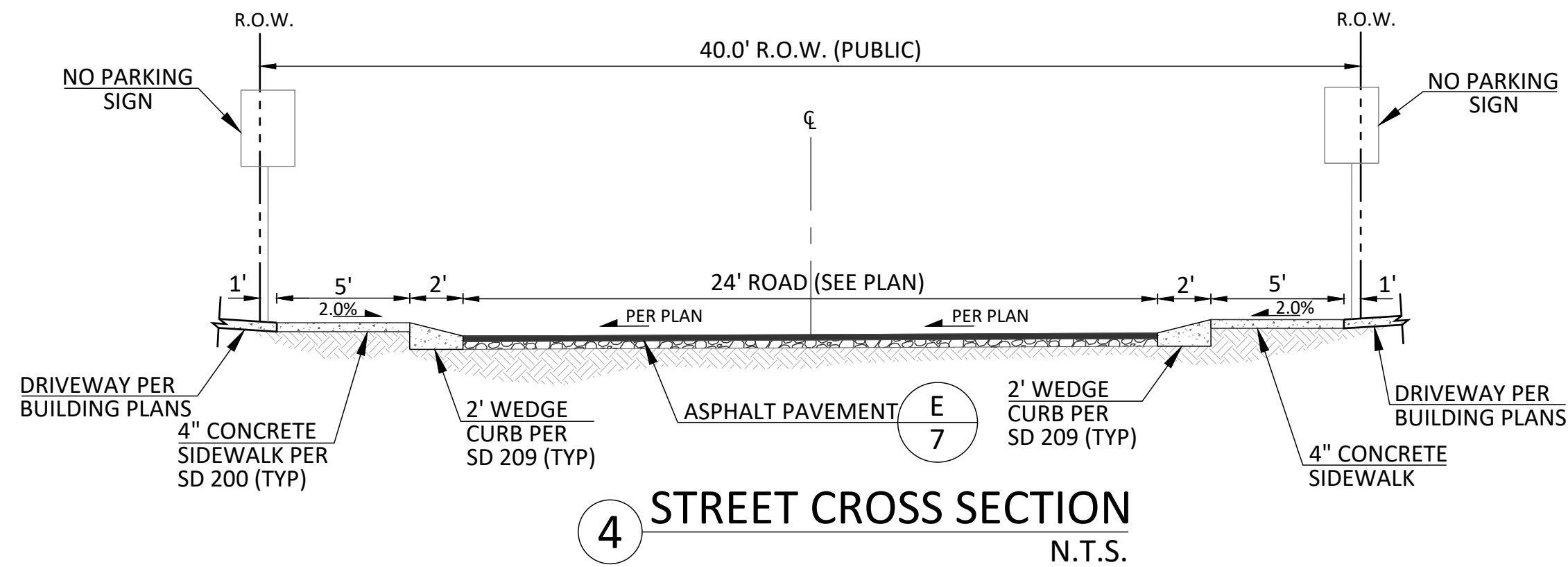
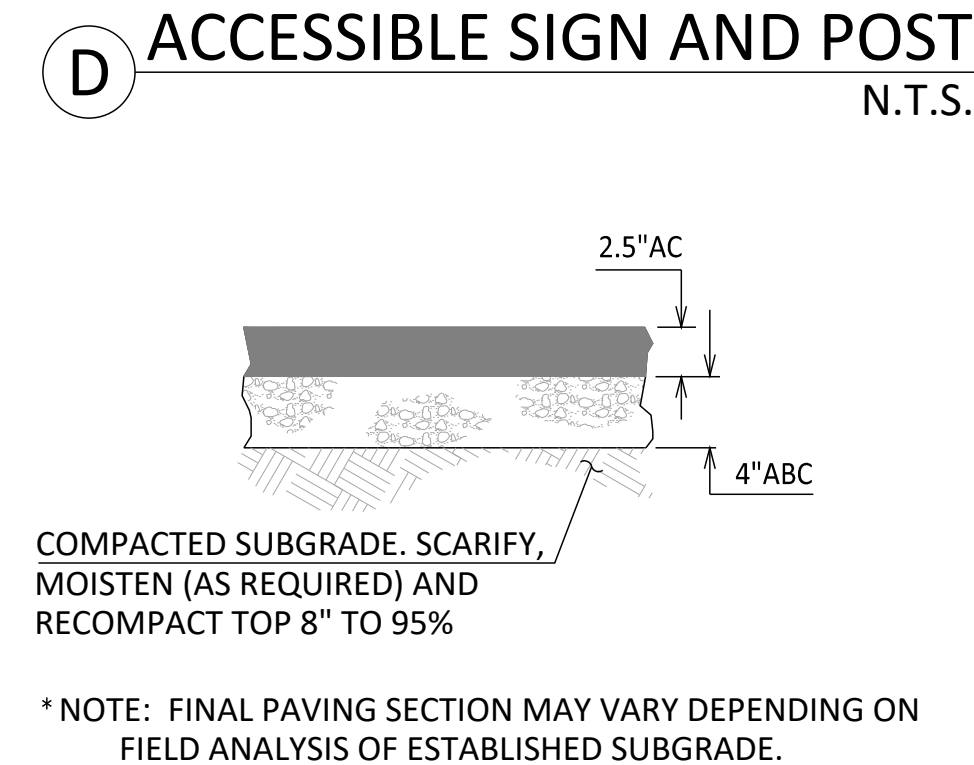
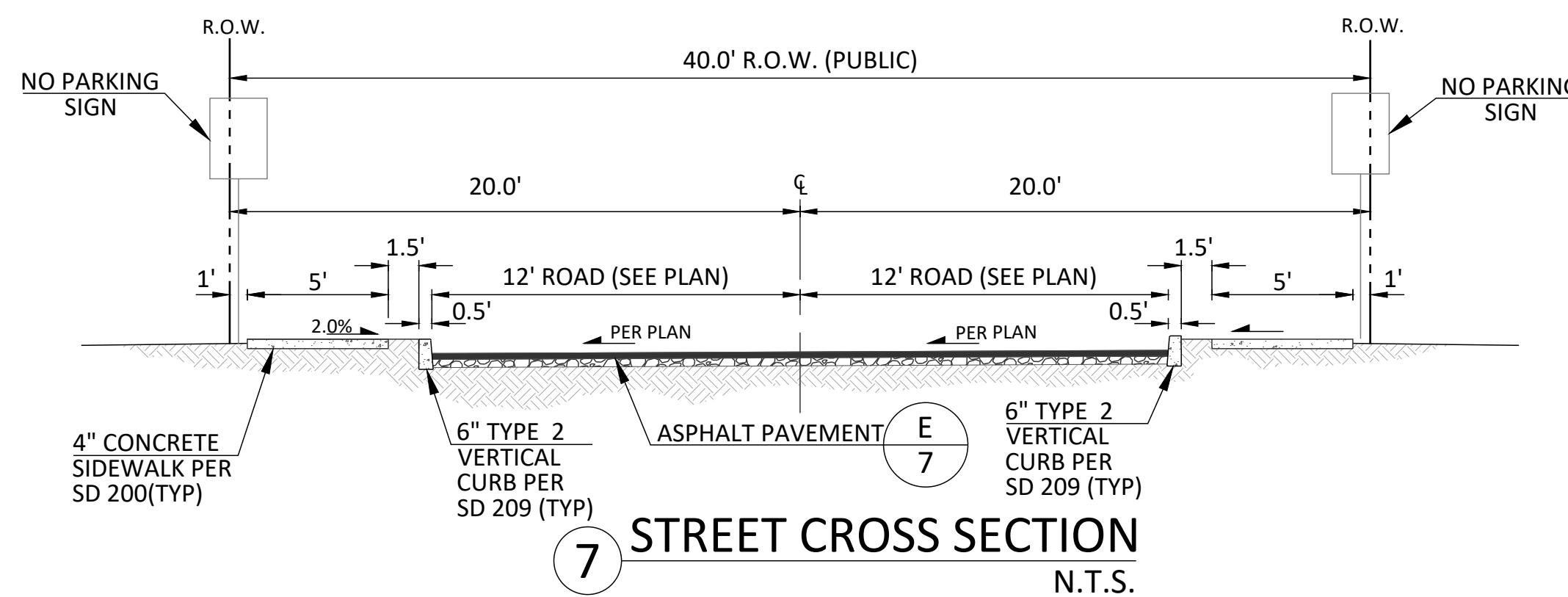
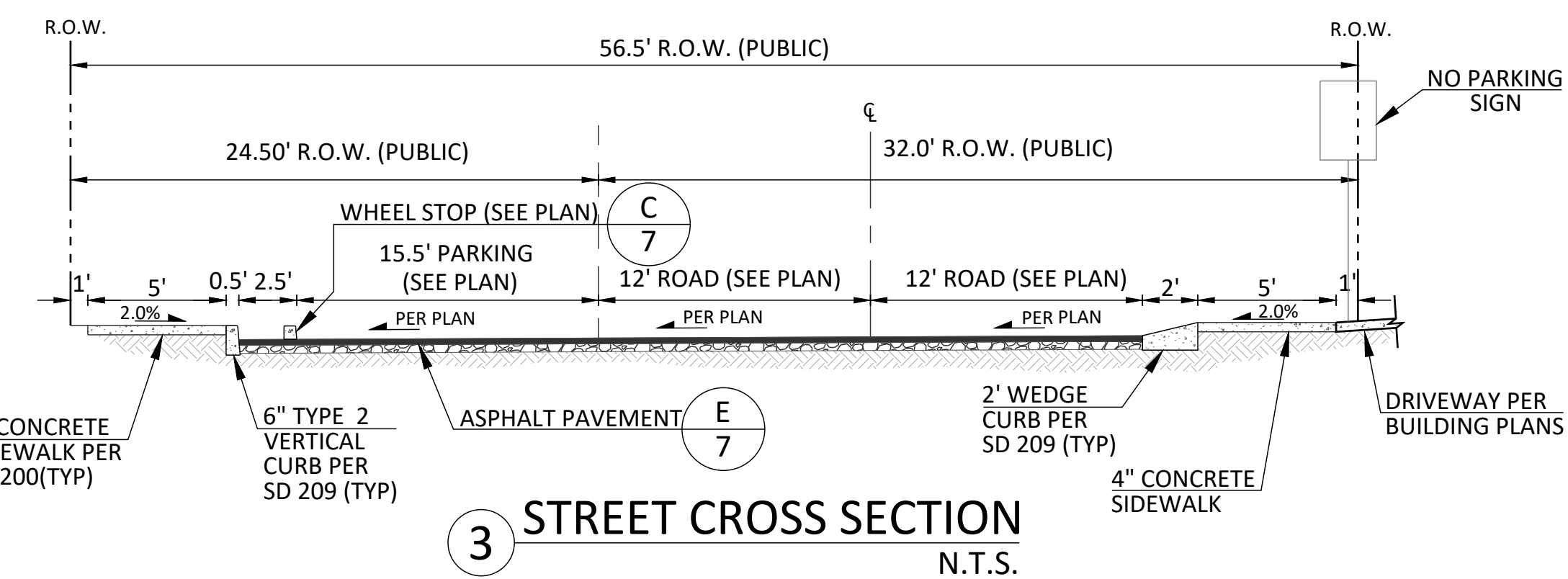
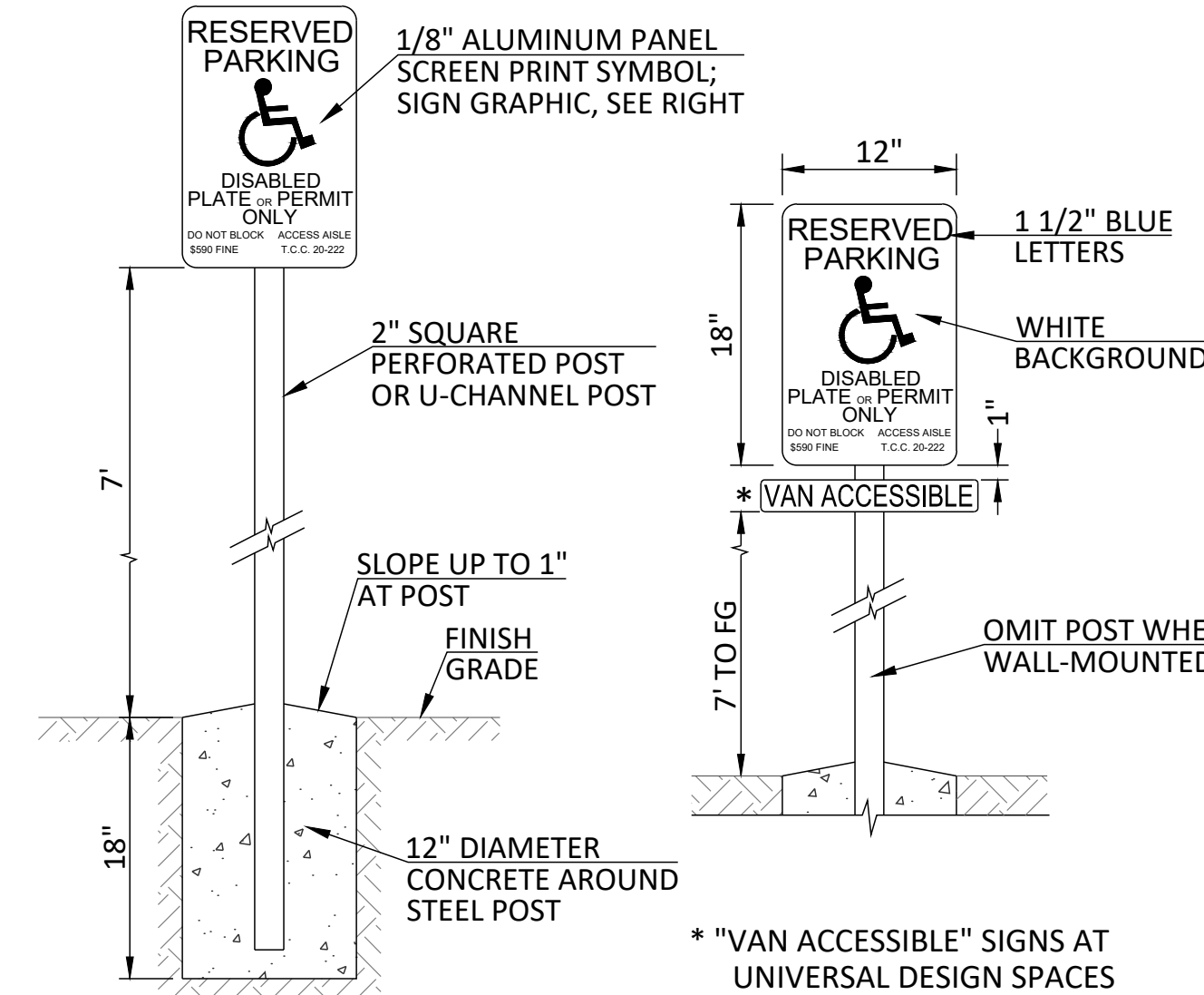
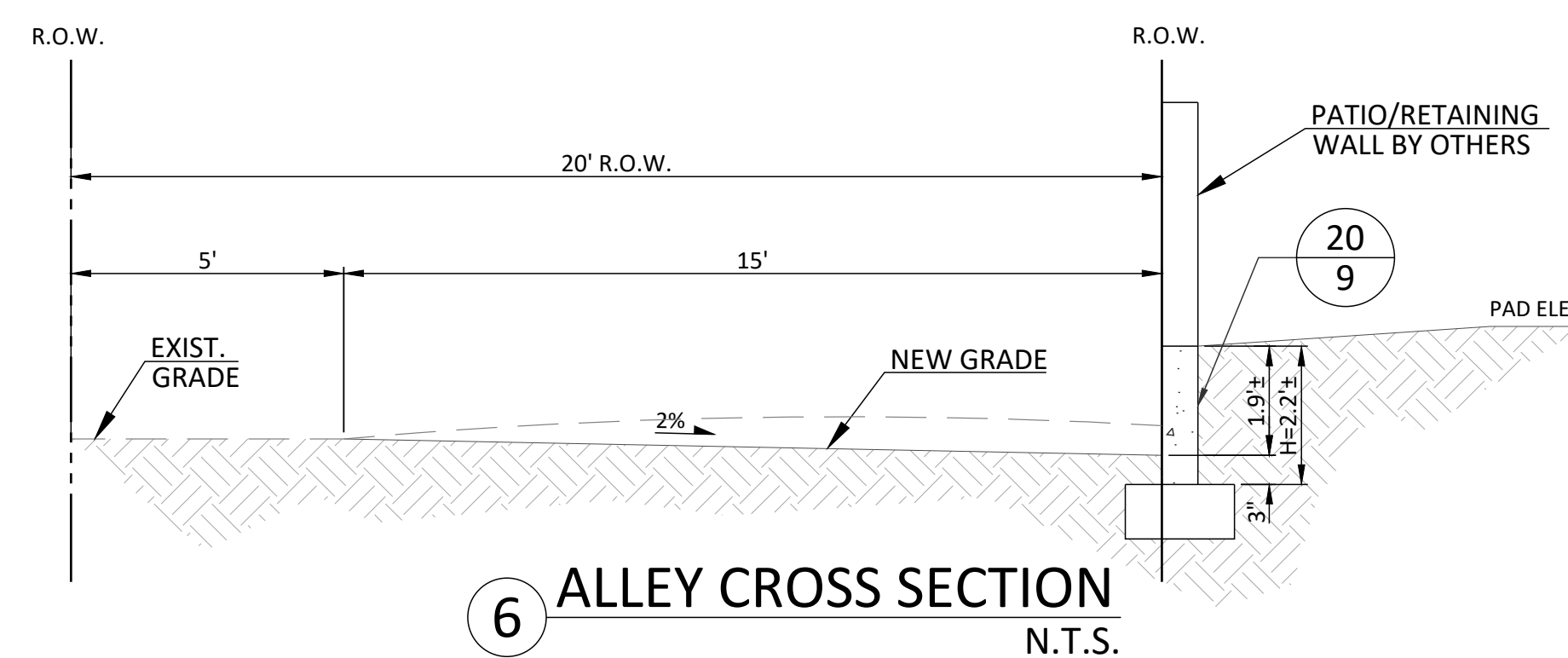
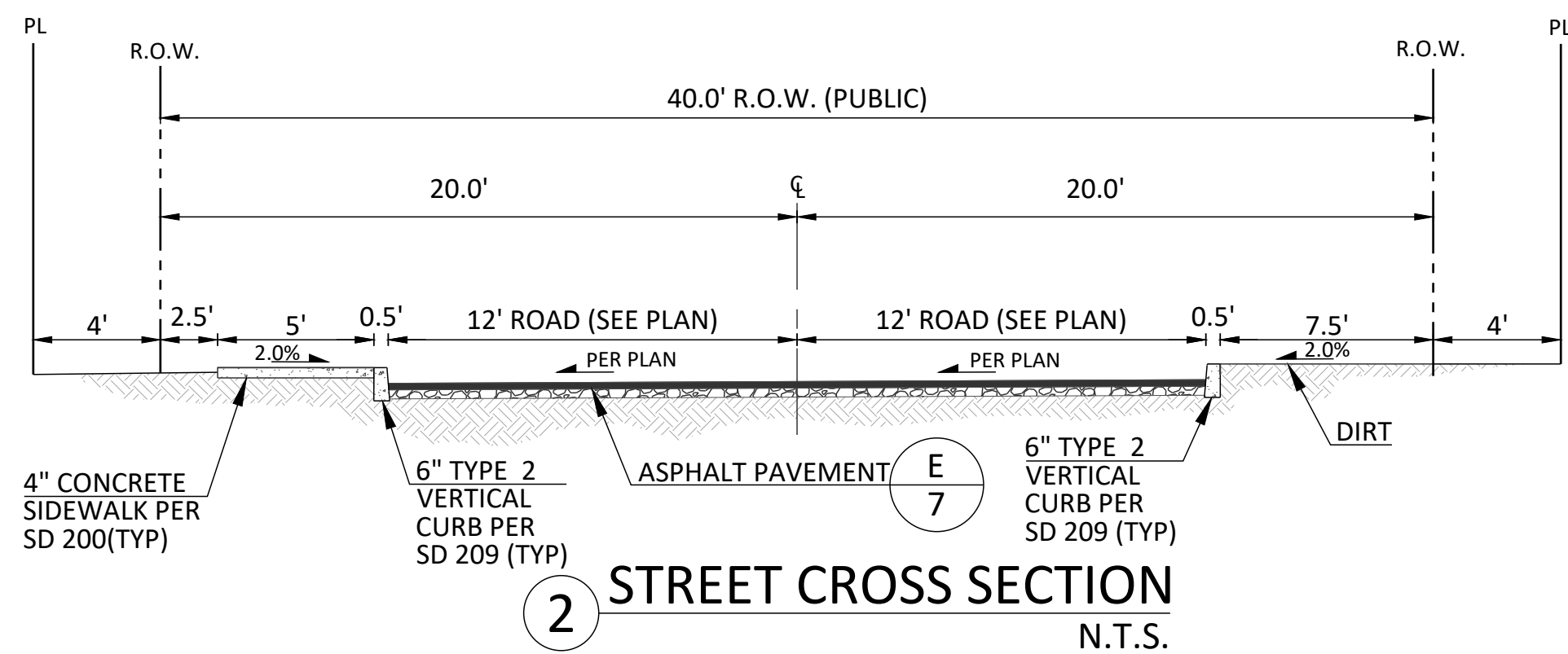
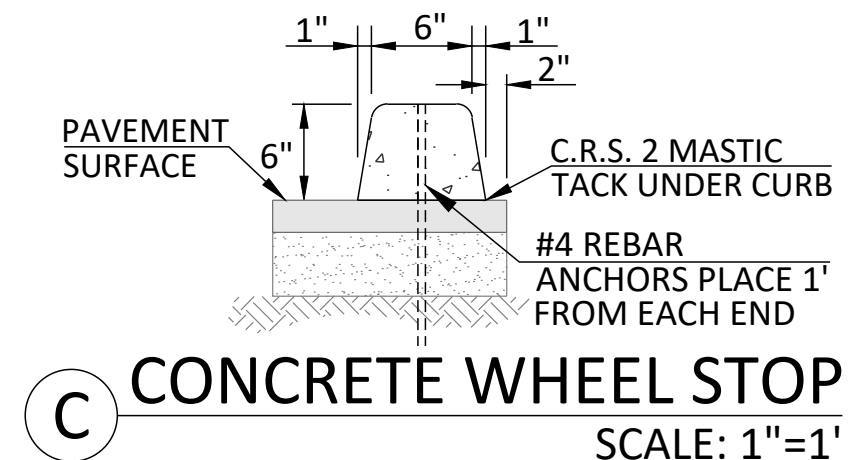
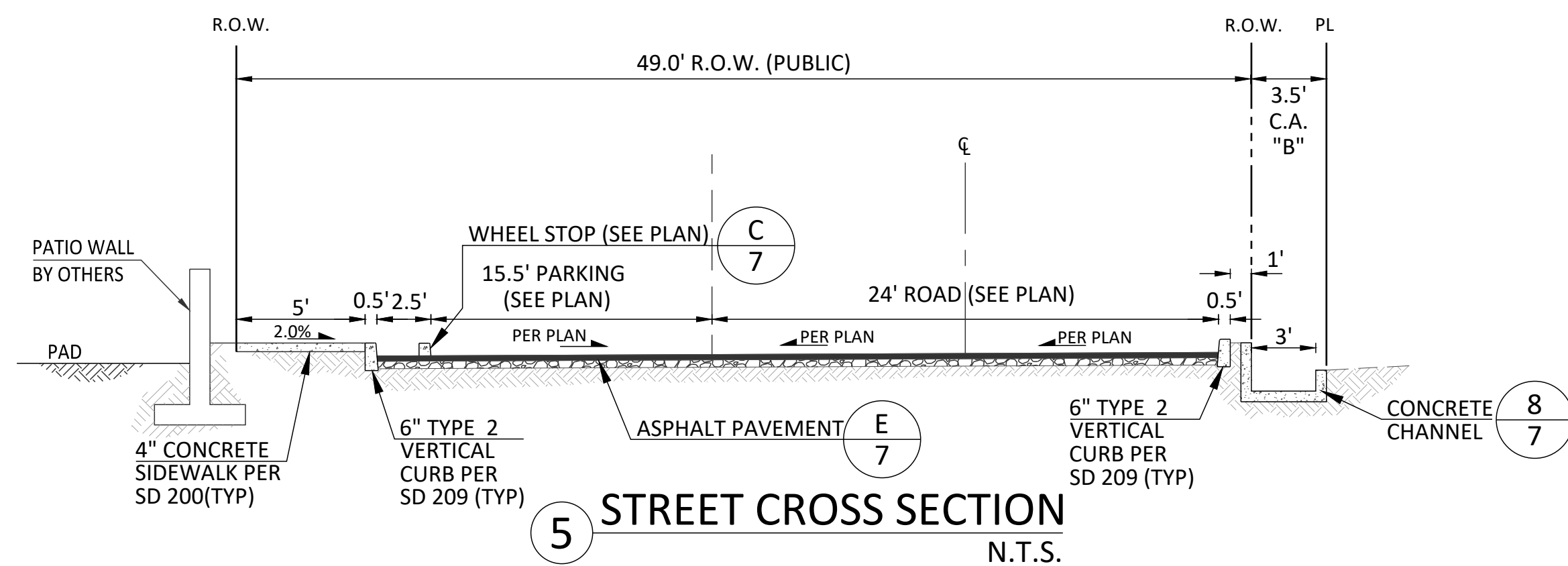
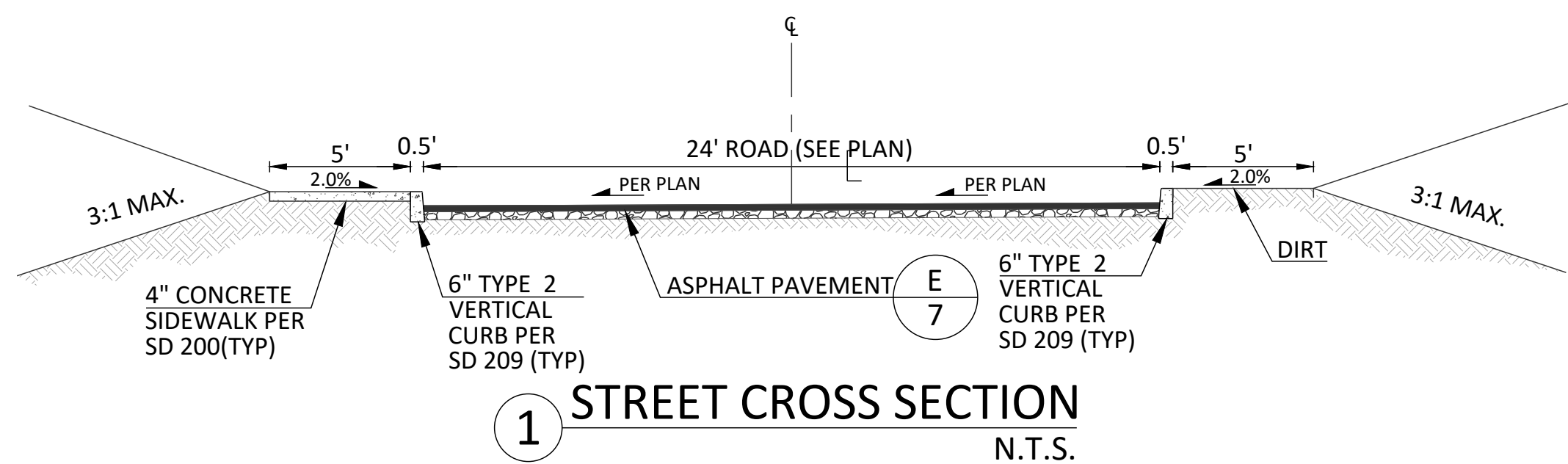
TENTATIVE PLAT PACKAGE for
RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 +
PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B"
OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION
property plan



S CHAMPION STRAVENUE

TD-DEV-0423-00197

6 OF 19



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09/12/2023

PLANNING & DEVELOPMENT SERVICES

- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- per letter in SIRE, Revision #
- SCZ
- ERZ
- HDZ
- WASH
- Other

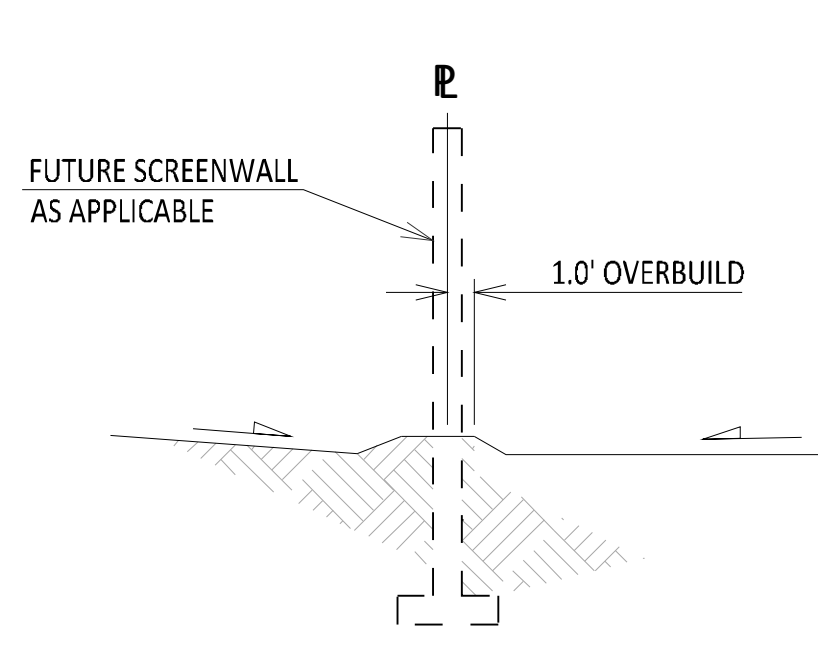
NO.	DATE	REVISION DESCRIPTION	BY	DEVELOPER
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				<p>RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com</p> <p>PROJECT NO: 5229</p>
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C:\RICK\Projects\105000\5229_Rodeo_Addn_2_Lots_110_116\Civil\Plans\Roads_Addition_4 - TPP.dwg - plotted by: shuyinh - cbsyprss_v2.ctb - © 2023 Rick Engineering Company

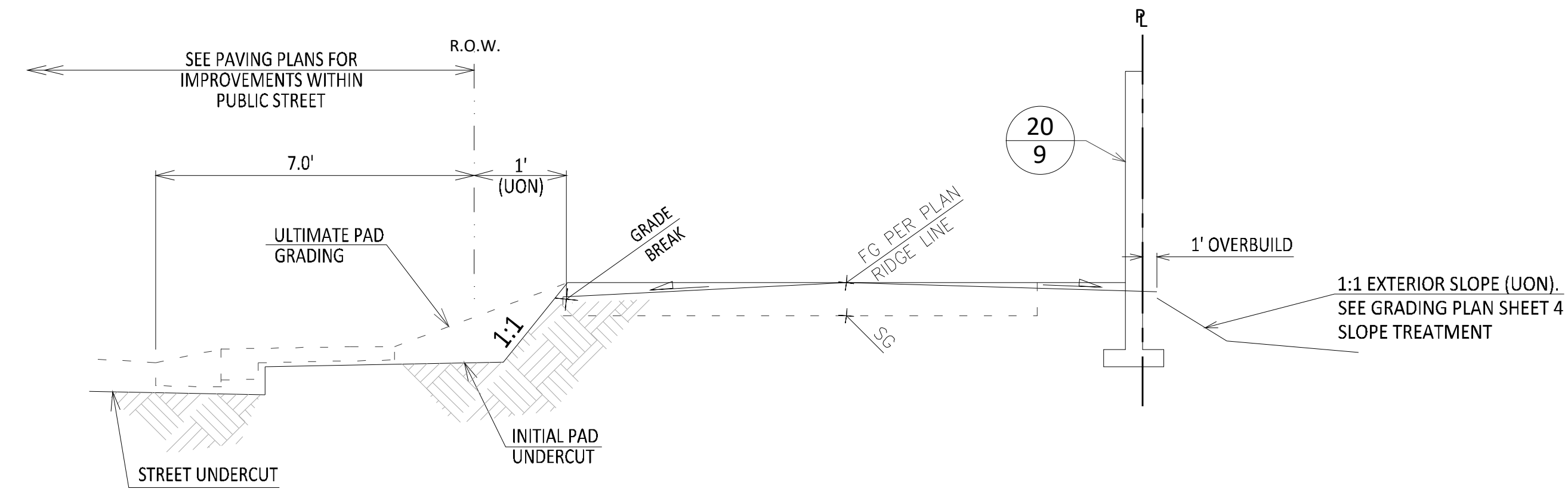


TD-DEV-0423-00197

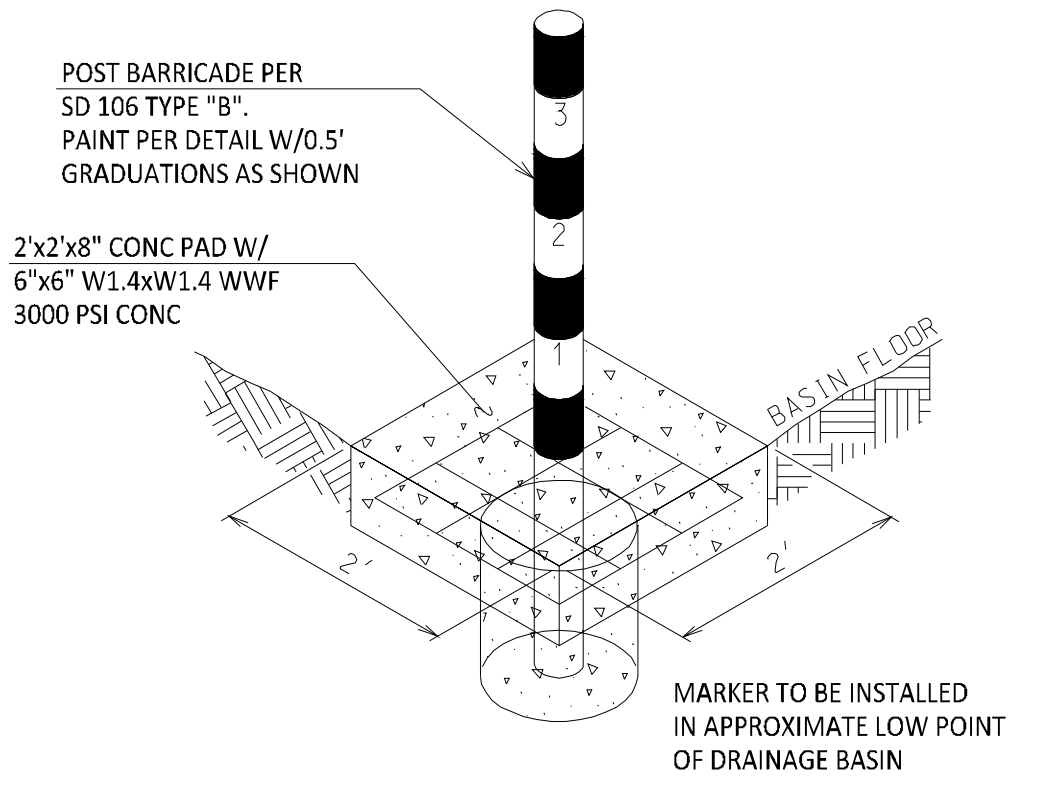
7 OF 19



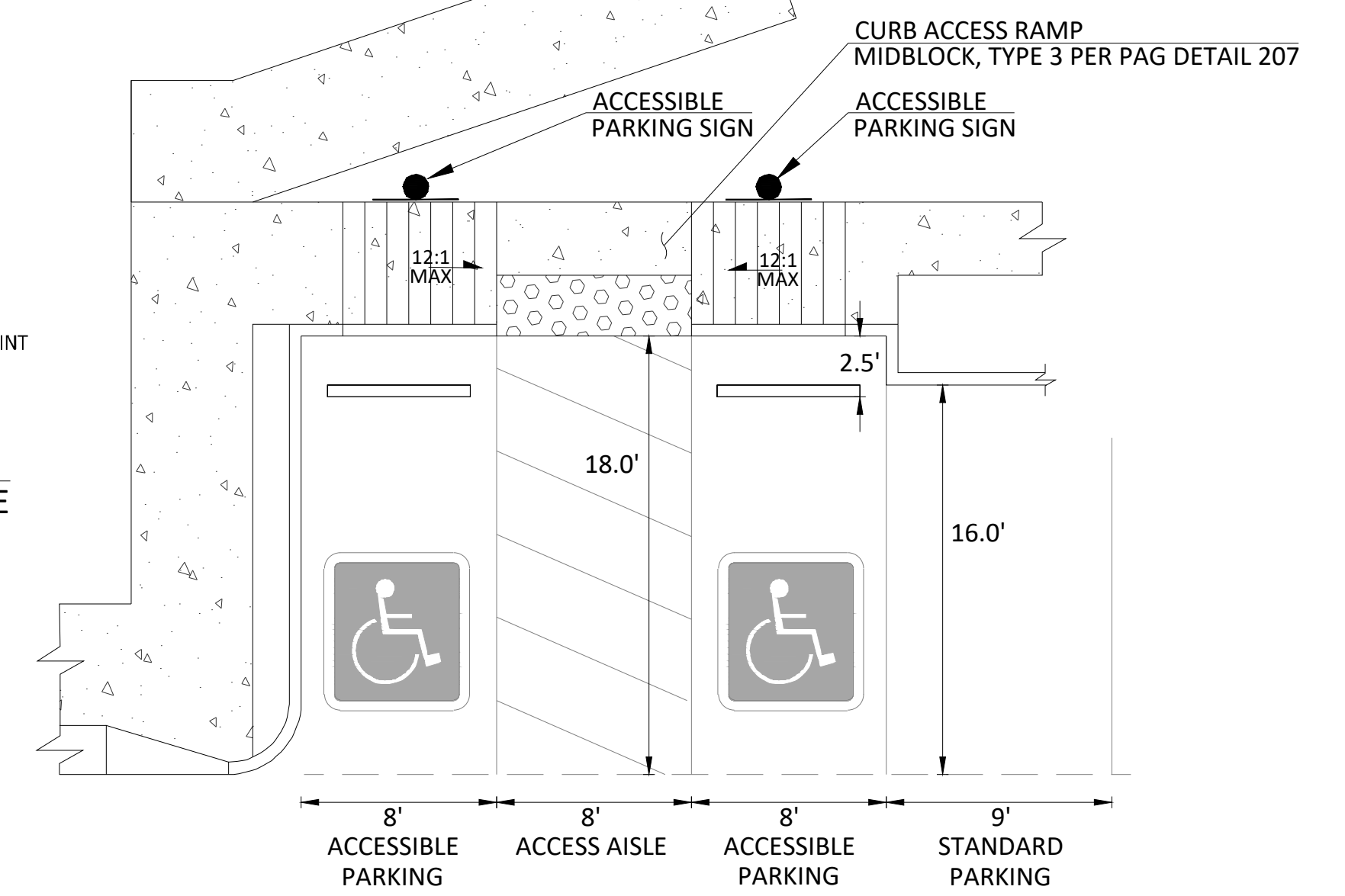
SECTION 2-2



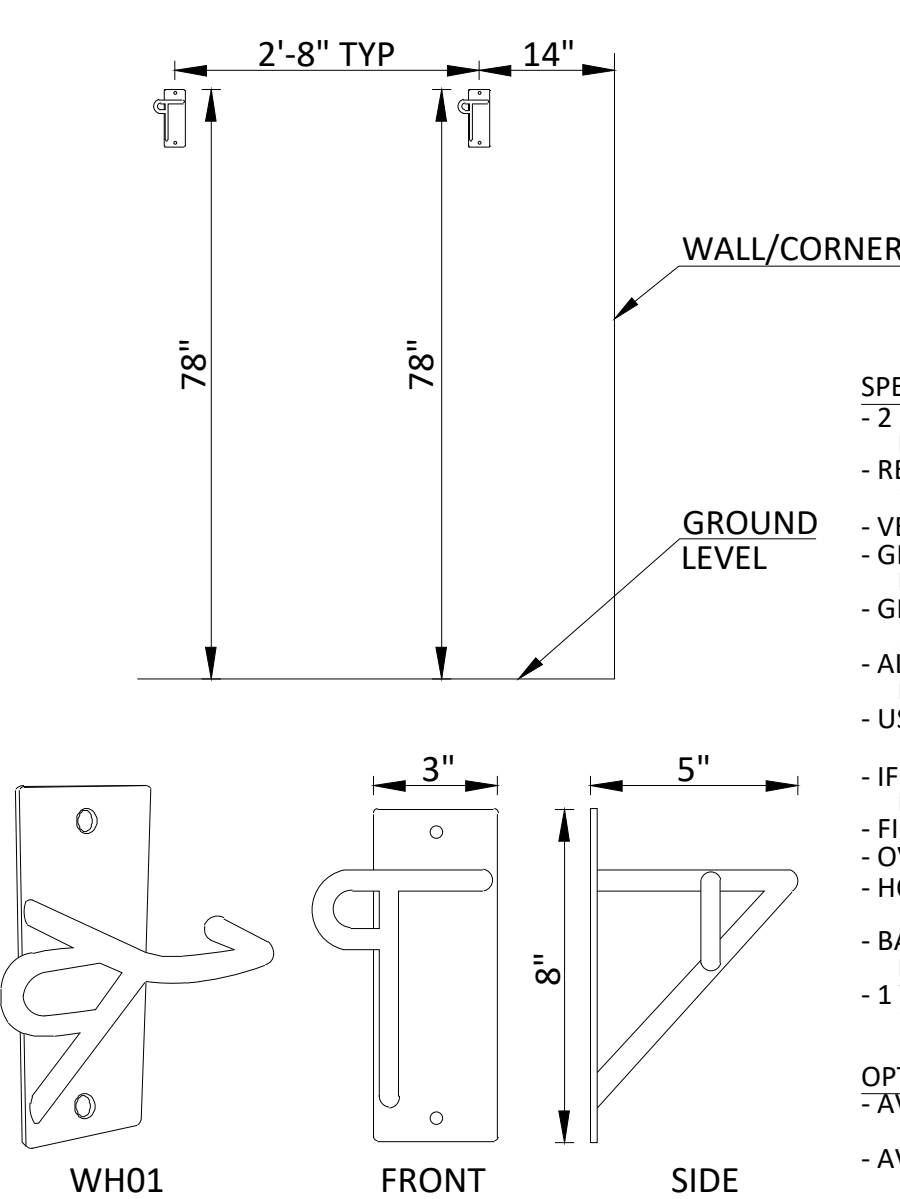
SECTION 1-1



16 SEDIMENT MARKER
NO SCALE

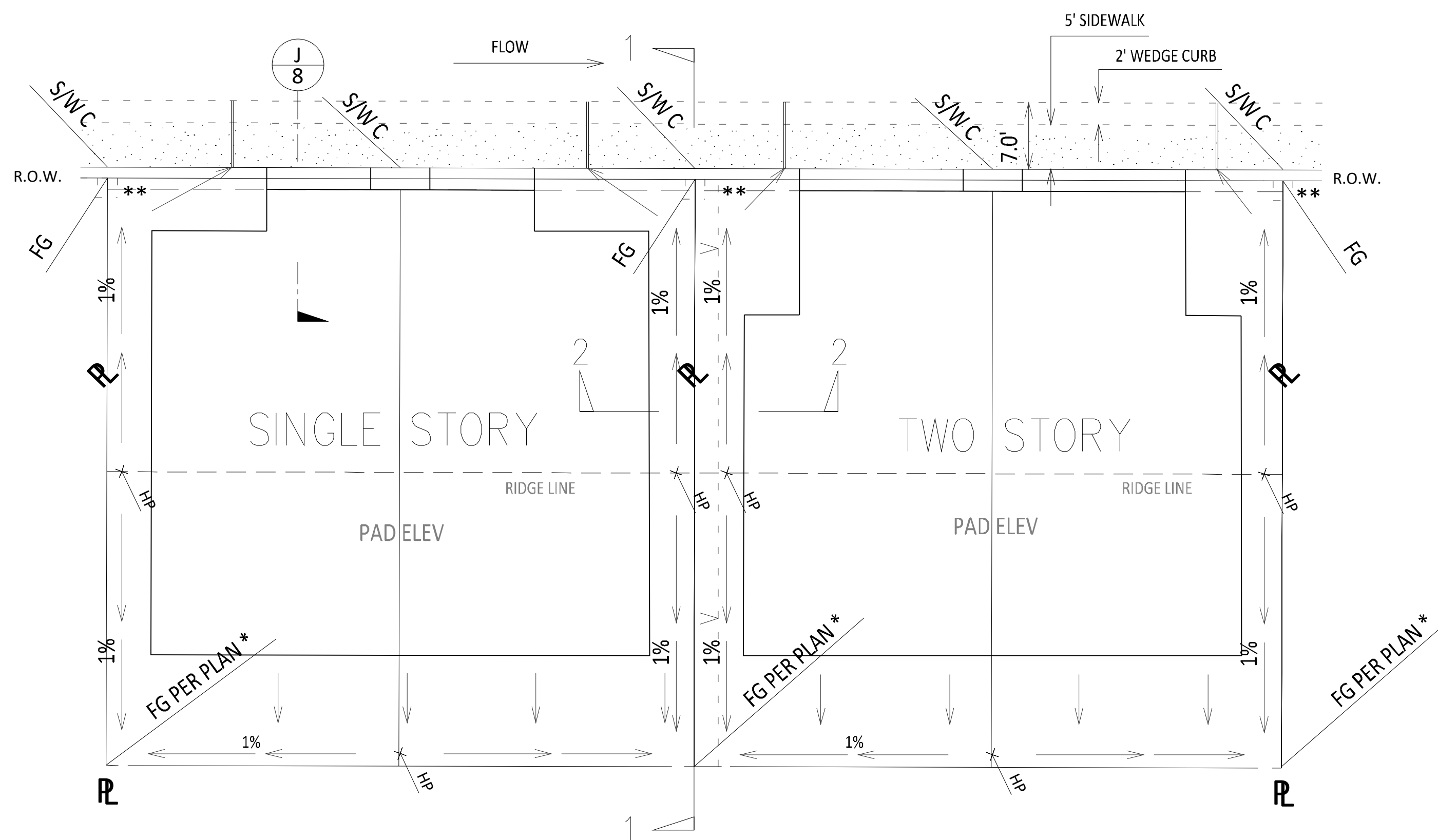


K TYPICAL PARKING DETAIL
ACCESSIBLE SCALE: 1"=10'



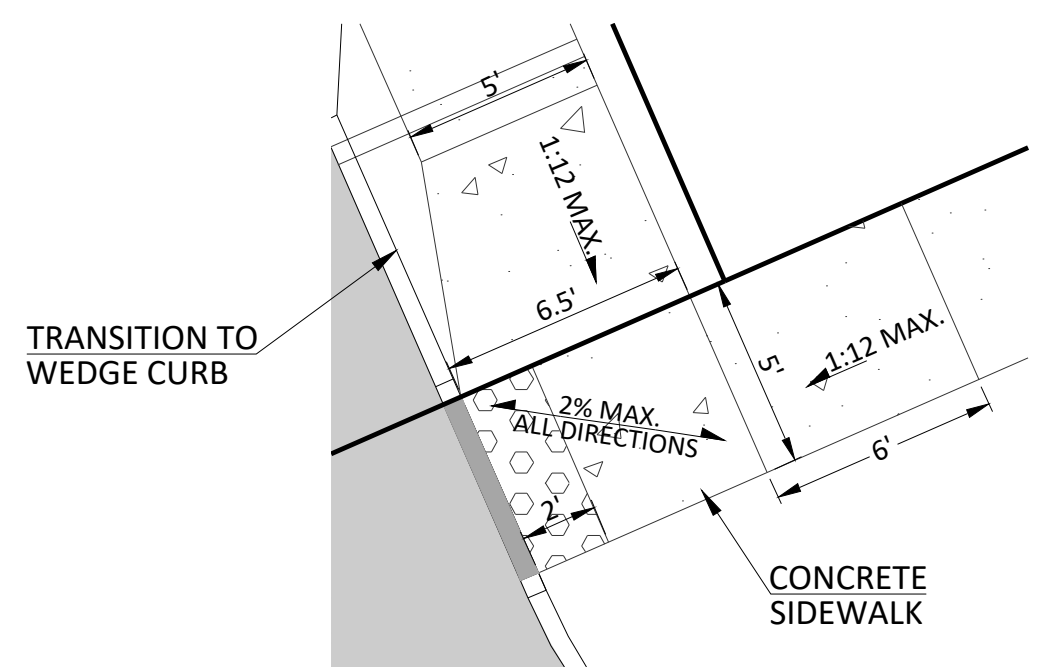
- SPECIFICATIONS:**
- 2 MOUNTING HOLES IDEALLY ACCEPT 3/8" FASTENERS
 - RECOMMENDED RACK SPACING 16" MIN. W/ VERTICAL SLAGGER
 - VERTICAL SLAGGER SHOULD BE 10"
 - GROUND TO TOP OF RACK SHOULD BE 68" FOR FIRST RACK
 - GROUND TO TOP OF SECOND RACK SHOULD BE 78"
 - ALLOW 1' BEFORE YOUR FIRST RACK AND BEYOND YOUR LAST RACK
 - USE PROPER EXPANSION BOLTS OR RAWL SPIKES FOR CONCRETE WALL
 - IF NOT ATTACHED TO STUDS, ADD 3/8" PLYWOOD BACKING
 - FINISH IS POWDER COAT BLACK
 - OVERALL DIMENSIONS: 8" X 3" X 5"
 - HOOK, BRACE, AND U-PIECE MADE OF 3/8" SOLID ROUND DOWEL
 - BASE PLATE CONSISTS OF 12 GAUGE SHEET METAL
 - 1 YEAR STANDARD MANUFACTURER'S WARRANTY
- OPTIONS:**
- AVAILABLE WITH ATTACHED 5' SECURITY CABLE, LOOPED END
 - AVAILABLE WITH ATTACHED 30" HEX CHAIN, 3/8" DIAMETER, HARDENED

G LONG TERM BIKE HANGER
INTERIOR N.T.S.

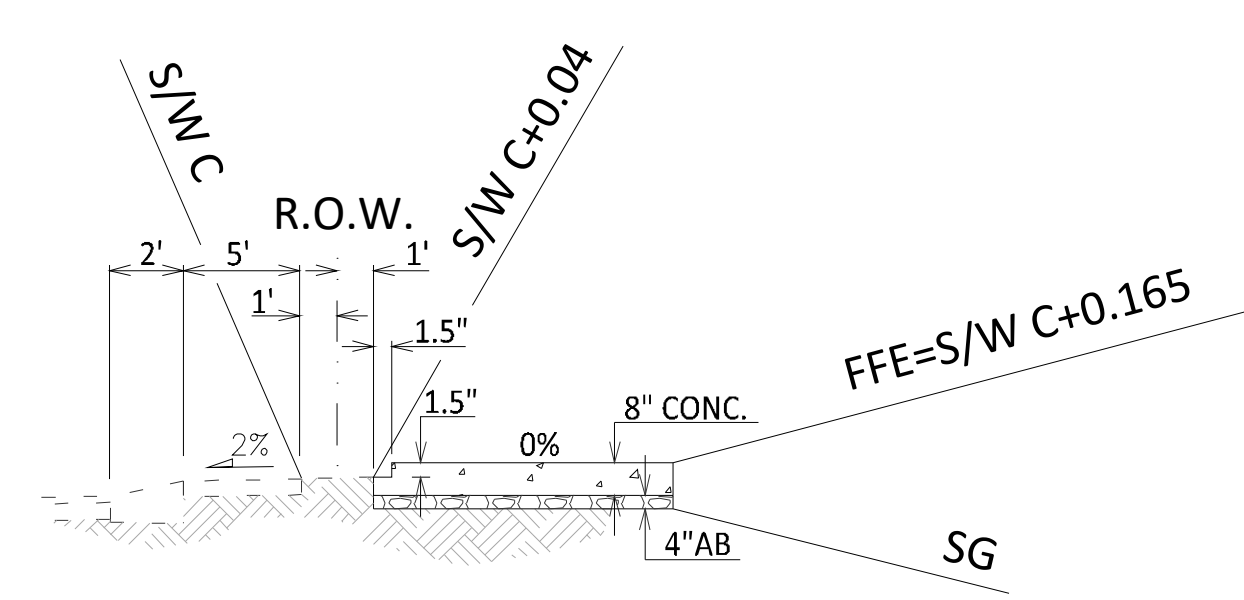


- NOTES:**
1. THE CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL UNDER THE RIP RAP SO THAT THE TOP OF THE RIP RAP WILL MATCH THE FINISHED SURFACE AND SLOPE CALLED OUT ON THE PLAN.
 2. DRAINAGE SWALES SHALL NOT OVERLAP OR CHANNEL FLOW OVER WATER BOXES OR OTHER SURFACE BASED UTILITY INFRASTRUCTURE.
 3. SEE PAVING PLANS FOR IMPROVEMENTS WITHIN PUBLIC STREET.
 4. * REMOVE ONE BLOCK NEAR EACH CORNER AT FINISHED GRADE FOR DRAINAGE.
 5. ** CONTRACTOR TO PREPARE TEP EQUIPMENT PAD AREAS PER TEP SD SR-208. WHERE GRADING DIFFERENTIAL IS SUCH THAT RETAINING WALLS OR RIP RAP SLOPE IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH OWNER AND TEP TO DETERMINE THE DESIRED TREATMENT, ON A CASE BY CASE BASIS.

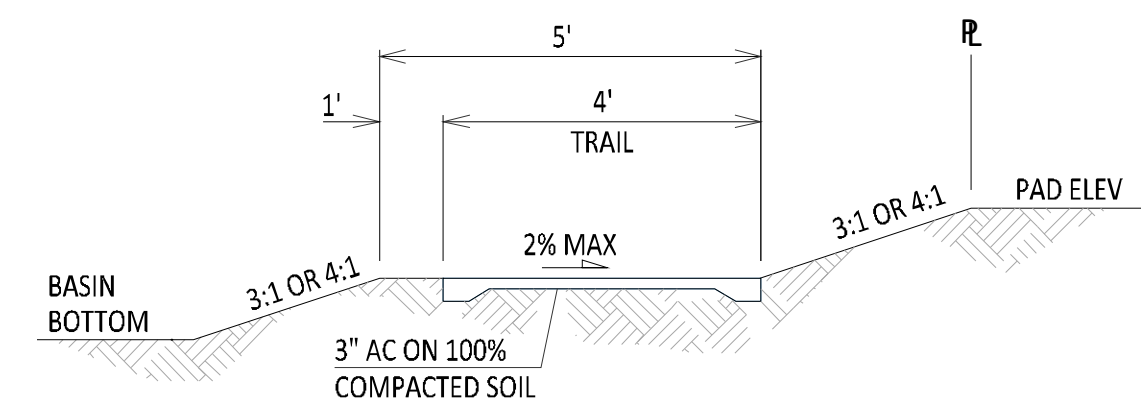
I TYPICAL BACK DRAINAGE LOT GRADING
ACCESSIBLE NO SCALE



H RAMP OPTIONS DETAIL
SCALE: 1"=5'



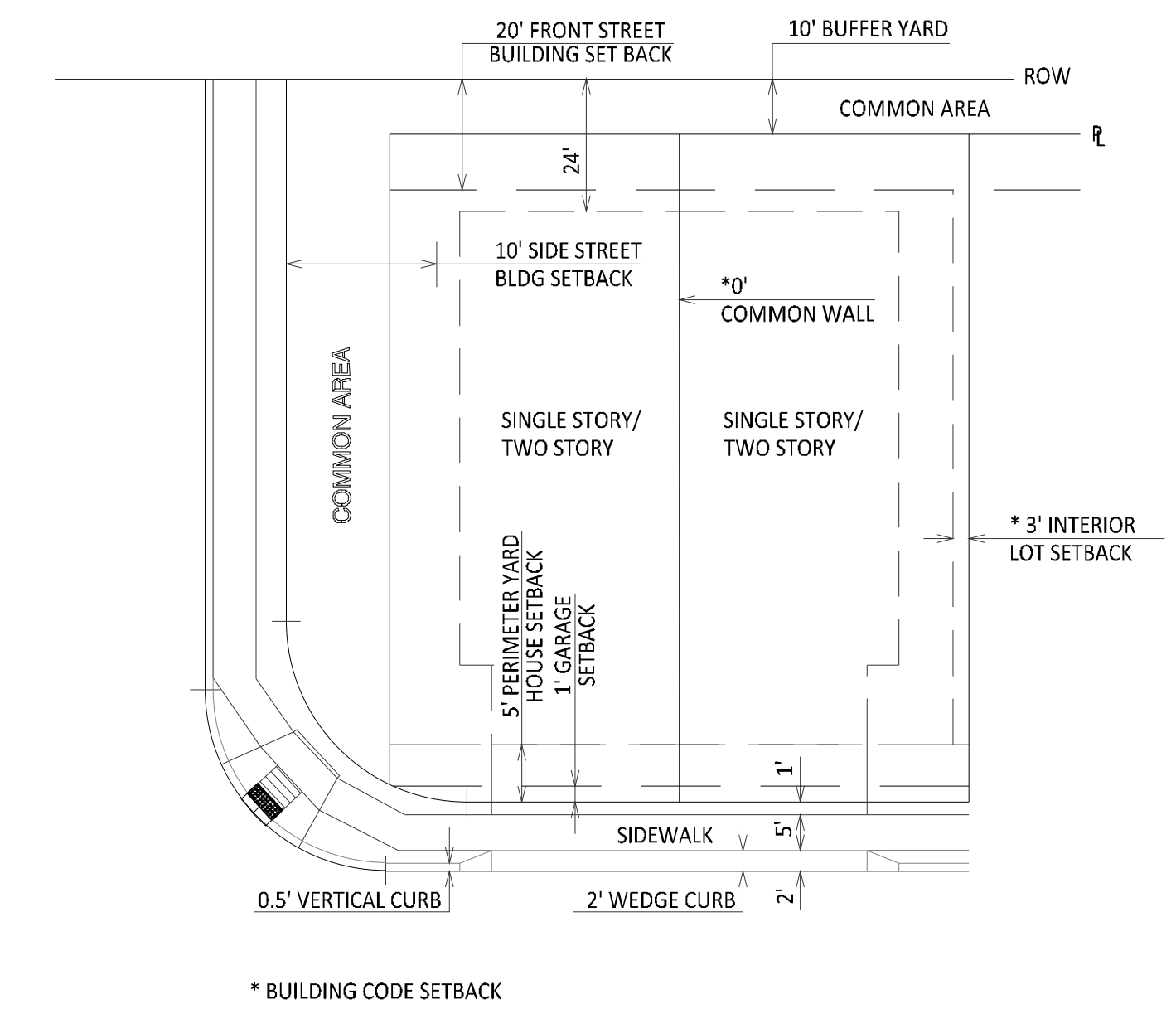
J PAD DTL: N.T.S.



15 TRAIL SECTION
NO SCALE



- PLANNING & DEVELOPMENT SERVICES
- Site/Dev Plan
 - SCZ
 - Tentative Plat
 - ERZ
 - Grading
 - HDZ
 - SWPPP
 - WASH
 - FUP
 - Other
 - per letter in SIRE, Revision #



L TYPICAL LOT SETBACKS
TYPLOTSET N.T.S.

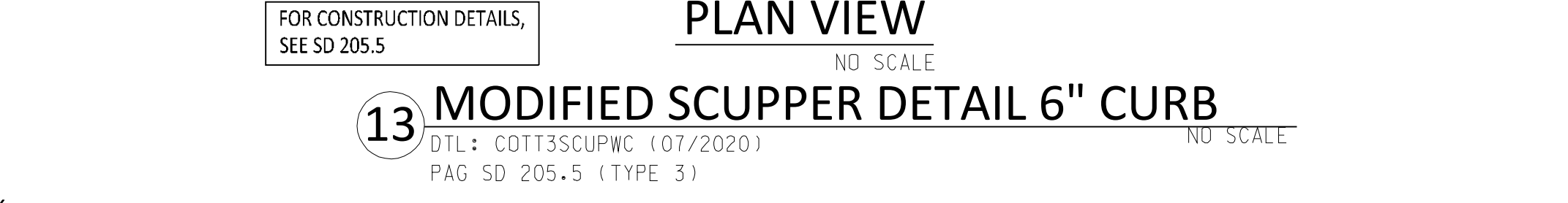
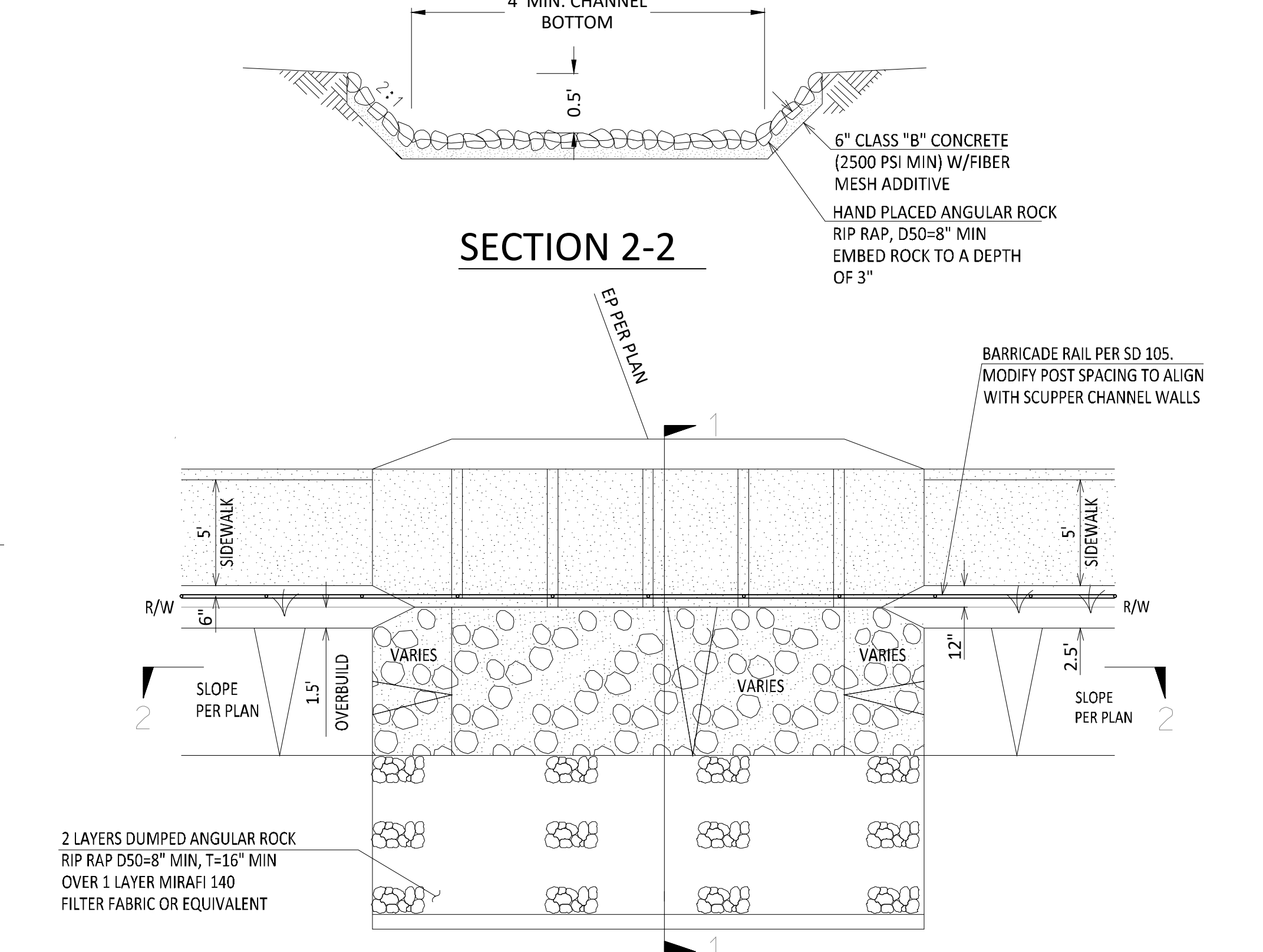
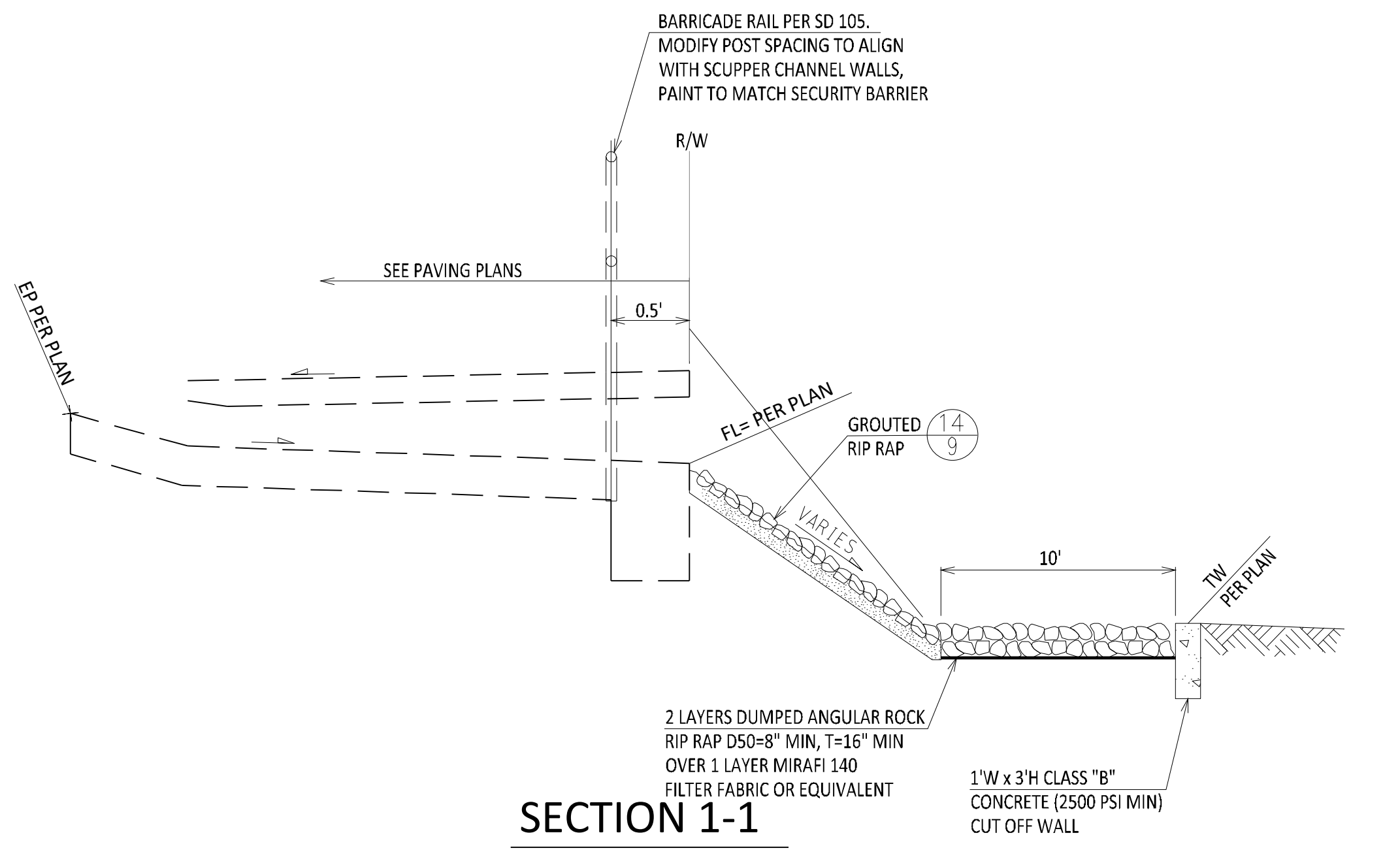
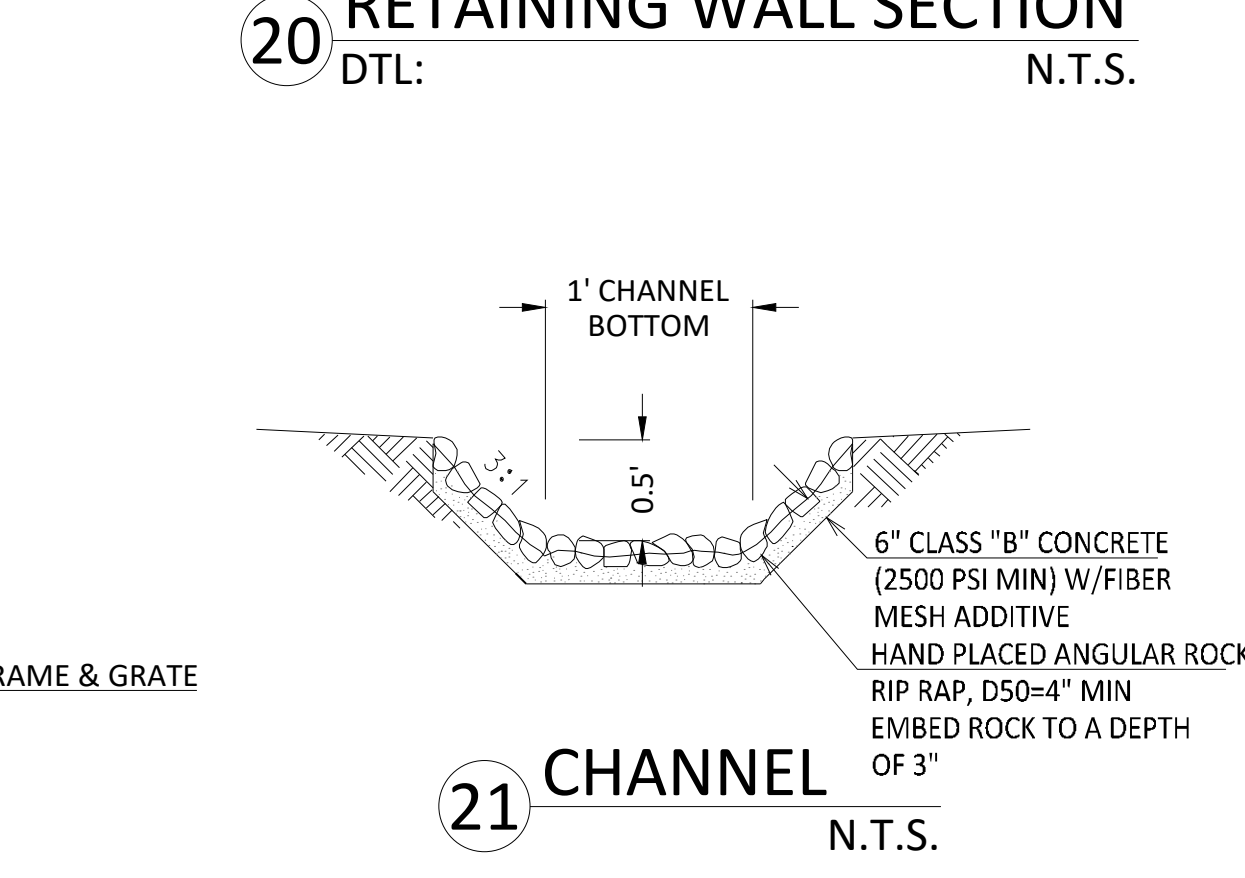
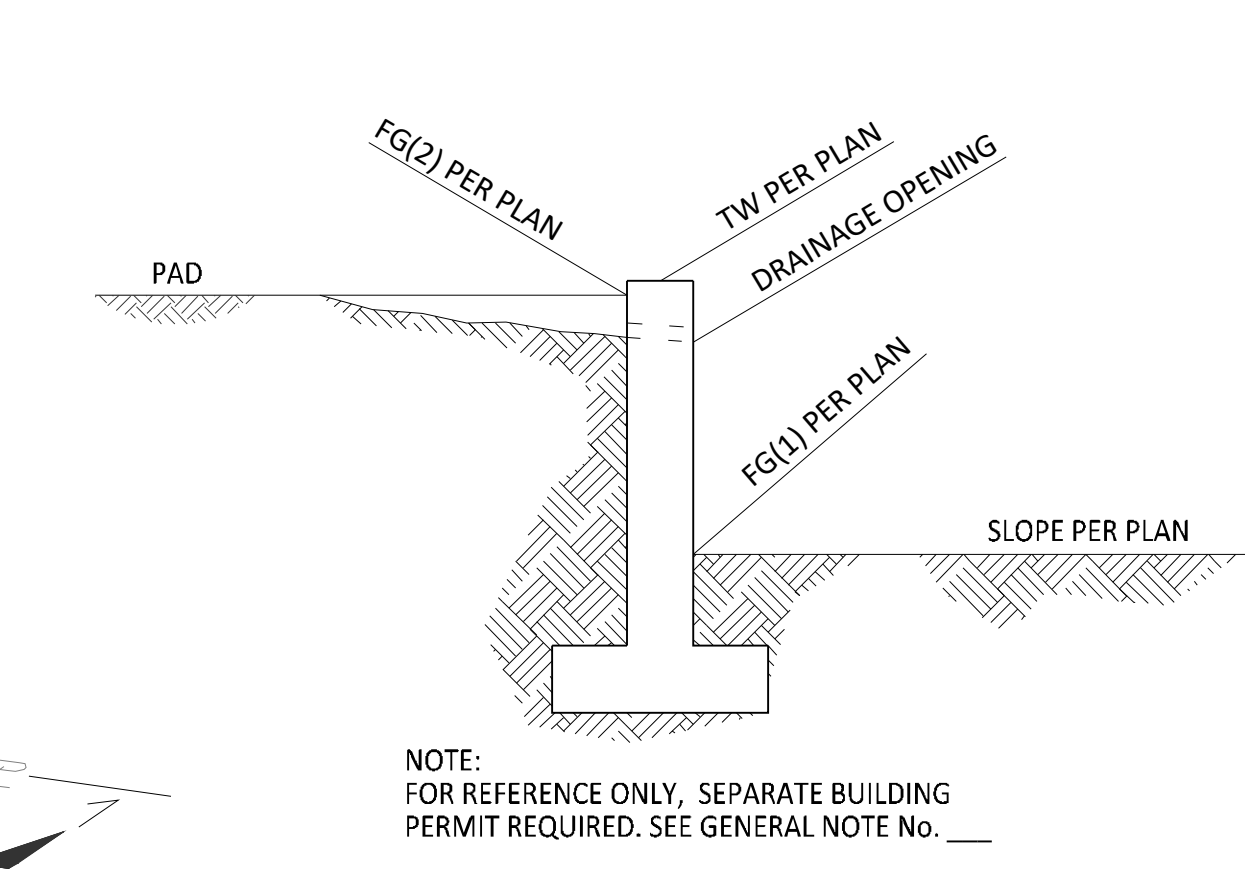
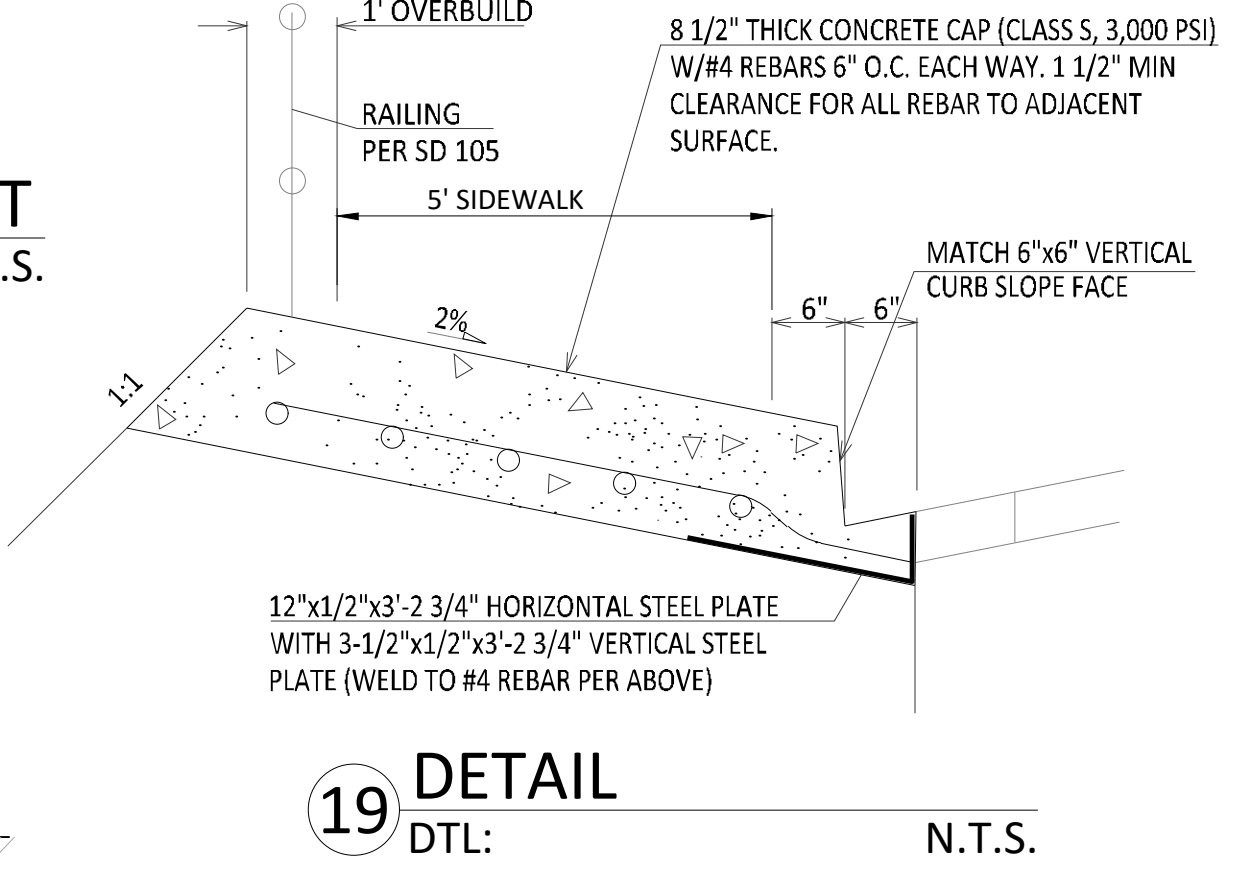
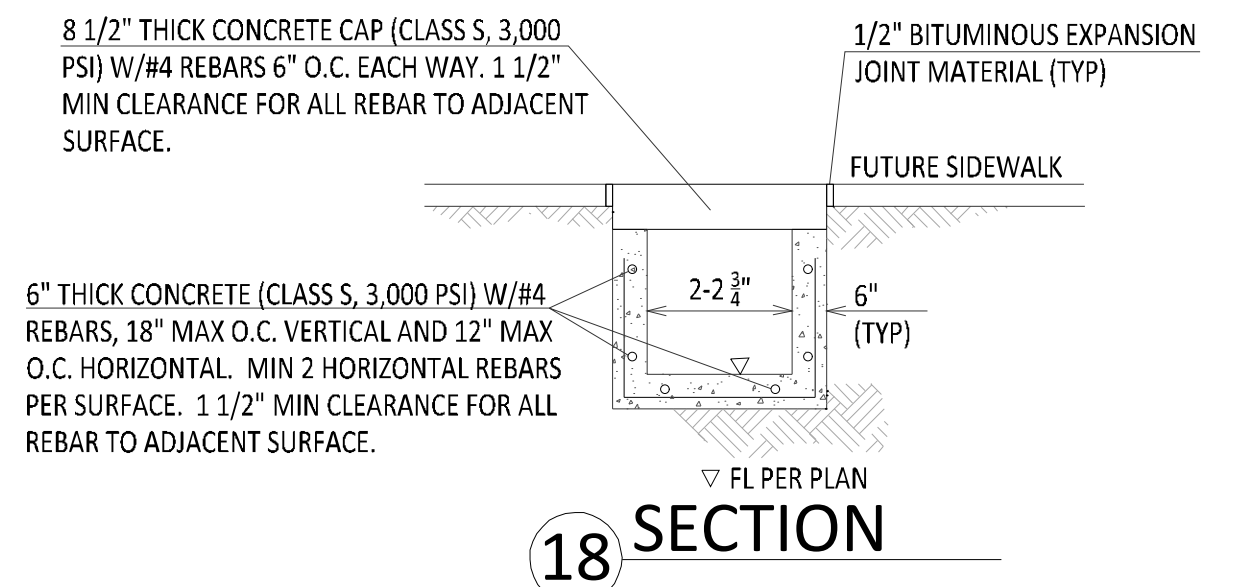
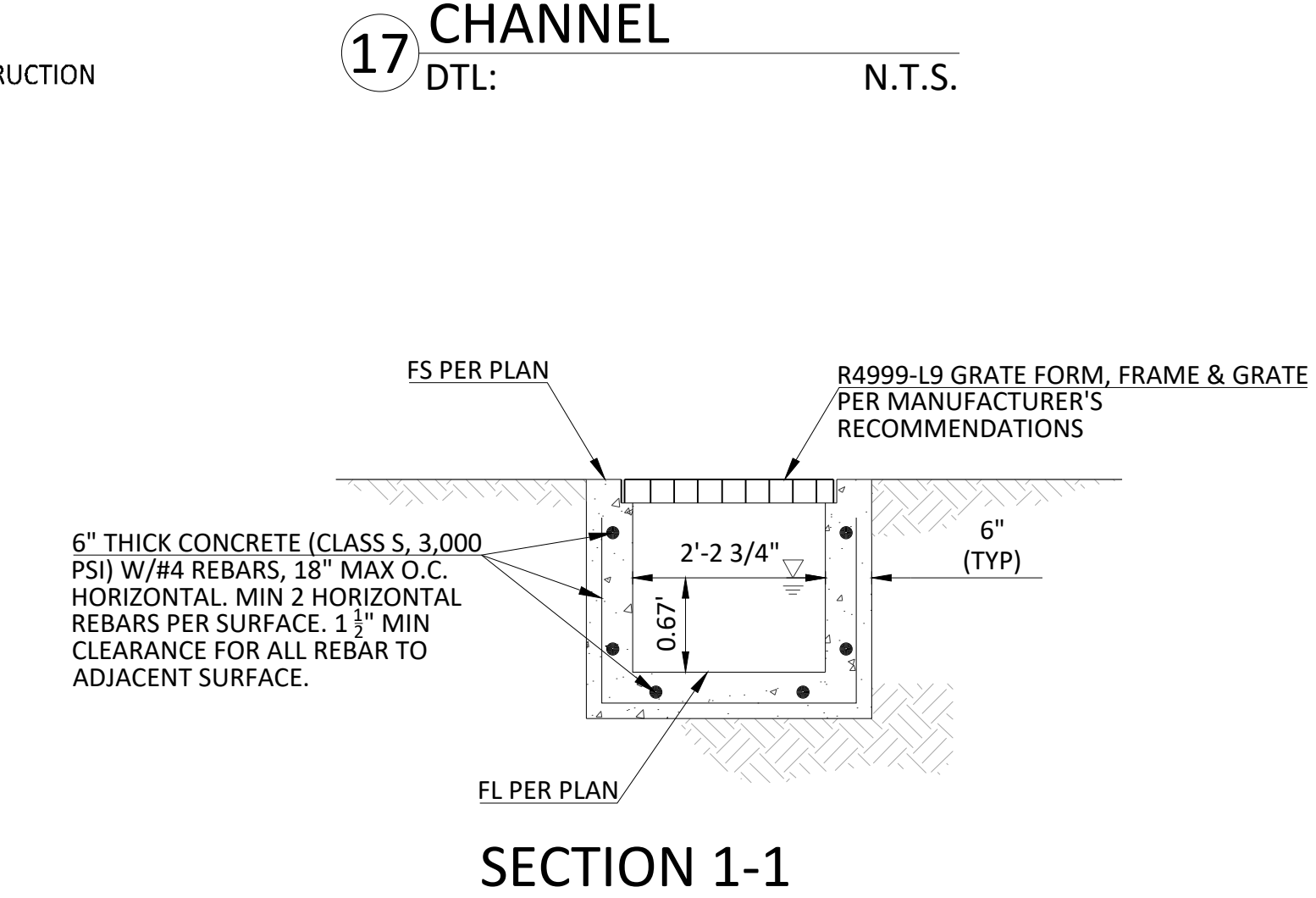
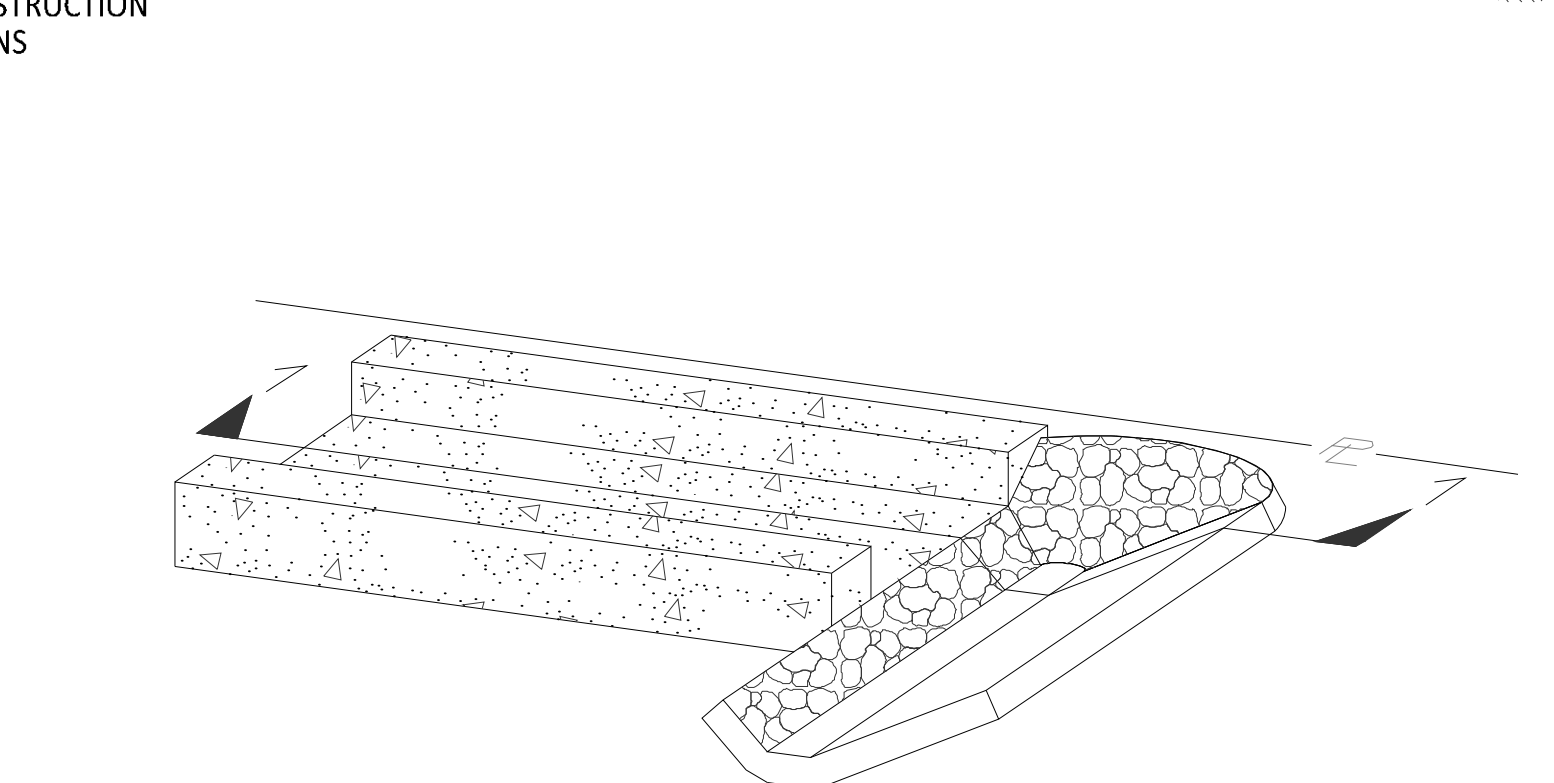
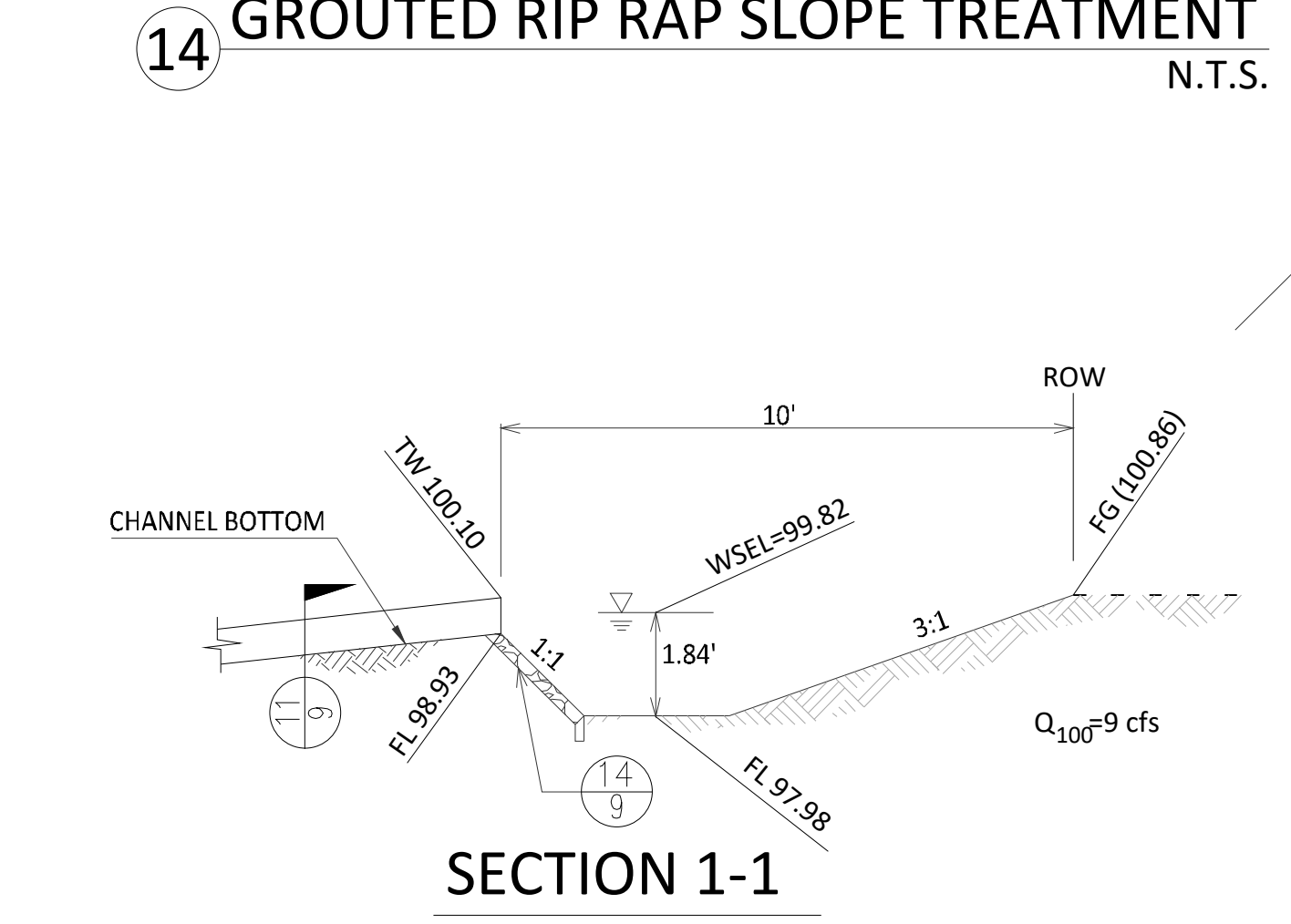
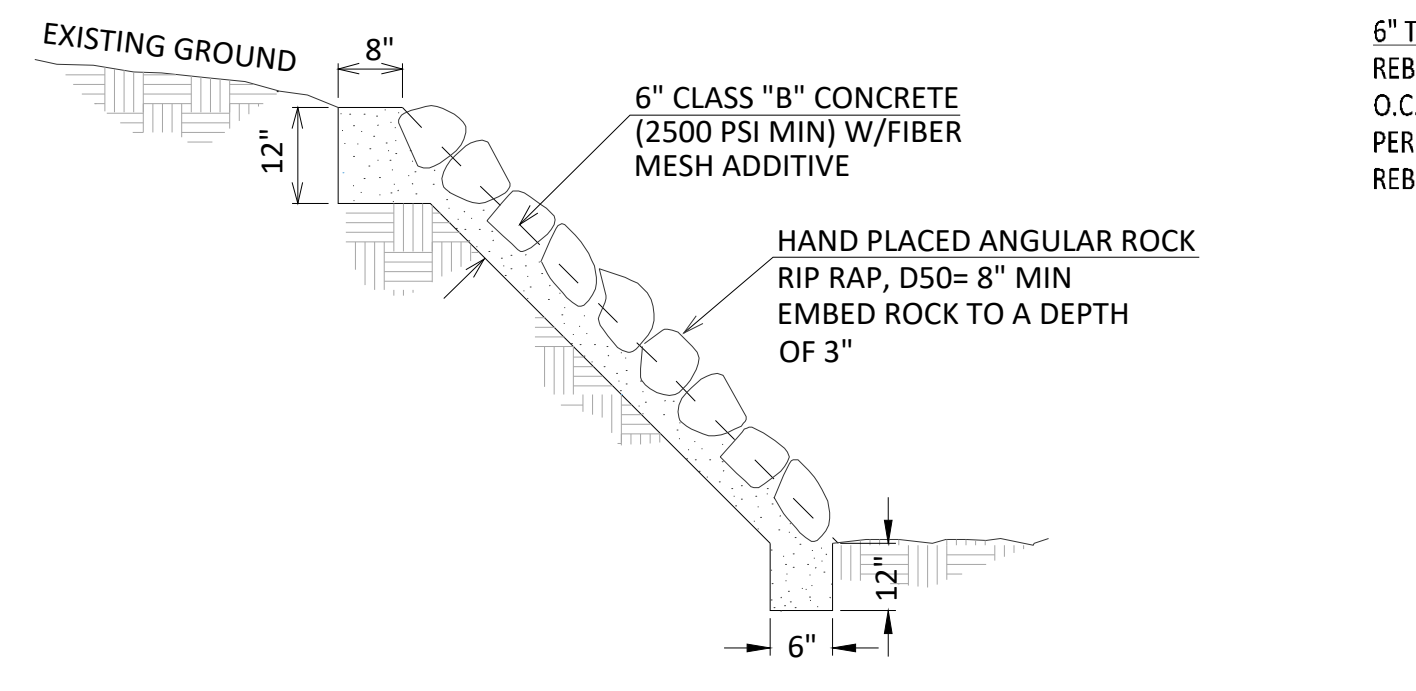
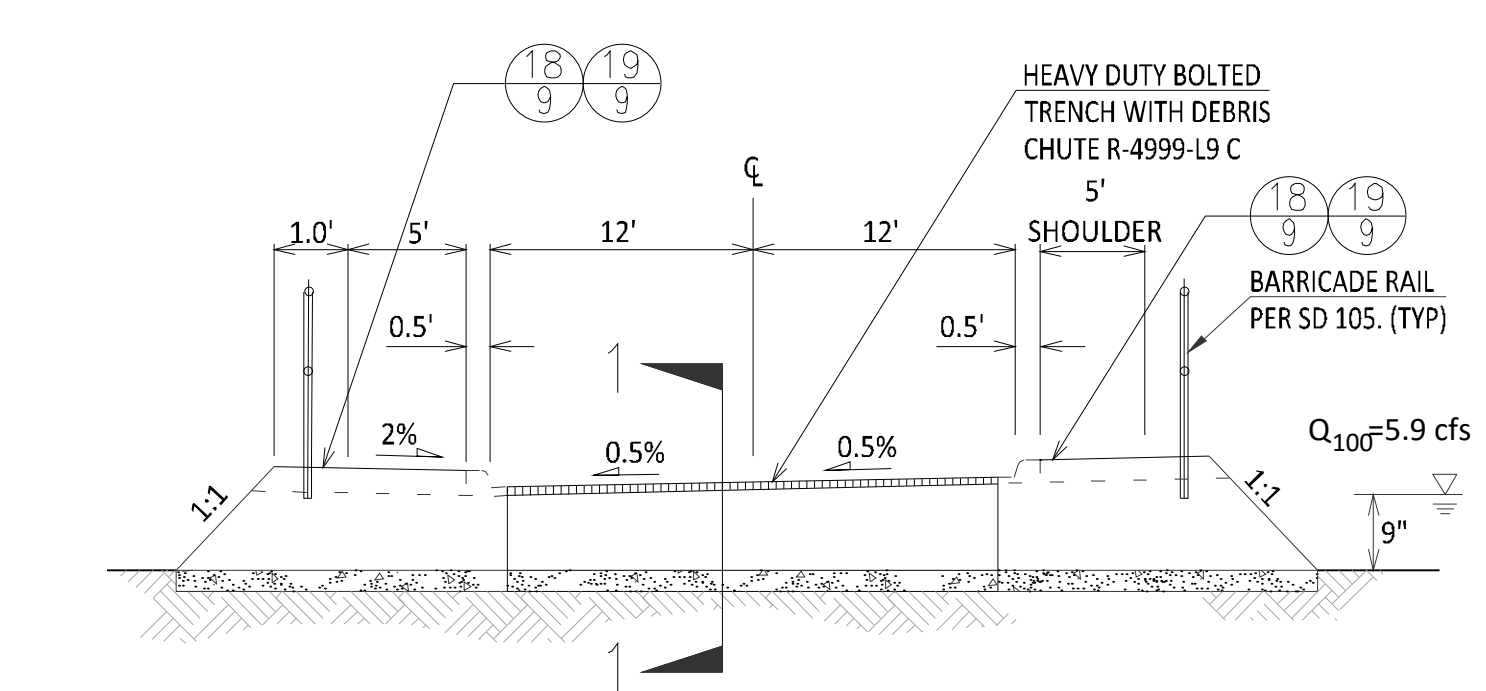
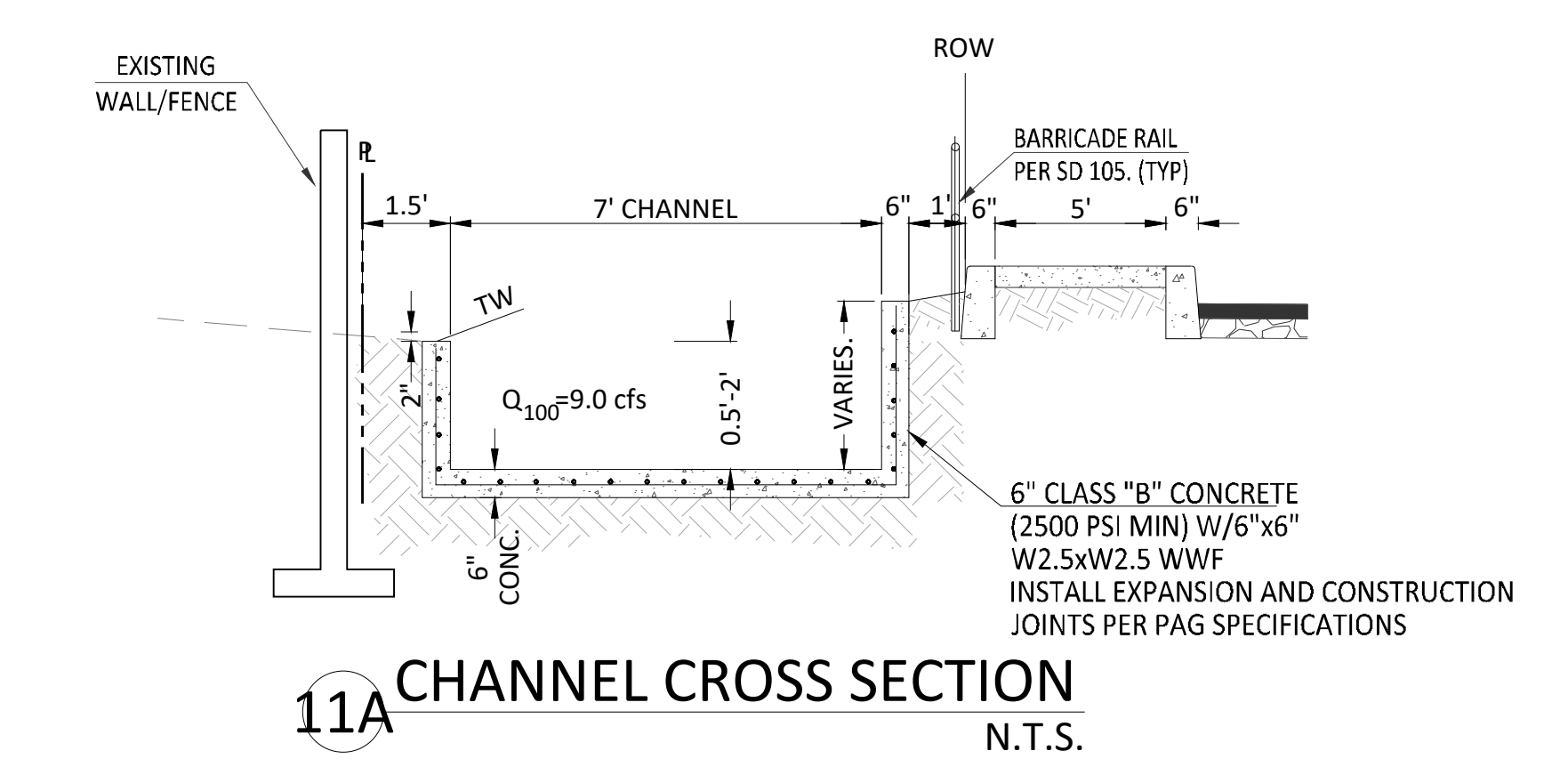
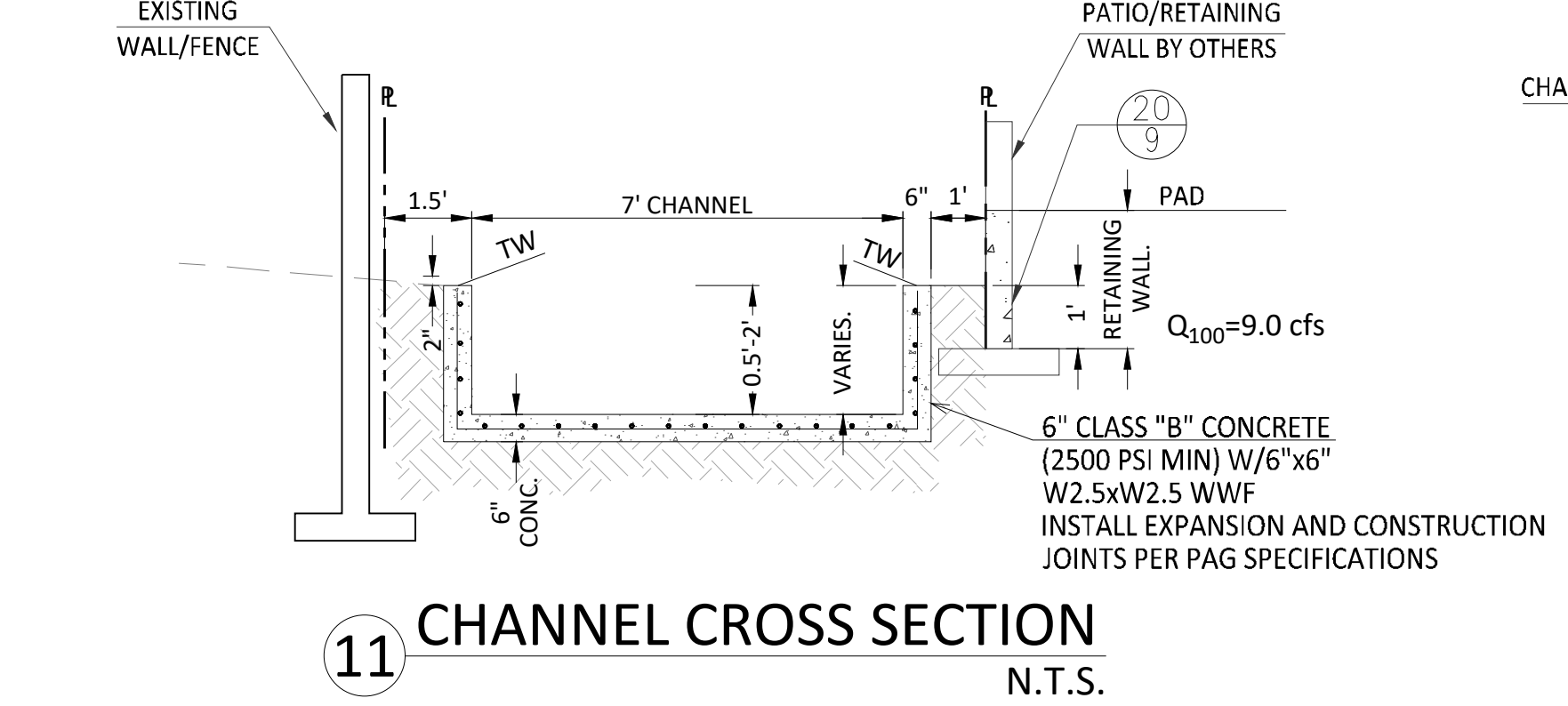
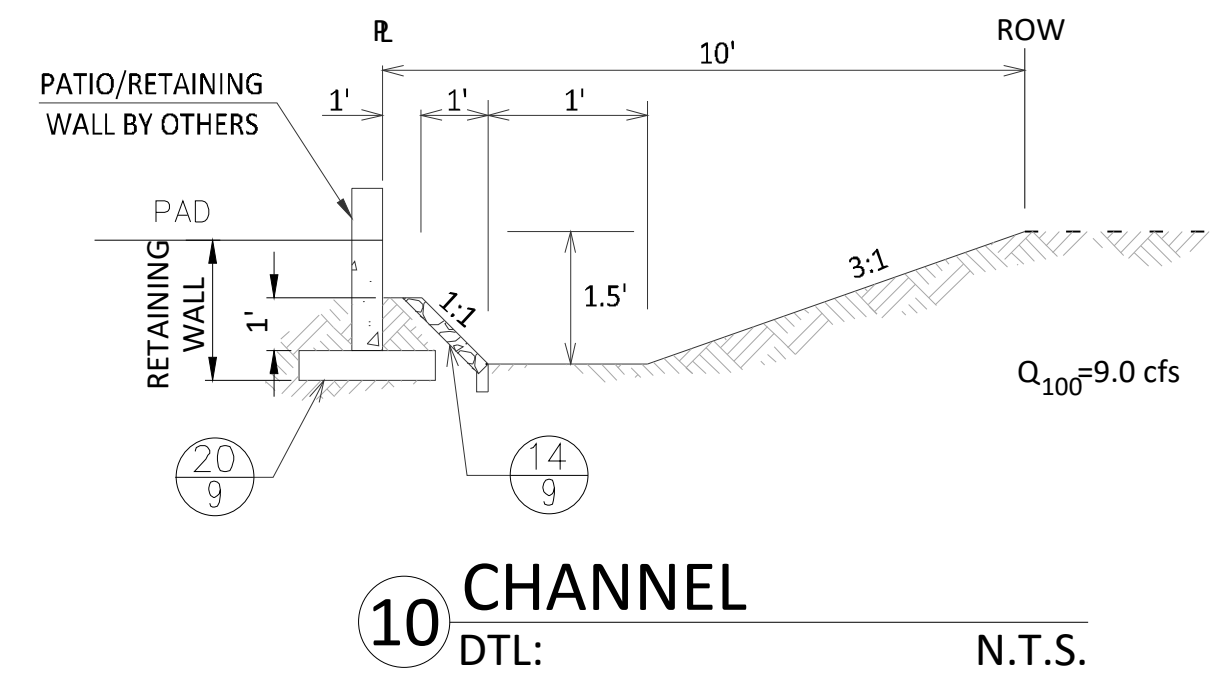
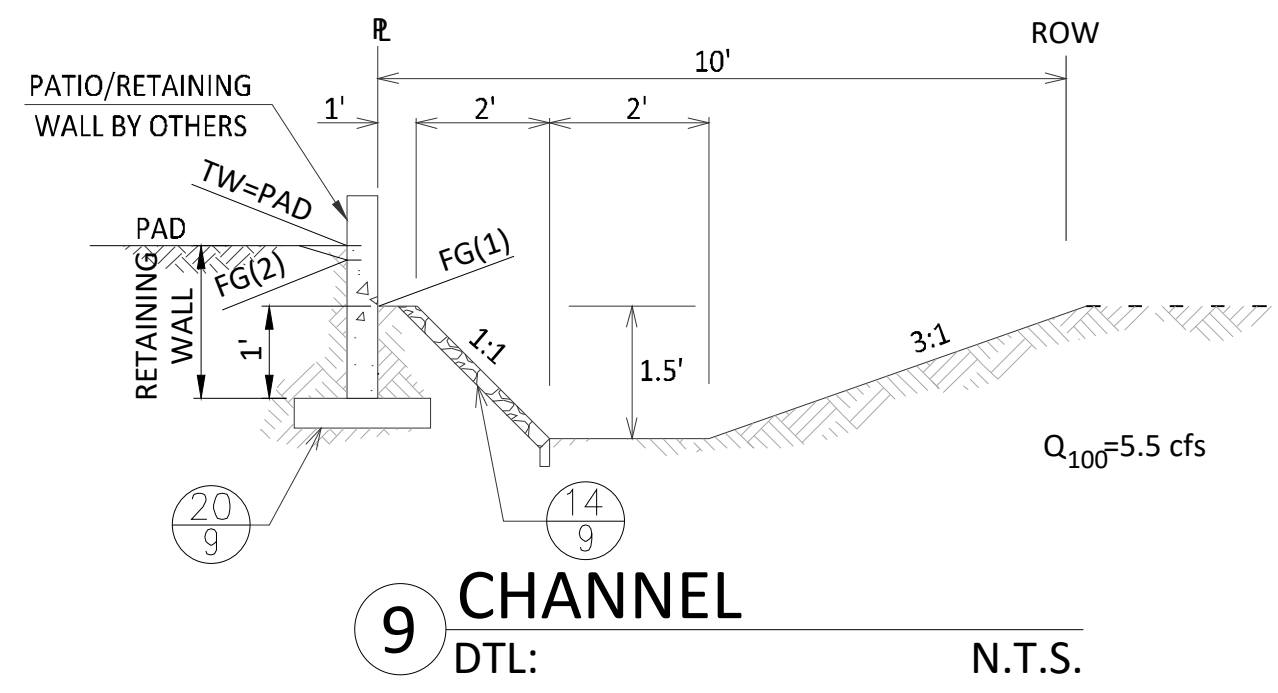
NO. DATE REVISION DESCRIPTION	BY	DEVELOPER
		HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATATUCSON.ORG
		SITE ADDRESS
		5400 S NOGALES HWY TUCSON, AZ 85706
		PROJECT NO: 5229

LEGAL DESCRIPTION:
BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO. 2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION
details

TD-DEV-0423-00197

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- PLANNING & DEVELOPMENT SERVICES
- Site/Dev Plan
 - Tentative Plat
 - Grading
 - SWPPP
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 - per letter in SIRE, Revision #
 - SCZ
 - ERZ
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 - WASH
 - Other

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CITY OF TUCSON LANDSCAPE GENERAL NOTES:

1. THIS PLAN IS IN CONFORMANCE WITH REQUIREMENTS OF THE CITY OF TUCSON UNIFIED DEVELOPMENT CODE (UDC), ARTICLE 7 DEVELOPMENT STANDARDS, SEC. 7.6 AND 7.7.
2. EXISTING ZONING IS: R-2
3. GROSS AREA OF THE SITE: 1.93 AC.
4. ANY STRUCTURES OR VEGETATION WITHIN SITE VISIBILITY TRIANGLES WILL CONFORM TO THE STREET TECHNICAL STANDARDS MANUAL SEC. 10-01, TO PROVIDE A WINDOW OF VISIBILITY FROM 30" TO 72" ABOVE GRADE. ALL VEGETATION WITHIN SVTs SHALL BE PRUNED AS NEEDED TO PROVIDE THE REQUIRED WINDOW OF VISIBILITY.
5. LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY OWNERS REPRESENTATIVE, PRIOR TO INSTALLATION.
6. IRRIGATION:
 - A) IRRIGATION SLEEVE FOR IRRIGATION SYSTEM SHALL BE PROVIDED.
 - B) ALL PLANTS ARE TO BE WATERED WITH AN AUTOMATIC UNDERGROUND DRIP IRRIGATION SYSTEM (EXCEPT FOR CACTI/AGAVES).
 - C) IRRIGATION SYSTEM TO USE POTABLE WATER.
 - D) THE NATIVE PLANT MATERIAL WILL BE IRRIGATED FOR 2 YEARS OR UNTIL ESTABLISHED.
7. MAINTENANCE: ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING IN ACCORDANCE WITH UDC SECTION 7.6.8.
8. NATIVE PLANT PRESERVATION AND MITIGATION: THIS PLAN CROSS-REFERENCES THE NATIVE PLANT PRESERVATION PLAN (NPPP), PREPARED BY RICK ENGINEERING CO. THIS LANDSCAPE PLAN IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE NPPP INCLUDING MITIGATION SPECIES AND QUANTITY AND PRESERVE-IN-PLACE REQUIREMENTS.
9. PLANT COVER/DUST CONTROL: ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEEDED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUND COVER TO HELP REDUCE DUST POLLUTION.
 - A) GROUND SURFACES IN PLANTING BEDS, PLANTERS, MEDIANS, OR TREE UNDERSTORY WITHIN A PROJECT AREA THAT ARE NOT COVERED WITH SHRUBS, ACCENT PLANTS, VINES, GROUND COVER, OR OTHER VEGETATION SHALL BE HYDROSEEDED.
10. PLANT SIZE, LOCATION AND SPACING:
 - A) TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFFSITE UTILITY SERVICE LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS TO AN ADJACENT PROPERTY AS DEFINED IN SECTION 11.4.20 OF THE UDC.
 - B) ALL SHRUBS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
11. CONTRACTOR SHALL VERIFY WITH OWNER'S PROJECT MANAGER THAT PLANS ARE CURRENT AND APPROVED.
12. WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF TUCSON MUNICIPAL CODES. WHENEVER SPECIAL REQUIREMENTS CONFLICT ON ANY MATTER, THE OWNER'S PROJECT MANAGER SHALL DETERMINE WHICH SPECIAL CONDITION OR CODE SHALL GOVERN.
13. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY AND/OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND/OR TAXES REQUIRED TO INSTALL THE WORK ON THE PLANS.
14. THE CONTRACTOR SHALL BE APPROPRIATELY LICENSED AS REQUIRED BY THE STATE OF ARIZONA.
15. CONTRACTOR SHALL NOTIFY THE OWNER'S PROJECT MANAGER IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES IN EXISTING CONDITIONS OR WITH THE PLANS PRIOR TO BEGINNING THE WORK.
16. UNIT PRICES FOR ALL IMPROVEMENTS SHALL BE ESTABLISHED AS A PART OF THE CONTRACT WITH THE OWNER'S PROJECT MANAGER PRIOR TO BEGINNING WORK, TO ACCOMMODATE ADDITIONS AND/OR DELETIONS OF MATERIAL AND/OR LABOR.
17. DETERMINATION OF "EQUAL" SUBSTITUTIONS SHALL BE MADE ONLY BY THE OWNER'S PROJECT MANAGER.
18. SITE OBSERVATION BY THE LANDSCAPE ARCHITECT DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS/HER PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND GOVERNING CODES.
19. THE CONTRACTOR SHALL PROVIDE FULL MAINTENANCE OF ALL LANDSCAPE AREAS AFTER INITIAL WRITTEN APPROVAL, SEE LANDSCAPE SPECIFICATIONS.
20. ALL EXISTING UTILITIES AND STRUCTURES REPORTED BY OWNERS OR OTHERS AND THOSE SHOWN ON RECORDS EXAMINED, ARE INDICATED ON THE PLAN WITH THEIR APPROXIMATE LOCATION AND EXTENT. UNDERGROUND FACILITIES MAY EXIST WHICH HAVE NOT BEEN REPORTED OR OF RECORD.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THOSE FACILITIES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER(S) OF THESE FACILITIES BEFORE STARTING WORK.

CAUTION: BEFORE EXCAVATING, VERIFY THE LOCATION OF UNDERGROUND UTILITIES. AT LEAST TWO (2) WORKING DAYS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL REQUEST MARK OUT OF UNDERGROUND UTILITIES BY CALLING BLUE STAKE AT 1-800-782-5348.

21. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS INCLUDES THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR ALSO AGREES TO DEFEND, INDEMNIFY AND HOLD THE OWNER AND HIS REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL AND/OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

NATIVE PLANT PRESERVATION NOTES

LOW VIABILITY CRITERIA

ONE OR MORE OF THE FOLLOWING CRITERIA WERE USED TO DETERMINE A LOW VIABILITY RATING:

- HEALTH: THE PLANT IS IN POOR HEALTH, GENERALLY THE RESULT OF SEVERE DISEASE OR LACK OF WATER OVER TIME.
- AGE: THE PLANT IS OLD AND IN A STATE OF DECLINE SUGGESTING A LOW PROBABILITY OF LONG AND CONTINUING SURVIVAL.
- FORM: THE PLANT FORM AND CHARACTER IS SEVERELY DAMAGED. FOR TREES, THIS MAY INCLUDE LARGE, OLD, DEAD TRUNKS AND BRANCHES OR A WEAK BRANCHING HABIT.

LOW TRANSPLANTABILITY CRITERIA

THE FOLLOWING CRITERIA WERE CONSIDERED IN DETERMINING A LOW TRANSPLANTABILITY RATING:

- GENUS AND SPECIES: HAS A LOW SURVIVAL RATE FOR RE-ESTABLISHMENT AFTER TRANSPLANT.
- SIZE: OVERALL PLANT DIMENSIONS ARE NOT SUITABLE FOR TRANSPLANTING BASED UPON THE GENUS AND SPECIES.
- SOILS: TOO ROCKY, SANDY OR SHALLOW TO EXCAVATE A COHESIVE ROOTBALL SYSTEM.
- TOPOGRAPHY: SERIOUSLY LIMITS ACCESS TO THE SPECIMEN BY THE APPROPRIATE SALVAGE AND TRANSPLANTING EQUIPMENT.
- CONTEXT: ADJACENT PLANTS INTERFERE WITH REMOVAL OR PRESENT LIKELY CONFLICTS WITH THE ROOTBALL SYSTEM.

ANALYSIS

AFTER DETERMINING PLANT VIABILITY AND TRANSPLANTABILITY STATUS USING THE CRITERIA OUTLINED ABOVE, SOME OR ALL OF THE FOLLOWING FACTORS CONTRIBUTED TO A DETERMINATION OF WHETHER SPECIFIC PLANT SPECIMENS WERE BEST SUITED FOR PRESERVATION-IN-PLACE, TRANSPLANT-ON-SITE, REMOVAL FROM SITE, OR DESTRUCTION: HEALTH, VIGOR, WILDLIFE VALUE, ENVIRONMENTAL VALUE, EROSION CONTROL, SOIL STRUCTURE, BEDROCK DEPTH, SLOPE, DENSITY AND CONTINUITY OF SURROUNDING VEGETATION.

SALVAGE AND MITIGATION REPORT

CALCULATIONS: THE MITIGATION CALCULATION TABLE ON THIS SHEET OUTLINES THE MINIMUM STANDARDS, PRESERVATION CREDITS, AND MITIGATION REQUIREMENTS OF THE NATIVE PLANT PRESERVATION ORDINANCE UTILIZING THE PLANT INVENTORY METHODOLOGY. CALCULATIONS SHOWN IN THE TABLE WERE DETERMINED THROUGH THE USE OF THE NATIVE PLANT PRESERVATION WORKSHEET(S) PROVIDED IN THE DEVELOPMENT STANDARD.

- PRE-PERMIT INSPECTION
AN INITIAL INSPECTION BY CITY OF TUCSON (COT) STAFF WILL BE PREFORMED ONCE THE TAGGING AND/OR FENCING OF UNDISTURBED NATURAL AREAS HAS BEEN COMPLETED AND AN INSPECTION REQUEST HAS BEEN RECEIVED BY THE CITY STAFF.
- TAGGING AND FLAGGING PROCEDURES
VIALE NATIVE PLANTS HAVE BEEN TAGGED WITH PLANT INVENTORY NUMBER COLOR-CODED, AND CROSS REFERENCED TO THE INVENTORY LIST AND AERIAL PHOTOGRAPH PER THE FOLLOWING SCHEDULE:
 - WHITE FLAGGING FOR PLANTS PROPOSED FOR PRESERVATION-IN-PLACE,
 - BLUE FLAGGING FOR PLANTS PROPOSED FOR TRANSPLANT-ON-SITE,
 - YELLOW FLAGGING FOR PLANTS PROPOSED FOR REMOVAL FROM SITE.
- COLOR-CODED FLAGGING LEGEND
CONTRACTOR SHALL CREATE A COLOR-CODED FLAGGING LEGEND THAT WILL BE GIVEN TO EACH CONSTRUCTION CREW SUPERVISOR AND WILL BE DISPLAYED ON A POSTER IN THREE PROMINENT LOCATIONS ON THE PROJECT SITE FOR VIEWING BY THE PUBLIC AND CONSTRUCTION CREW PERSONNEL.

RECOMMENDED LANDSCAPE MAINTENANCE

- TREE PRUNING: TREES SHOULD BE PRUNED ANNUALLY TO HELP BALANCE CROWN MASS WITH ROOT MASS IN ORDER TO AID IN PREVENTING BLOW OVER; ANNUAL TREE PRUNING SHOULD ALSO BE PERFORMED TO PROMOTE PROPER BRANCH STRUCTURE. TREES SHOULD BE PRUNED AS NEEDED TO ELIMINATE LOW HANGING BRANCHES OVER WALKS OR DRIVE AISLES.
- SHRUB PRUNING: SHRUBS SHOULD BE PRUNED AS NEEDED TO ELIMINATE OVERHANG ONTO WALKS OR DRIVE AISLES. SHEARING OF SHRUBS IS DISCOURAGED.
- PLANT REPLACEMENT: DEAD TREES AND SHRUBS SHOULD BE REPLACED WITH LIKE SPECIES AS NEEDED ON AN ANNUAL BASIS. MINIMUM REPLACEMENT TREE SIZE SHALL BE 15 GALLON. MINIMUM SHRUB REPLACEMENT SIZE SHALL BE 5 GALLON.
- INERT GROUNDCOVER UPKEEP: INERT GROUNDCOVER SHOULD BE MAINTAINED AT THE SPECIFIED 2" DEPTH. IT IS RECOMMENDED THAT COVERAGE BE REVIEWED ON AN ANNUAL BASIS AND THAT INERT GROUNDCOVER BE REPLENISHED WITH LIKE SIZE AND COLOR AS NEEDED TO ACHIEVE COMPLETE COVERAGE AT 2" DEPTH IN AREAS WHERE INERT GROUNDCOVER HAS BEEN SPECIFIED ON THE LANDSCAPE PLAN.
- EXTERIOR HARDSCAPE MATERIALS: IT IS RECOMMENDED THAT PEDESTRIAN ORIENTED HARDSCAPE AREAS BE KEPT LITTER FREE AND CLEAN TO THE DEGREE PRACTICAL. HARDSCAPE AREAS THAT ARE DAMAGED TO THE EXTENT THAT THEY POSE TRIPPING HAZARDS SHOULD BE REPAIRED IMMEDIATELY.
- IRRIGATION SYSTEM: THE IRRIGATION SYSTEM SHOULD BE INSPECTED ON A MONTHLY BASIS AT A MINIMUM TO CHECK FOR BREAKS, LEAKS, AND MISSING OR MALFUNCTIONING EQUIPMENT. BREAKS OR LEAKS SHOULD BE REPAIRED IMMEDIATELY. REPAIRS OF MISSING OR MALFUNCTIONING EQUIPMENT SHOULD BE PERFORMED IN A TIMELY MANNER SUCH THAT PLANT HEALTH DOES NOT SUFFER. IT IS RECOMMENDED THAT WATERING SCHEDULES BE ADJUSTED MONTHLY BASED ON SEASON AND WEATHER CONDITIONS.



- | | |
|---|---|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input checked="" type="checkbox"/> Tentative Plat | <input type="checkbox"/> ERZ |
| <input checked="" type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input checked="" type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input checked="" type="checkbox"/> Other |
| <input type="checkbox"/> per letter in SIRE, Revision # ___ | |

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				SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706
		 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver		LEGAL DESCRIPTION: BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO.2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA
PROJECT NO: T5229				TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION landscape cover sheet



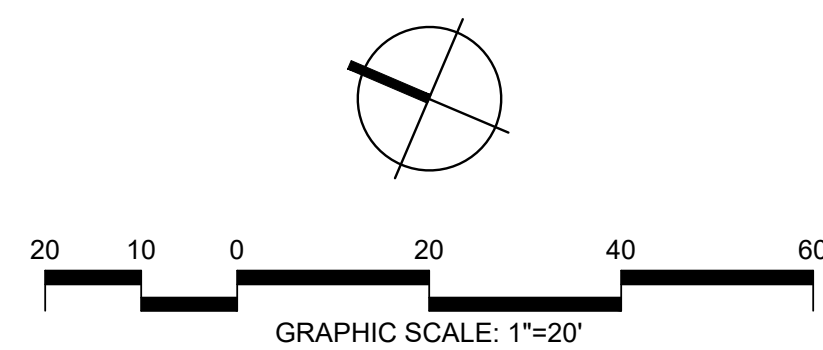
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INVENTORY KEY

- SPECIMENS TO BE PROTECTED IN PLACE (PIP)
- SPECIMENS TO TRANSPLANTED ON SITE (TOS)
- ✕ SPECIMENS TO BE REMOVED FROM SITE / DESTROYED (RFS)



MITIGATION CALCULATIONS

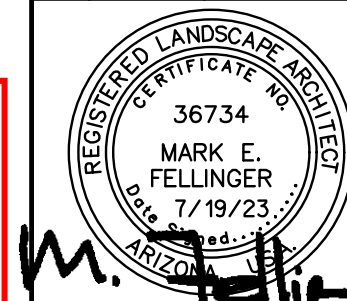
TREES									MITIGATION CALCULATIONS						
BOTANICAL NAME	COMMON NAME	# INVENTORIED	# VIABLE	% VIABLE	# PIP	# TOS	# RFS	% PIP/TOS	REQ'D. MITIGATION			PIP CREDITS			MITIGATION TOTAL
									TOS	RFS	TTL.	6"-12"	>12"	TTL.	
CERCIDIUM FLORIDUM	BLUE PALO VERDE	2	2	100%	0	1	1	50%	2	3	5	0	0	0	5
ACACIA CONSTRICTA	WHITETHRON ACACIA	8	0	0%	0	0	0	0%	0	0	0	0	0	0	0
PROSOPIS VELUTINA	VELVET MESQUITE	38	10	26%	2	1	7	30%	2	21	23	0	0	0	23

SHRUBS, SUCCULENTS & OTHER CACTI									MITIGATION CALCULATIONS						
BOTANICAL NAME	COMMON NAME	# INVENTORIED	# VIABLE	% VIABLE	# PIP	# TOS	# RFS	% PIP/TOS	REQ'D. MITIGATION			PIP CREDITS			MITIGATION TOTAL
									TOS	RFS	TTL.	6"-12"	> 4"	TTL.	
FEROCACTUS SPP.	BARREL CACTUS	6	4	67%	0	4	0	100%	4	0	4	0	0	0	4

CDRC Approved
Development Package
 RParson1
 09/12/2023
 PLANNING & DEVELOPMENT SERVICES

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RICK
 ENGINEERING COMPANY
 3945 E FORT LOWELL ROAD - STE #111
 TUCSON, AZ 85712
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 rickengineering.com

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native plant preservation plan



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INVENTORY TABLES

FERROCACTUS WISLIZENII

#	SYMBOL	CALIPER	VIABILITY	LOW VIABILITY JUST.	TRANS-PLANTABILITY	LOW TRANSPLANT. JUST.	DISPOSITION
2	PV	10	Medium	-	Low	Context	RFS
3	PV	16	Medium	-	Low	Context	RFS
4	PV	6	Medium	-	Medium	-	RFS
6	PV	11	Medium	-	Low	Context	RFS
7	PV	12	Low	Form	Low	Context	PIP
8	PV	10	Low	Form	Low	Context	PIP
9	PV	8	Medium	-	Medium	-	RFS
10	PV	12	Low	Health	Low	Context	RFS
11	PV	7	Low	Health	Medium	-	RFS
12	PV	13	Medium	-	Low	Context	RFS
13	PV	8	Low	Health	Medium	-	RFS
18	PV	14	Low	Form	Low	Context	RFS
20	PV	12	Low	Health	Low	Context	RFS
21	PV	12	Low	Health	Low	Context	RFS
23	PV	10	Low	Health	Low	Context	RFS
24	PV	6	Low	Health	Medium	-	RFS
26	PV	8	Low	Form	Low	Context	RFS
27	PV	5	Low	Health	Medium	-	RFS
28	PV	10	Low	Health	Low	Context	RFS
30	PV	4	Low	Health	Medium	-	RFS
31	PV	5	Low	Health	Medium	-	RFS
32	PV	6	Low	Health	Medium	-	RFS
33	PV	5	Low	Health	Medium	-	RFS
34	PV	6	Low	Health	Low	Context	RFS
36	PV	6	Medium	-	Medium	-	PIP
37	PV	7	Low	Health	Medium	-	PIP
39	PV	7	Medium	-	Medium	-	PIP
43	PV	4	Low	Health	Medium	-	RFS
44	PV	4	Low	Health	Medium	-	RFS
45	PV	6	Low	Health	Medium	-	RFS
46	PV	12	Low	Form	Low	Context	RFS
47	PV	6	Low	Form	Low	Context	RFS
48	PV	4	Medium	-	Medium	-	TOS
49	PV	20	Low	Health	Low	Context	PIP
50	PV	24	Medium	-	Low	Context	RFS
52	PV	14	Low	Form	Low	Context	RFS
53	PV	8	Low	Form	Low	Context	RFS
55	PV	5	Low	Health	Medium	-	RFS

CERCIDIUM FLORIDUM

#	SYMBOL	CALIPER	VIABILITY	LOW VIABILITY JUST.	TRANS-PLANTABILITY	LOW TRANSPLANT. JUST.	DISPOSITION
1	CF	7	Medium	-	Medium	-	TOS
5	CF	20	Medium	-	Low	Context	RFS

PROSOPIS VELUTINA

#	SYMBOL	CALIPER	VIABILITY	LOW VIABILITY JUST.	TRANS-PLANTABILITY	LOW TRANSPLANT. JUST.	DISPOSITION
14	FW	3	Medium	-	Medium	-	TOS
15	FW	3	Low	Health	Medium	-	RFS
16	FW	3	Low	Health	Medium	-	RFS
17	FW	1	Medium	-	Medium	-	TOS
22	FW	2	Medium	-	Medium	-	TOS
29	FW	4	Medium	-	Medium	-	TOS

ACACIA CONSTRICTA

#	SYMBOL	CALIPER	VIABILITY	LOW VIABILITY JUST.	TRANS-PLANTABILITY	LOW TRANSPLANT. JUST.	DISPOSITION
19	AC	8	Low	Health	Medium	-	RFS
35	AC	5	Low	Form	Low	Context	RFS
38	AC	10	Low	Health	Low	Context	PIP
40	AC	10	Low	Health	Low	Context	PIP
41	AC	10	Low	Health	Low	Context	PIP
42	AC	10	Low	Health	Low	Context	PIP
51	AC	10	Low	Health	Low	Context	PIP
54	AC	8	Low	Health	Medium	-	RFS



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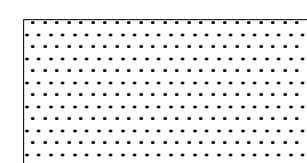
RICK ENGINEERING LANDSCAPE GENERAL NOTES:

- A. ANY CHANGES MADE TO THE PLANS AND DETAILS SHOWN ON THESE DOCUMENTS WHICH ARE NOT APPROVED BY THE LANDSCAPE ARCHITECT RELEASES RICK ENGINEERING OF ANY LIABILITY INCURRED AS A RESULT OF SAID CHANGES.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE JOB SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS OR SPECIFICATIONS PRIOR TO SUBMITTING A BID. BEFORE BEGINNING WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE PLANS TO THE SITE CONDITIONS AND SHALL REPORT ALL DISCREPANCIES TO THE OWNERS REPRESENTATIVE. WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.
- C. IF ANY UTILITIES CONFLICT WITH THE ORIGINAL PLACEMENT OF INTENDED PLANT MATERIAL ON SITE, THE LANDSCAPE ARCHITECT WILL AID THE CONTRACTOR IN THE RELOCATION OR SHIFTING OF PLANT MATERIAL ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE THERETO. ALL UTILITIES SHALL BE LOCATED AND VERIFIED PRIOR TO ANY EXCAVATION. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG (811) TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THIS WORK, AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE WORK.
- D. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PREMISES. THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL PERMITS REQUIRED TO COMPLETE THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING CONSTRUCTION AND SHALL ACQUIRE A DUST CONTROL PERMIT IF REQUIRED FROM THE APPLICABLE LOCAL AGENCY. ALL COSTS ASSOCIATED WITH DUST CONTROL AND PERMITS IS CONSIDERED INCIDENTAL TO THE PROJECT.
- F. LANDSCAPE CONTRACTOR SHALL PROVIDE FINISH GRADING AND REMOVAL OF DEBRIS IN PLANTING AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. NO GRADING IS ALLOWED WITHIN DRIP LINE OF EXISTING TREES.
- G. CONTRACTOR SHALL OBTAIN A COPY OF AND REVIEW THE GEOTECHNICAL SOILS REPORT IF APPLICABLE TO THIS PROJECT.
- H. CONTRACTOR SHALL OBTAIN AND REVIEW A SOILS AGRONOMY TEST PRIOR TO BEGINNING CONSTRUCTION, AND SHALL ABIDE BY IT TOWARDS THE COMPLETION OF THIS WORK. ANY DISCREPANCIES BETWEEN THE REPORT AND THESE PLANS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.
- I. PRIOR TO PLANTING, THE CONTRACTOR SHALL PERFORM ONE (1) PERCOLATION TEST PER 10,000 SQUARE FEET OF PLANTING AREA. THE CONTRACTOR SHALL FILL A 24" BOX SIZE HOLE WITH WATER, IF IT DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE. TEST SHALL BE DONE UNDER THE SUPERVISION OF THE OWNERS REPRESENTATIVE. IF PROPER DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS CONTRACTOR WILL BE REQUIRED TO INSTALL DRAINAGE CHIMNEYS IN PLANT PITS PER PLANTING DETAILS.
- J. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE THOROUGHLY SOAKED.
- K. WHEN CALICHE OR HARD PAN IS ENCOUNTERED DURING PLANT PIT EXCAVATION: IF IMPERVIOUS LAYER IS LESS THAN 6" THICK, REMOVE COMPLETELY FROM PLANTING PIT. IF LAYER IS 6"-18" THICK, AUGER A HOLE THROUGH THE LAYER PER PLANTING DETAILS. IF LAYER IS GREATER THAN 18" THICK, ENLARGE THE PLANTING PIT TO TWICE THAT (IN EACH DIRECTION) CALLED OUT IN PLANTING DETAILS.
- L. CONTRACTOR SHALL VERIFY ROCK AND SOIL CONDITIONS WITHIN THE PROJECT SITE PRIOR TO BIDDING. NO EXTRA PAYMENT OR TIME EXTENSION WILL BE GIVEN DUE TO ROCKY SOIL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTIONS AND CHECKING SOIL BORING LOGS TO DETERMINE SUBSURFACE CONDITIONS PRIOR TO BIDDING.
- M. ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' FEET OF WALLS, WALKWAYS, STREETS, CURBS AND OTHER HARDSCAPE AREAS. ROOT BARRIER TO EXTEND A MINIMUM OF 5' IN EACH DIRECTION FROM THE CENTERLINE OF THE TREE UNLESS OTHERWISE NOTED ON THE PLANS.
- N. ALL PLANT MATERIALS SHALL CONFORM TO NURSERY STANDARDS ACCORDING TO AMERICAN ASSOCIATION OF NURSERYMEN INC. DENVER AMERICAN HORTICULTURE STANDARD AND SHALL BE FREE FROM PESTS, EGGS, DISEASES AND TO BE REPRESENTATIVE OF SPECIES IN SIZE, QUALITY, FORM, COLOR AND NOT BE ROOT BOUND, DAMAGED OR SUBSTANDARD IN ANY WAY. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. REMOVE NURSERY STAKES AND TIES FROM ALL CONTAINER STOCK.
- O. 10% OF EACH PLANT MATERIAL SPECIES SHALL BE TAGGED WITH BOTANICAL NAME FROM NURSERY OR SUPPLIER; TAGS TO REMAIN ON PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- P. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS WITHOUT PRIOR APPROVAL FROM THE OWNERS REPRESENTATIVE.
- Q. TREAT ALL ROCK MULCH AREAS WITH PRE-EMERGENT HERBICIDE ONCE BEFORE THE ROCK MULCH INSTALLATION AND ONCE AFTER THE ROCK MULCH INSTALLATION.
- R. TRANSPORTATION AND NURSERY STAKES SHALL BE REMOVED AT INSTALLATION. INSTALL NEW TREE STAKES AS DETAILED.
- S. THE PLANTING PLAN IS DIAGRAMMATIC. THE QUANTITIES AND SITE CONDITIONS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
- T. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE PER THE PROJECT SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLANS. MAINTENANCE SHALL BEGIN UPON WALK FOR LANDSCAPE MAINTENANCE AND GUARANTEE PERIOD. MAINTENANCE SHALL CONSIST OF BUT NOT BE LIMITED TO KEEPING AREAS CLEAN, WEED FREE, TRIMMED, WATERED, RAKED, PEST AND DISEASE FREE AND ALL OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS GROWTH AND CLEAN APPEARANCE. PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD, CONTRACTOR SHALL SUBMIT A WATERING/MAINTENANCE SCHEDULE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
- U. LANDSCAPE CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL FOUND TO BE IN AN UNHEALTHY, DAMAGED, IMPAIRED CONDITION, MISSING OR DEAD DURING THE MAINTENANCE PERIOD.
- V. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ANY DEBRIS RESULTING FROM THE CONSTRUCTION. AT NO TIME SHALL ANY OF THIS MATERIAL OBSTRUCT THE NORMAL OPERATION OF ANY ADJOINING STREET ASSOCIATED WITH THIS PROJECT.
- W. THE JOB SITE AT THE COMPLETION OF THE CONSTRUCTION SHALL BE CLEANED OF AN DEBRIS RESULTING FROM CONSTRUCTION. NO JOB WILL BE CONSIDERED UNTIL ALL CURBS, GUTTERS, AND PAVEMENT HAVE BEEN SWEEPED CLEAN OF ALL DIRT AND DEBRIS AND ARE IN COMPLIANCE WITH THE AGENCY SPECIFICATIONS.
- X. THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PORTION OF ANY EXISTING CURBS, GUTTERS, PAVEMENTS, FENCING, WALLS, LIGHTING AND SURROUNDING AREAS THAT ARE NOT NOTED ON THE PLANS TO BE DISTURBED ARE TO BE REPAIRED AT THE CONTRACTORS EXPENSE.
- Y. FINAL ACCEPTANCE: A FINAL SITE WALK INSPECTION BY OWNERS REPRESENTATIVE IS REQUIRED AT THE END OF THE LANDSCAPE MAINTENANCE PERIOD PRIOR TO FINAL PROJECT ACCEPTANCE BY THE OWNER.

PLANT MATERIAL LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	SIZE	H x W (CALIPER)
	CHIOLOPSIS LINEARIS DESERT WILLOW	3	15 GAL.	6' x 2' (.75")
	PARKINSONIA FLORIDA BLUE PALO VERDE	5	15 GAL.	6' x 2' (.75")
	PARKINSONIA FLORIDA BLUE PALO VERDE	1	-	TRANSPLANT PER NPPP
	PROSOPIS VELUTINA VELVET MESQUITE	23	15 GAL.	5.5' x 3' (.5")
	PROSOPIS VELUTINA VELVET MESQUITE	1	-	TRANSPLANT PER NPPP

DECORATIVE ROCK



A MIN. 2" DEPTH LAYER OF DECORATIVE ROCK SHALL BE PLACED IN ALL PLANTING AREAS INDICATED ON THE PLANS. DO NOT PLACE DECORATIVE ROCK IN BASIN BOTTOMS. SIZE SHALL BE 3/4" SCREENED. COLOR SHALL BE 'DESERT GOLD' AS LOCALLY AVAILABLE, OR AS APPROVED BY OWNER.

LANDSCAPE BOULDER SCHEDULE

BOULDERS SHALL BE PIT RUN 'APACHE BROWN' AS AVAILABLE THROUGH KALAMAZOO MATERIALS, OR AS APPROVED BY OWNER.

W x H x L	QTY.
3' x 3' x 3'	3
2' x 2' x 2'	11

PLANT MATERIAL LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	SIZE
	AGAVE 'BLUE ELF' BLUE ELF AGAVE	17	5 GAL.
	CALLIANDRA ERIOPHYLLA FAIRY DUSTER	15	5 GAL.
	CORDIA PARVIFOLIA LITTLE-LEAF CORDIA	5	5 GAL.
	DALEA GREGGII TRAILING INDIGO BUSH	12	5 GAL.
	DASYLIRION WHEELERI DESERT SPOON	22	5 GAL.
	ENCELIA FARINOSA BRITTLE BUSH	12	5 GAL.
	EUPHORBIA RIGIDA GOPHER PLANT	16	5 GAL.
	FEROCACTUS WISLIZENII BARREL CACTUS	4	5 GAL.
	FEROCACTUS WISLIZENII BARREL CACTUS	4	TRANSPLANT PER NPPP
	HESPERALOE PARVIFLORA RED YUCCA	18	5 GAL.
	LANTANA 'NEW GOLD' GOLD MOUND LANTANA	9	1 GAL.
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER	32	5 GAL.
	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN RAIN SAGE	15	5 GAL.
	MUHLENBERGIA 'AUTUMN GLOW' AUTUMN GLOW DEER GRASS	19	5 GAL.
	SENNA NEMOPHILA DESERT SENNA	6	5 GAL.

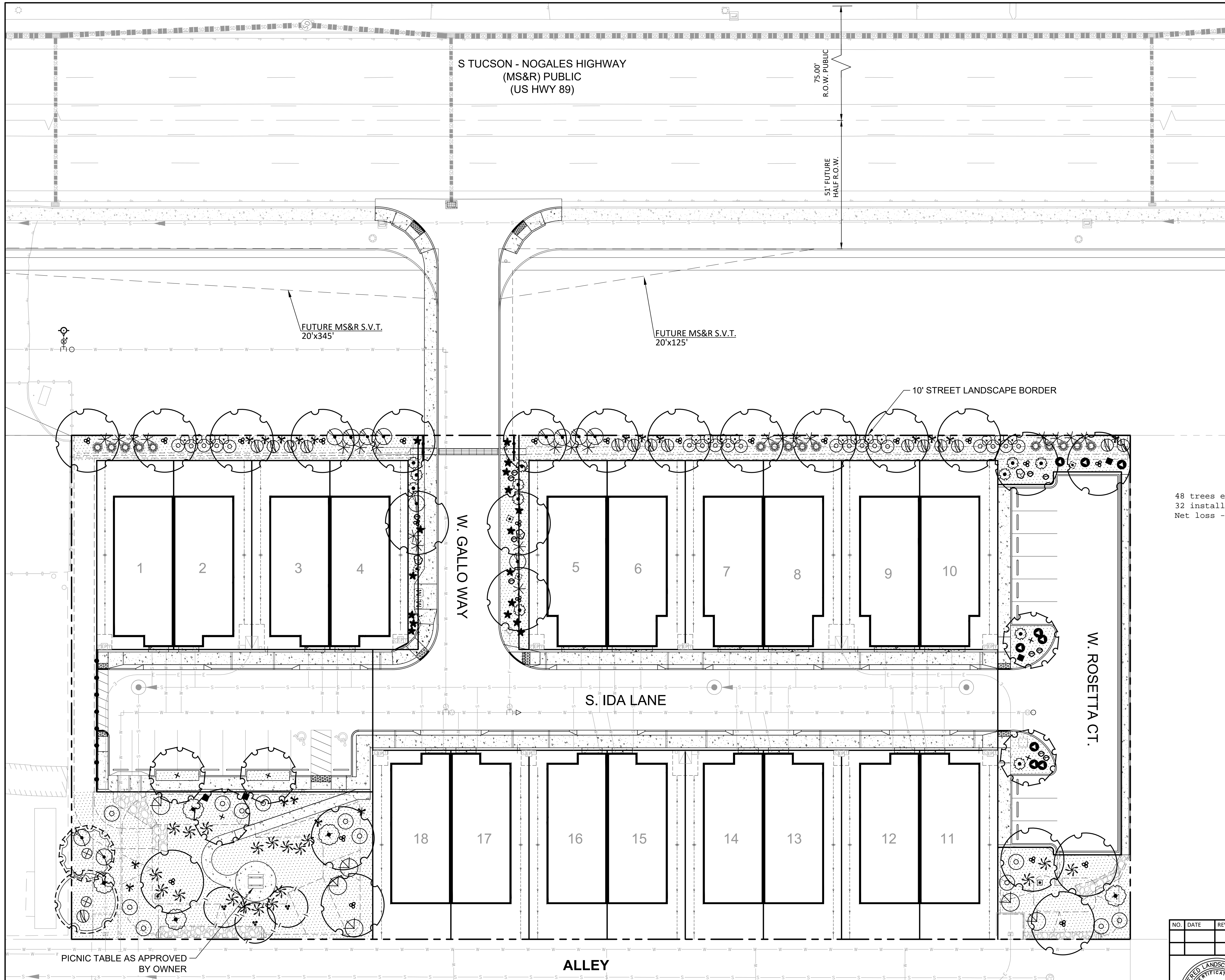


- PLANNING & DEVELOPMENT SERVICES
- Site/Dev Plan
 - SCZ
 - Tentative Plat
 - ERZ
 - Grading
 - HDZ
 - SWPPP
 - WASH
 - FUP
 - Other
 - per letter in SIRE, Revision # ___

NO. DATE REVISION DESCRIPTION BY DEVELOPER HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATTUCSON.ORG	
	RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver PROJECT NO: T5229
SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706	
LEGAL DESCRIPTION: BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO. 2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA	
TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION landscape plan	

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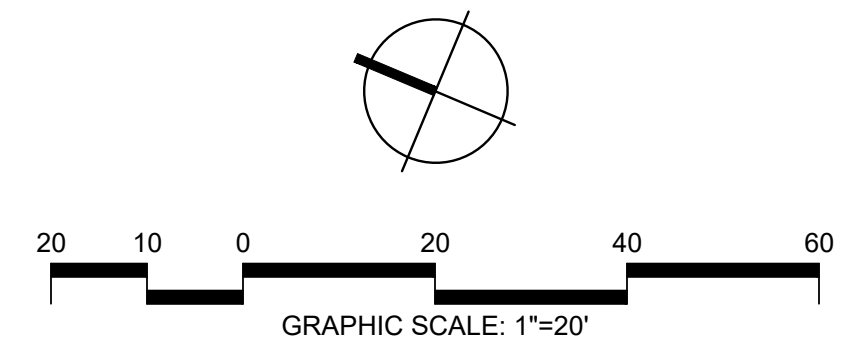
PLANT MATERIAL LEGEND

- DESERT WILLOW
- BLUE PALO VERDE
- BLUE PALO VERDE TRANSPLANT PER NPPP
- VELVET MESQUITE
- VELVET MESQUITE TRANSPLANT PER NPPP
- BLUE ELF AGAVE
- FAIRY DUSTER
- LITTLE-LEAF CORDIA
- TRAILING INDIGO BUSH
- DESERT SPOON
- BRITTLE BUSH
- GOPHER PLANT
- BARREL CACTUS
- BARREL CACTUS TRANSPLANT PER NPPP
- RED YUCCA
- GOLD MOUND LANTANA
- TEXAS RANGER
- CHIHUAHUAN RAIN SAGE
- AUTUMN GLOW DEER GRASS
- DESERT SENNA

48 trees existing on site
32 installed
Net loss - 6

CDRC Approved Development Package
RParson1
09/12/2023
PLANNING & DEVELOPMENT SERVICES

- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- per letter in SIRE, Revision #
- SCZ
- ERZ
- HDZ
- WASH
- Other



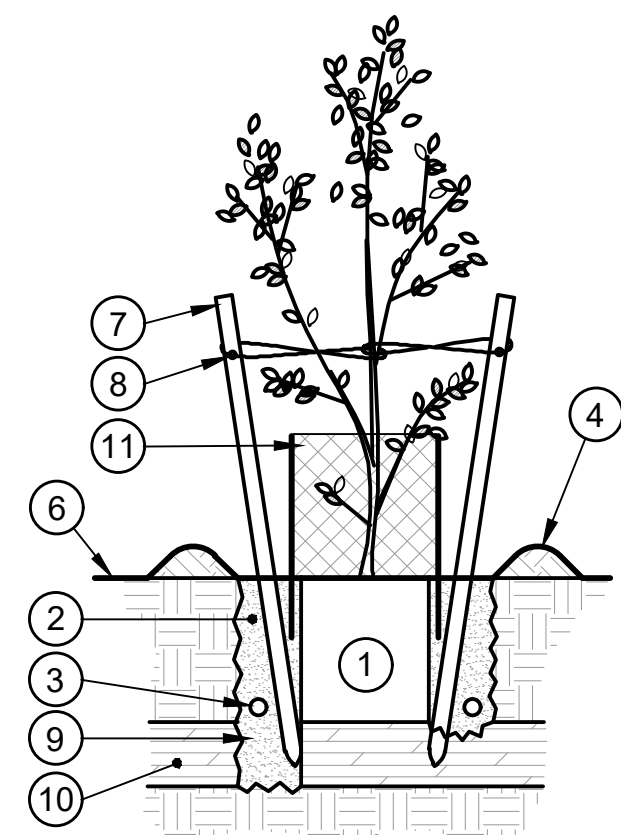
LANDSCAPE BORDER TABLE

BORDER	LENGTH (L.F.)	TREES REQ'D.	TREES PROVIDED	GROUNDCOVER REQ'D.	GROUNDCOVER PROVIDED	SCREEN REQ'D.	SCREEN PROVIDED
EAST	390	12	12	50%	50%	N/A	5' PATIO WALL
WEST	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NORTH	N/A	N/A	N/A	N/A	N/A	N/A	N/A
SOUTH	N/A	N/A	N/A	N/A	N/A	N/A	N/A

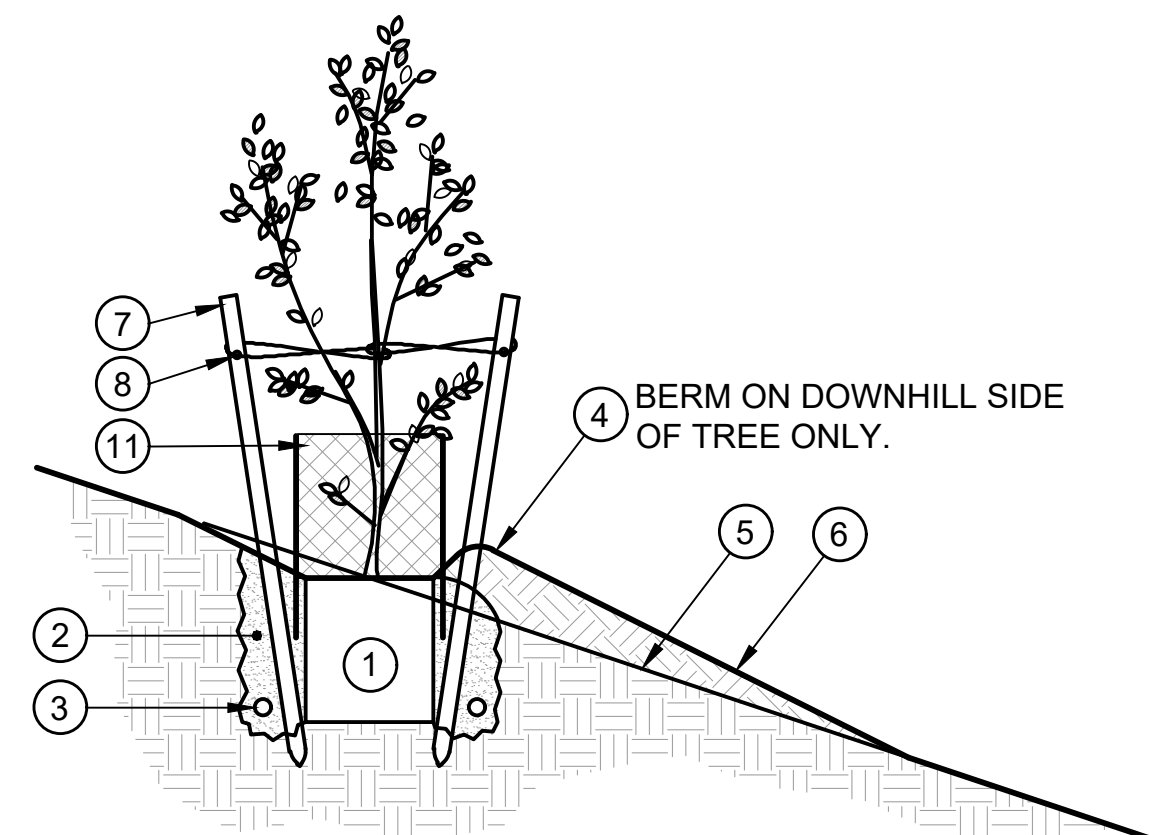
		<p>RICK ENGINEERING COMPANY 3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com</p>	
<p>NO. DATE REVISION DESCRIPTION</p>		<p>BY DEVELOPER HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATTUCSON.ORG</p>	
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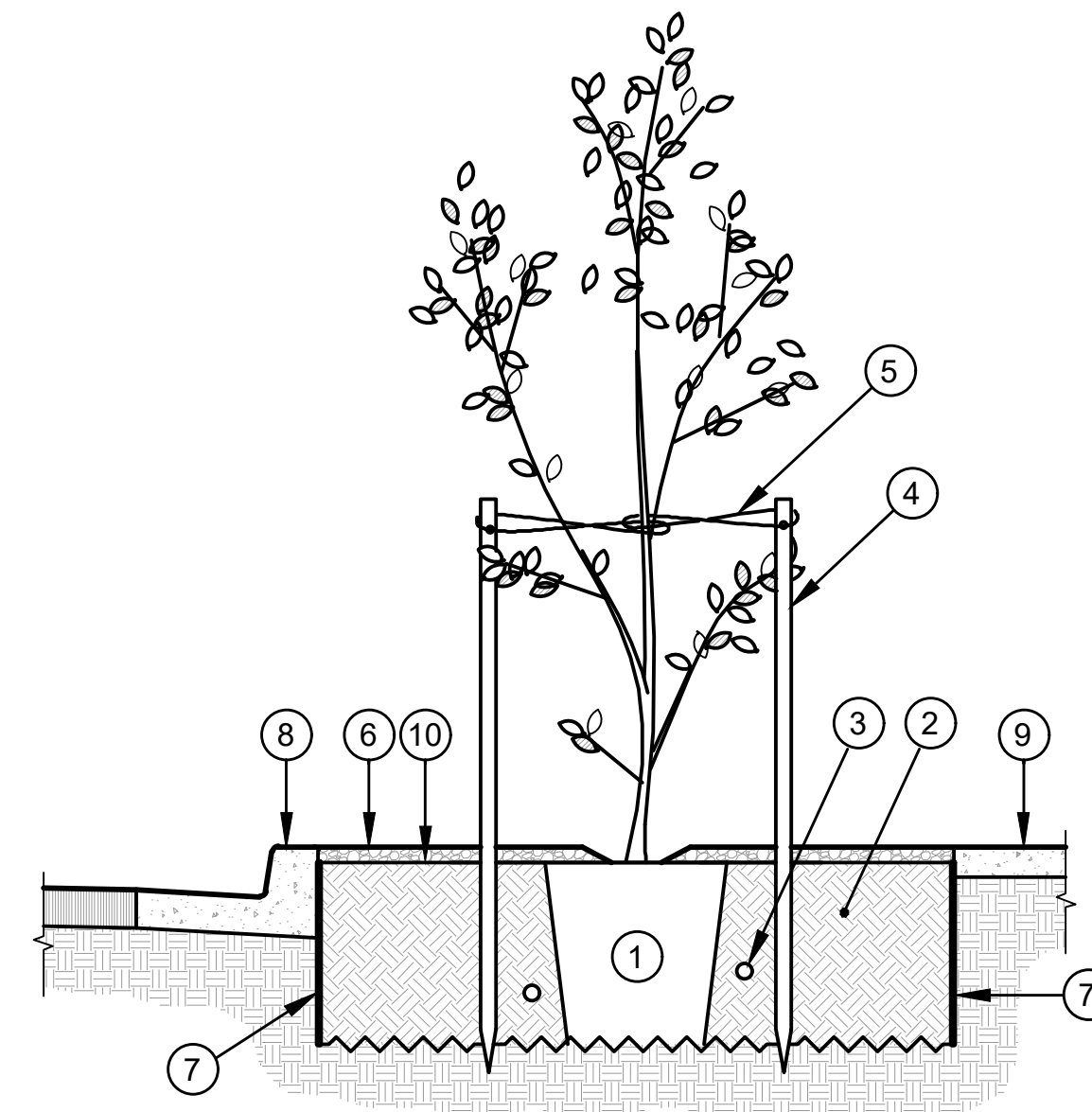


LEVEL CONDITION

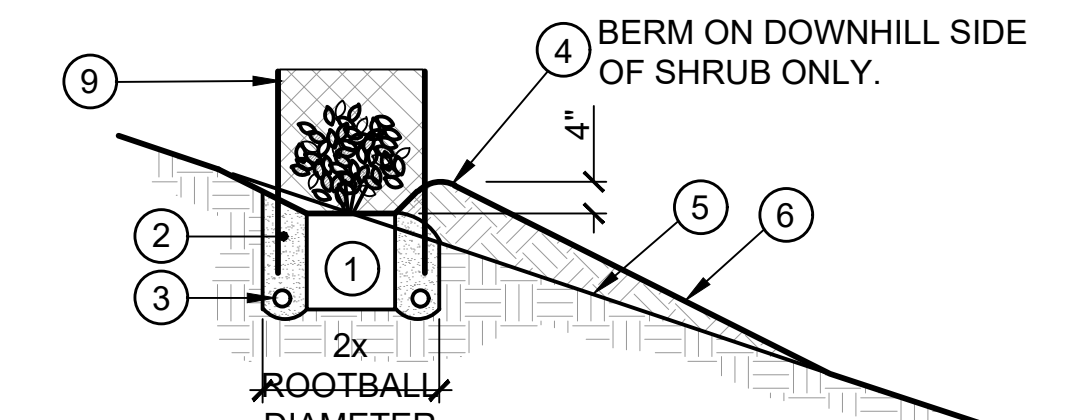


SLOPE CONDITION

- NOTES:
1. TREE STAKES ARE NOT REQUIRED FOR 5 GAL. TREES.
 2. TREE STAKES MAY BE OMITTED IF TREE IS ABLE TO SUPPORT ITSELF UPRIGHT WITHOUT LEANING OR BENDING.
 3. WHEN STAKES ARE INSTALLED, TIES SHOULD BE PLACED AS LOW AS POSSIBLE WHILE STILL PROVIDING NECESSARY SUPPORT. CUT STAKE APPROX. 6" ABOVE TIE TO AVOID BRANCHES RUBBING ON STAKE.
 4. ALL NURSERY STAKES ARE TO BE REMOVED REGARDLESS OF PLANT SIZE.
 5. SCARIFY SIDES OF PLANT PIT TO ELIMINATE SMOOTH SHOVEL CUTS PRIOR TO PLACEMENT OF TREE IN PIT.
 6. CONTRACTOR SHALL INCLUDE BROWSE CAGES FOR ALL TREES AS AN ADDITIVE ALTERNATE IN THE BID. CONTRACTOR SHALL CLOSELY MONITOR TREES FOR WILDLIFE DAMAGE DURING THE MAINTENANCE PERIOD, AND SHALL IMMEDIATELY MAKE A RECOMMENDATION FOR A CORRECTIVE COURSE OF ACTION TO THE OWNER IF WILDLIFE DAMAGE OCCURS OR IS SUSPECTED. SUBMIT BROWSE CAGE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
1. ROOTBALL. PLACE ON UNDISTURBED NATIVE SOIL AT BOTTOM OF PLANT PIT.
 2. AMENDED BACKFILL MIX.
 3. FERTILIZER TABLETS.
 4. 4" HIGH EARTH BERM / MICROBASIN (NOT REQUIRED FOR LEVEL CONDITION IF TREE IS LOCATED IN A DEPRESSED WATER HARVESTING AREA; ALWAYS REQUIRED FOR SLOPE CONDITION.)
 5. SLOPE GRADE PRIOR TO PLANTING.
 6. FINISH GRADE.
 7. (2) 2" DIA. LODGE POLE STAKES. PLACE OUTSIDE OF ROOTBALL.
 8. BLACK PLASTIC CINCH-TIE WITH ONE TWIST NAILED TO STAKE, OR APPROVED EQUAL. (WIRE TIES WITH RUBBER HOSE IS NOT ACCEPTABLE).
 9. DRILL 8" DIAMETER CHIMNEY DRAINAGE HOLE AT BOTTOM OF PLANT PIT IF HARDPAN OR CALICHE SOIL LAYER IS ENCOUNTERED.
 10. HARDPAN OR CALICHE SOIL LAYER.
 11. BROWSE CAGE. SEE NOTE 6.



LEVEL CONDITION



SLOPE CONDITION

- NOTE: CONTRACTOR SHALL INCLUDE BROWSE CAGES FOR ALL SHRUBS AS AN ADDITIVE ALTERNATE IN THE BID. CONTRACTOR SHALL CLOSELY MONITOR SHRUBS FOR WILDLIFE DAMAGE DURING THE MAINTENANCE PERIOD, AND SHALL IMMEDIATELY MAKE A RECOMMENDATION FOR A CORRECTIVE COURSE OF ACTION TO THE OWNER IF WILDLIFE DAMAGE OCCURS OR IS SUSPECTED. SUBMIT BROWSE CAGE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
1. ROOTBALL. PLACE ON UNDISTURBED NATIVE SOIL AT BOTTOM OF PLANT PIT.
 2. AMENDED BACKFILL MIX.
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 4. 4" HIGH EARTH BERM / MICROBASIN (NOT REQUIRED FOR LEVEL CONDITION IF TREE IS LOCATED IN A DEPRESSED WATER HARVESTING AREA; ALWAYS REQUIRED FOR SLOPE CONDITION.)
 5. SLOPE GRADE PRIOR TO PLANTING.
 6. FINISH GRADE.
 7. DRILL CHIMNEY DRAINAGE HOLE AT BOTTOM OF PLANT PIT IF HARDPAN OR CALICHE SOIL LAYER IS ENCOUNTERED.
 8. HARDPAN OR CALICHE SOIL LAYER.
 9. BROWSE CAGE. SEE NOTE.

A TREE PLANTING

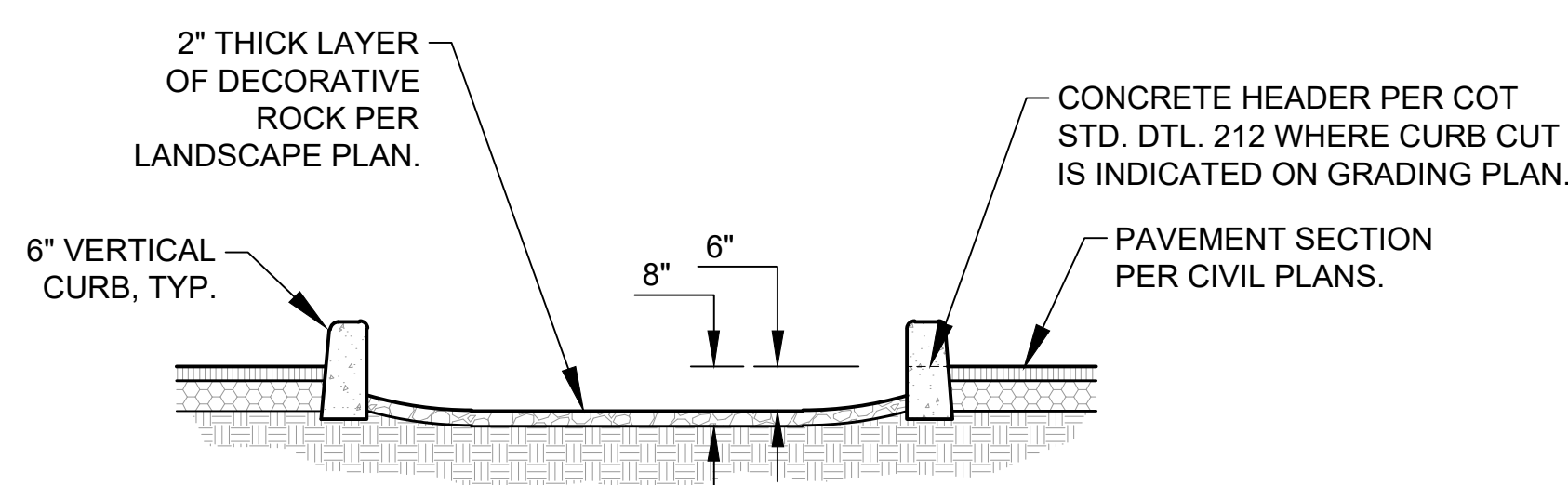
NOT TO SCALE

B TREE ROOT BARRIER

NOT TO SCALE

C SHRUB PLANTING

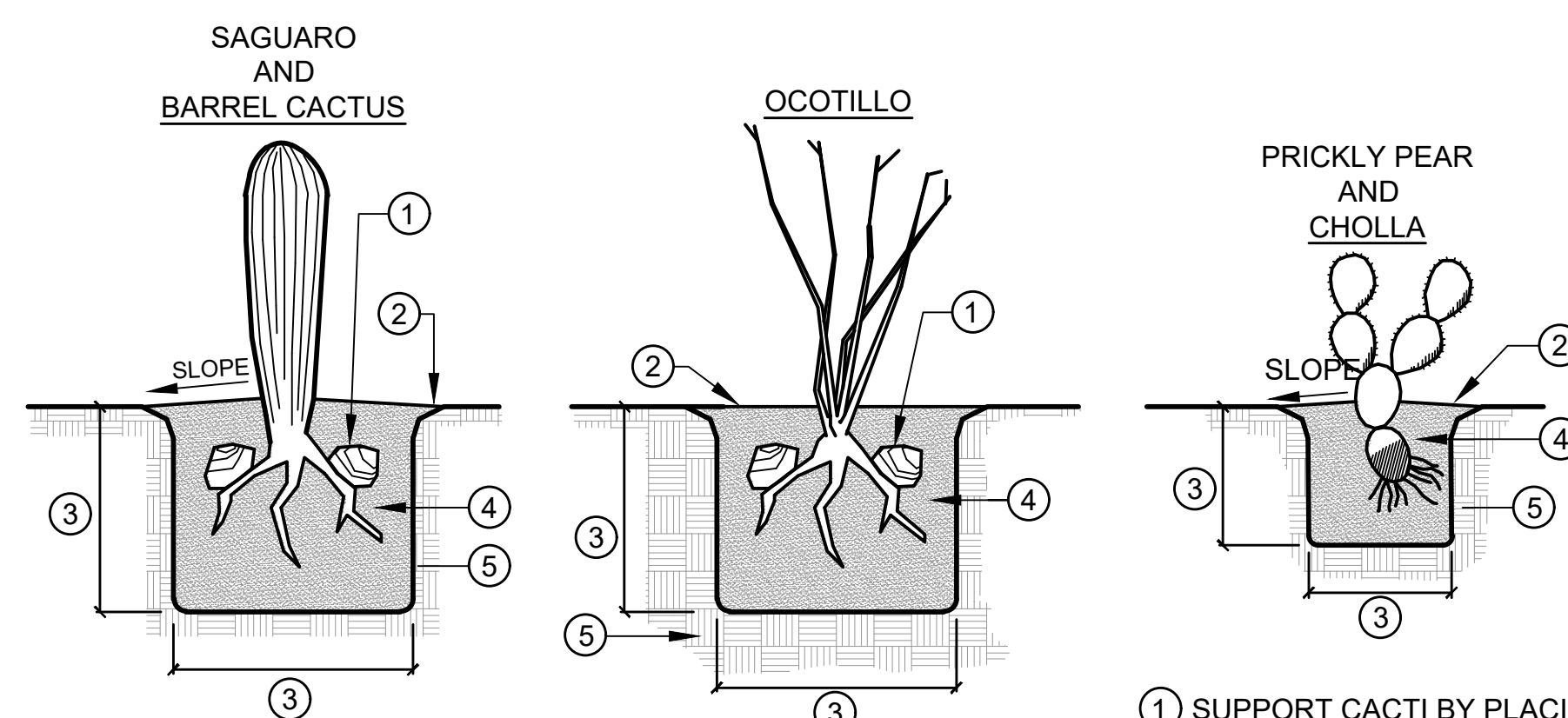
NOT TO SCALE



ALL PLANTING AREAS SHALL BE DEPRESSED FOR WATER HARVESTING TO THE GREATEST EXTENT PRACTICABLE.

D DEPRESSED LANDSCAPE AREA

NOT TO SCALE



- NOTES:
1. SET MAIN STEM OF CACTI PLUMB AS VIEWED FROM ALL SIDES.
 2. DO NOT CREATE A BASIN AT BASE OF CACTUS. SLOPE BACKFILL AWAY FROM STEM.
 3. TREAT ALL BARE ROOTS WITH POWDERED SULFUR.
 4. PRICKLY PEAR ONLY - BURY ONE FULL PAD, MINIMUM.
 5. SAGUARO ONLY - BURY PORTION OF GREEN CACTUS 1/10TH HEIGHT OF CACTUS, UP TO A MAXIMUM OF 24"
 6. OCOTILLO - BURY ROOT SYSTEM SUCH THAT TOP OF ROOT SYSTEM IS 6" (MAX.) BELOW FINISHED GRADE

E CACTI PLANTING

NOT TO SCALE

1. SUPPORT CACTI BY PLACING 2-4 ROCKS (1 CU. FT. MIN) ON ROOTS
2. FINISH GRADE
3. 18" MINIMUM
4. BACKFILL (1/2 SCREENED NATIVE SOIL AND 1/2 CLEAN SAND)
5. UNDISTURBED NATIVE SOIL



- | | |
|---|---|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input checked="" type="checkbox"/> Tentative Plat | <input type="checkbox"/> ERZ |
| <input checked="" type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input checked="" type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input checked="" type="checkbox"/> Other |
| <input type="checkbox"/> per letter in SIRE, Revision # ___ | |

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				SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706

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landscape details



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RICK ENGINEERING IRRIGATION NOTES:

- A. ANY CHANGES MADE TO THE PLANS AND DETAILS SHOWN ON THESE DOCUMENTS WHICH ARE NOT APPROVED BY THE LANDSCAPE ARCHITECT RELEASES RICK ENGINEERING OF ANY LIABILITY INCURRED AS A RESULT OF SAID CHANGES.
- B. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR TO FOLLOW AS CLOSELY AS PRACTICAL. INSTALL PIPING AND EQUIPMENT IN PLANTER AREAS WHENEVER POSSIBLE WITH A MINIMUM OF 10' FEET CLEAR FROM TREE ROOT BALLS WHEN POSSIBLE. EQUIPMENT SHOWN ON PAVED AREAS IS FOR DESIGN CLARITY ONLY. IRRIGATION EQUIPMENT SHOWN OUTSIDE OF MAINTENANCE RESPONSIBILITY AREAS FOR CLARITY ONLY. ALL MAINTAINED AREA EQUIPMENT SHALL BE INSTALLED WITHIN THE LIMIT OF WORK LINES. DO NOT MAKE CHANGES OR ALTERATIONS TO PLANS WITHOUT PRIOR APPROVAL OF THE OWNERS REPRESENTATIVE. THE QUANTITIES AND CONDITIONS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK.
- C. IF ANY UTILITIES CONFLICT WITH THE ORIGINAL PLACEMENT OF INTENDED PLANT MATERIAL ON SITE THE LANDSCAPE ARCHITECT WILL AID THE CONTRACTOR IN THE RELOCATION OR SHIFTING OF PLANT MATERIAL ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE THERETO. ALL UTILITIES SHALL BE LOCATED AND VERIFIED PRIOR TO ANY EXCAVATION. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG (811) TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THIS WORK, AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE WORK.
- D. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES AND REGULATION OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PREMISES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS.
- E. DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY FIELD CHANGES.
- F. DO NOT INSTALL IRRIGATION MAINLINE THROUGH THE MIDDLE OF PLANTER WHERE POTENTIAL CONFLICTS WITH TREES ARE EXISTING AND/OR PROPOSED. COORDINATE WITH PLANTING PLAN TO AVOID CONFLICTS.
- G. VALVE MANIFOLDS, BALL VALVES, RCY'S, QUICK COUPLERS, ETC. SHALL BE LOCATED WITHIN SHRUB PLANTING AREAS. VERIFY ACTUAL LOCATIONS IN THE FIELD WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- H. THE CONTRACTOR SHALL VERIFY AVAILABLE WATER PRESSURE AT POINT OF CONNECTION AND PROVIDE TO OWNER AND OWNERS REPRESENTATIVE WITH TESTING RESULTS IN WRITING PRIOR TO BEGINNING WORK.
- I. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT THE POINT OF CONNECTION (P.O.C.). THE IRRIGATION CONTRACTOR SHALL VERIFY THE WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POC TO THE OWNERS REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND COSTS ASSOCIATED WITH SAID REVISIONS.
- J. THE CONTRACTOR SHALL FURNISH AN IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE TO ALL INTENDED AREAS. CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS TO ASSURE ADEQUATE SYSTEM COVERAGE AND DISTRIBUTION EFFICIENCY. CONTRACTOR SHALL ADJUST ALL HEADS, LATERALS AND MAINLINE AS REQUIRED TO ACCOMMODATE ANY HORIZONTAL OBSTRUCTIONS THAT MAY OCCUR INCLUDING BUT NOT LIMITED TO FLATWORK, LIGHT POLES, FIRE HYDRANTS, TRANSFORMERS, ETC. ADD ADDITIONAL SPRINKLER HEADS, BUBBLERS, EMITTERS, ETC. AND ADJUST ALL EXISTING AND PROPOSED EQUIPMENT WITHIN

THE PROJECT LIMITS OF WORK FOR OPTIMUM COVERAGE AND MINIMUM OVERSPRAY. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

- K. THE CONTRACTOR IS TO HAVE ACTUAL LOCATIONS OF THE AUTOMATIC CONTROLLER(S) APPROVED IN THE FIELD BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- L. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- M. SHOULD FIELD CONDITIONS REQUIRE PIPE INSTALLATION OTHER THAN THAT SHOWN ON PLANS, THE CONTRACTOR SHALL LIMIT EXCESS FLOW AND SIZE ALL PIPE NOT TO EXCEED A VELOCITY OF 5 FEET PER SECOND (FPS) IN PVC PIPE. FLOW THROUGH ANCILLARY EQUIPMENT OR COPPER PIPE SHALL NOT EXCEED 7.5 FPS. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- N. BACKFILL OVER MAINLINES SHALL OCCUR ONLY AFTER INSPECTION OF MAINLINES. PROVIDE 4" OF ROCK FREE SOIL OR SAND IMMEDIATELY AROUND PIPE.
- O. INSTALL ALL IRRIGATION PIPING AND WIRES IN SCH 40 PVC SLEEVE WHEN ROUTED UNDER PAVEMENT OR STRUCTURES AS DETAILED AND PER THE SPECIFICATIONS. WIRES ARE TO BE PLACED IN AN INDEPENDENT SLEEVE, SEPARATE FROM THE IRRIGATION PIPING. ALL SLEEVES TO EXTEND 12' MINIMUM PAST THE EDGE OF PAVEMENT AT THE PROPER DEPTH, SEE IRRIGATION DETAILS. ALL SLEEVES SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE BEING SLEEVED UNLESS OTHERWISE NOTED ON PLANS.
- P. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- Q. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, COORDINATION AND SEQUENCING DURING CONSTRUCTION UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THESE PLANS AND SPECIFICATIONS.
- R. THE CONTRACTOR SHALL VERIFY AND ACCEPT ALL SITE CONDITIONS AND ROUGH GRADES PRIOR TO STARTING ANY WORK. ALL DRAINAGE FLOWS SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- S. CONTRACTOR SHALL INSTALL MANUAL DRAIN VALVE(S) AS DETAILED AT SYSTEM LOW POINT(S) AND FURNISH AND INSTALL FITTINGS AS REQUIRED FOR SYSTEM WINTERIZATION, IF APPLICABLE, PER STANDARD LOCAL PRACTICE.

IRRIGATION EQUIPMENT LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	REMARKS
	NEW 1" POTABLE WATER METER		
	AUTOMATIC CONTROLLER	6 STA. HUNTER I-CORE IC-600-SS WITH SOIL-CLIK (SOIL-CLIK MOISTURE SENSOR MODULE AND PROBE) AND RAIN-CLIK (WIRED RAIN-CLIK SENSOR)	INSTALL IN HUNTER STAINLESS STEEL PEDESTAL
	BACKFLOW PREVENTION ASSEMBLY	1" FEBCO 825Y	INSTALL AS DETAILED, WITH GUARDSHACK ENCLOSURE (TAN)
	DRIP REMOTE CONTROL VALVE ASSEMBLY	RAINBIRD CONTROL ZONE KIT XCZ-100-PRB-LC	INSTALL AS DETAILED
	1-1/2" PVC MAINLINE PIPE		PVC SCH 40, SIZE PER PLAN
	PVC SLEEVE		PVC SCH 40; TWO TIMES DIA. OF PIPE OR WIRE BUNDLE UNLESS SIZE IS NOTED OTHERWISE ON PLAN.
	POLYETHYLENE LATERAL		3/4" UNLESS OTHERWISE NOTED ON PLAN. EXTEND FROM REMOTE CONTROL VALVES TO WITHIN 10' OF EACH TREE AND SHRUB.
	SINGLE OUTLET EMITTER	RAINBIRD XB-10, OR EQUAL	
	MULTI-OUTLET EMITTER	RAINBIRD XB-10-6, OR EQUAL	
	FLUSH CAP	AS DETAILED	INSTALL IN 6" ROUND VALVE BOX

EMITTER SCHEDULE - SHRUBS

SPECIES	EMITTER FLOW (GPH)	# OF EMITTERS PER PLANT
BLUE ELF AGAVE	1.0	1
FAIRY DUSTER	1.0	1
LITTLE-LEAF CORDIA	1.0	1
TRAILING INDIGO BUSH	1.0	1
DESERT SPOON	1.0	1
BRITTLE BUSH	1.0	1
GOPHER PLANT	1.0	1
BARREL CACTUS	1.0	1
RED YUCCA	1.0	1
GOLD MOUND LANTANA	1.0	1
TEXAS RANGER	1.0	1
CHIHUAHUAN RAIN SAGE	1.0	1
AUTUMN GLOW DEER GRASS	1.0	1
DESERT SENNA	1.0	1

EMITTER SCHEDULE - TREES

SPECIES	EMITTER FLOW (GPH)	# OF EMITTERS PER PLANT
VELVET MESQUITE	1.0	6
BLUE PALO VERDE	1.0	6
DESERT WILLOW	1.0	6

PIPE SIZING

SCHEDULE 40 PVC		UNLESS OTHERWISE NOTED ON THE PLANS, THE PIPE SIZING NOTED HERE SHALL BE CONSIDERED THE MINIMUM ACCEPTABLE SCHEDULE 40 PVC PIPE DIAMETER FOR SECTIONS OF PIPE WITH FLOWS WITHIN THE LISTED RANGES.
GPM	MIN. SIZE	
0.1 - 6	3/4"	
6.1 - 11	1"	
11.1 - 20	1-1/4"	
20.1 - 28	1-1/2"	
28.1 - 45	2"	
45.1 - 65	2-1/2"	

CDRC Approved Development Package
RParson1
09/12/2023
PLANNING & DEVELOPMENT SERVICES

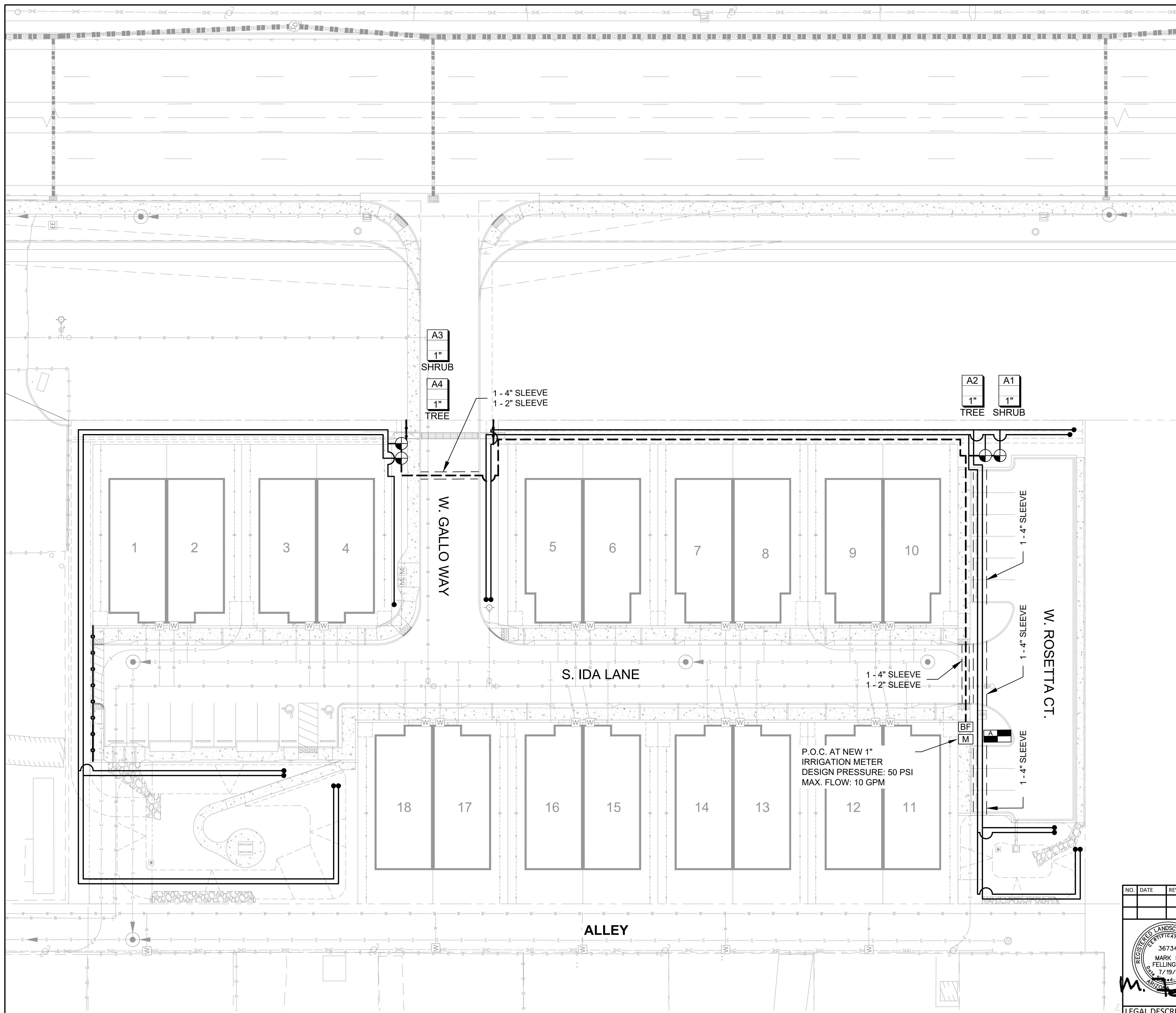
Site/Dev Plan
 Tentative Plat
 Grading
 SWPPP
 FUP
 per letter in SIRE, Revision # ___

SCZ
 ERZ
 HDZ
 WASH
 Other

				3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000 rickengineering.com	
NO. DATE REVISION DESCRIPTION BY		DEVELOPER HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATTUCSON.ORG		SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706	
LEGAL DESCRIPTION: BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO.2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA		TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION		irrigation plan	



TD-DEV-0423-00197



IRRIGATION EQUIPMENT LEGEND

- M NEW 1" POTABLE WATER METER
- A AUTOMATIC CONTROLLER
- BF BACKFLOW PREVENTION ASSEMBLY
- DRIP REMOTE CONTROL VALVE ASSEMBLY
- PVC MAINLINE PIPE
- POLYETHYLENE LATERAL LINE PIPE
- PVC SLEEVE
- FLUSH VALVE

GRAPHIC SCALE: 1"=20'

CDRC Approved
Development Package
 RParson1
 09/12/2023
PLANNING & DEVELOPMENT SERVICES

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input checked="" type="checkbox"/> Tentative Plat	<input type="checkbox"/> ERZ
<input checked="" type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input checked="" type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input checked="" type="checkbox"/> Other
<input type="checkbox"/> per letter in SIRE, Revision #	

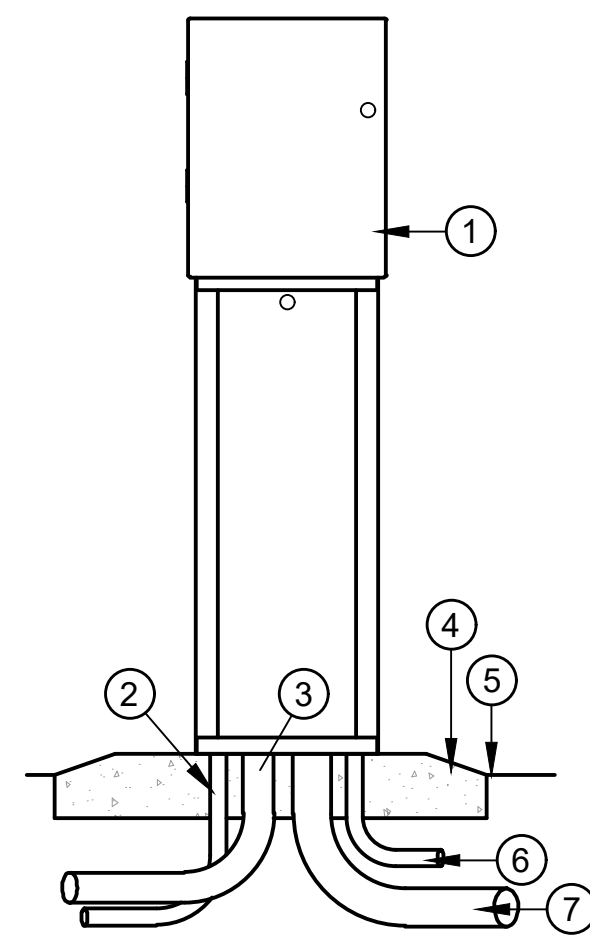
NO.	DATE	REVISION DESCRIPTION	BY	DEVELOPER
				HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATTUCSON.ORG
<div style="display: flex; align-items: center;"> <div style="text-align: center; margin-right: 10px;"> </div> <div style="text-align: center;"> <p>RICK ENGINEERING COMPANY</p> <p>3945 E FORT LOWELL ROAD - STE #111 TUCSON, AZ 85712 520.795.1000</p> <p><small>rickengineering.com</small></p> </div> </div>				<p>SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706</p>
<p>PROJECT NO: T5229</p>				

LEGAL DESCRIPTION:
 BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO.2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/DRAINAGE/UTILITIES) - AN FLD SUBDIVISION irrigation plan



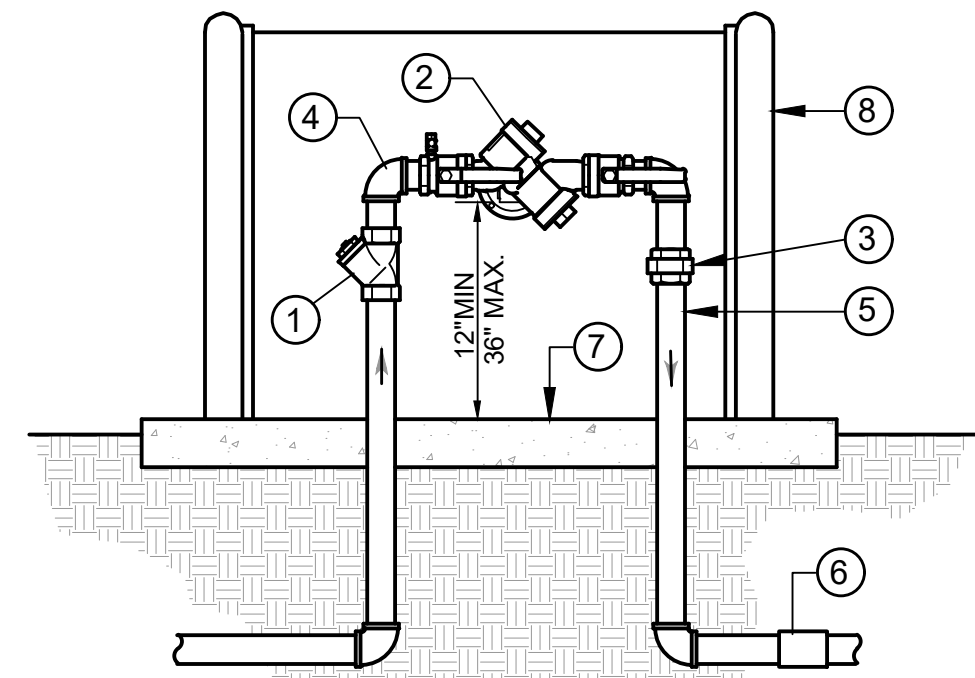
TD-DEV-0423-00197



- ① ENCLOSURE AND AUTOMATIC CONTROLLER PER IRRIGATION LEGEND
- ② 3/4" POWER CONDUIT: SIZE, TYPE, DEPTH PER LOCAL CODE
- ③ GROUND WIRE CONDUIT, MIN. 1-1/2". GROUND PER ASIC GUIDELINES
- ④ 6" THICK FORMED AND POURED-IN-PLACE CONCRETE BASE
- ⑤ FINISH GRADE
- ⑥ CONDUIT FOR GCBL WIRING
- ⑦ CONDUIT FOR DECODER WIRES

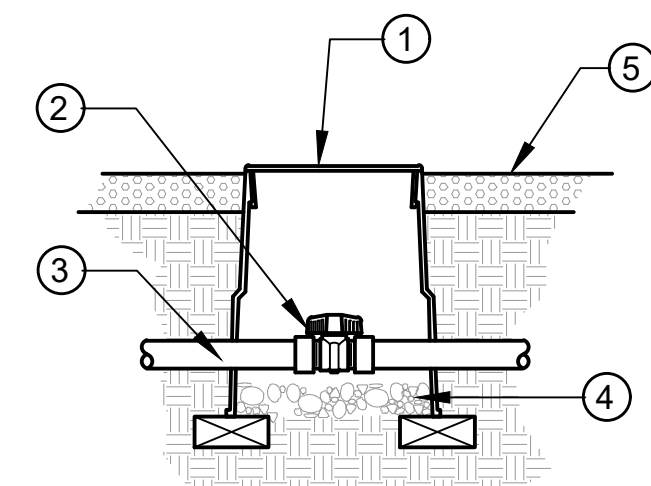
NOTES:
 1. SEE INSTRUCTION MANUAL FOR MOUNTING INSTRUCTIONS.
 2. ALL WIRING SHALL BE INSTALLED PER LOCAL CODES.
 3. 120 VOLT POWER TO BE SUPPLIED BY OWNER.

A IRRIGATION CONTROLLER NOT TO SCALE



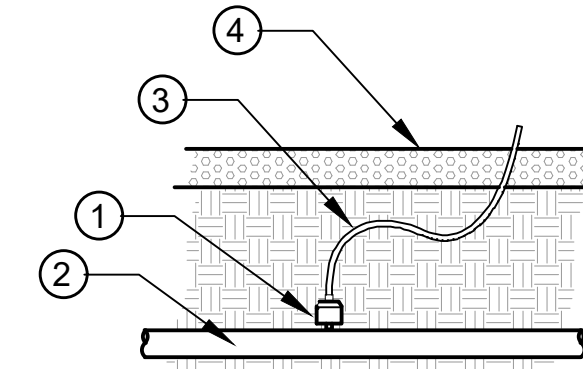
- ① BRASS WYE STRAINER (LINE SIZE)
- ② REDUCED PRESSURE BACKFLOW DEVICE WITH 2 BALL VALVES, REFER TO PLAN FOR TYPE AND SIZE
- ③ BRASS UNION
- ④ BRASS ELL (TYPICAL)
- ⑤ BRASS NIPPLE, TYPICAL
- ⑥ PVC MALE ADAPTER
- ⑦ 3" THICK CONCRETE PAD. WRAP PIPES W/ 10 MIL. TAPE. SATURATE AND COMPACT SUB-GRADE TO 90% PRIOR TO POUR.
- ⑧ ENCLOSURE PER LEGEND.

B BACKFLOW PREVENTION DEVICE NOT TO SCALE



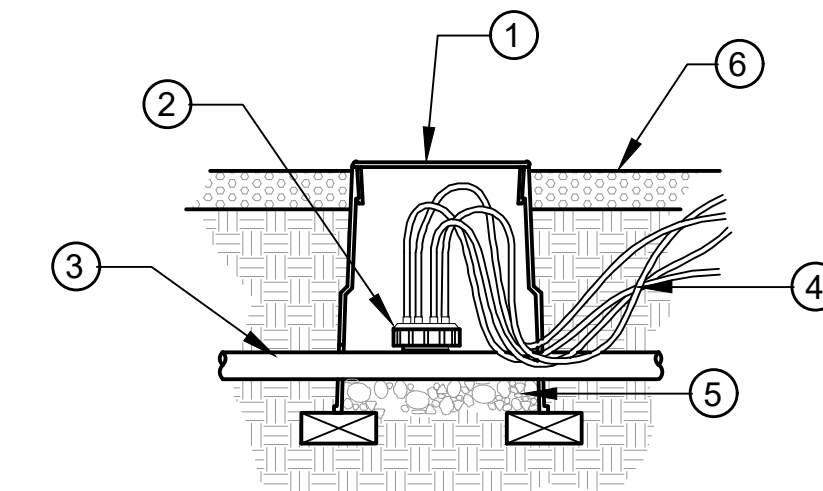
- ① 6" ROUND VALVE BOX
- ② BALL VALVE PER LEGEND
- ③ LATERAL LINE
- ④ 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- ⑤ FINISH GRADE OF DG.

C PVC BALL VALVE NOT TO SCALE



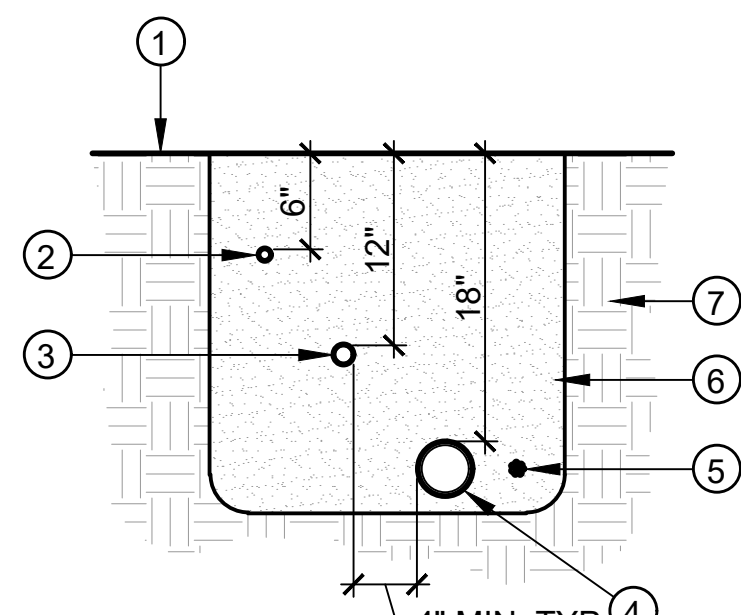
- ① SINGLE OUTLET DRIP EMITTER PER LEGEND
- ② 3/4" POLYETHYLENE LATERAL
- ③ 1/4" DISTRIBUTION TUBING
- ④ FINISH GRADE

D SINGLE OUTLET DRIP EMITTER NOT TO SCALE



- ① 6" ROUND VALVE BOX
- ② MULTI-OUTLET DRIP EMITTER PER LEGEND
- ③ 3/4" POLYETHYLENE LATERAL
- ④ 1/4" DISTRIBUTION TUBING
- ⑤ 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- ⑥ FINISH GRADE

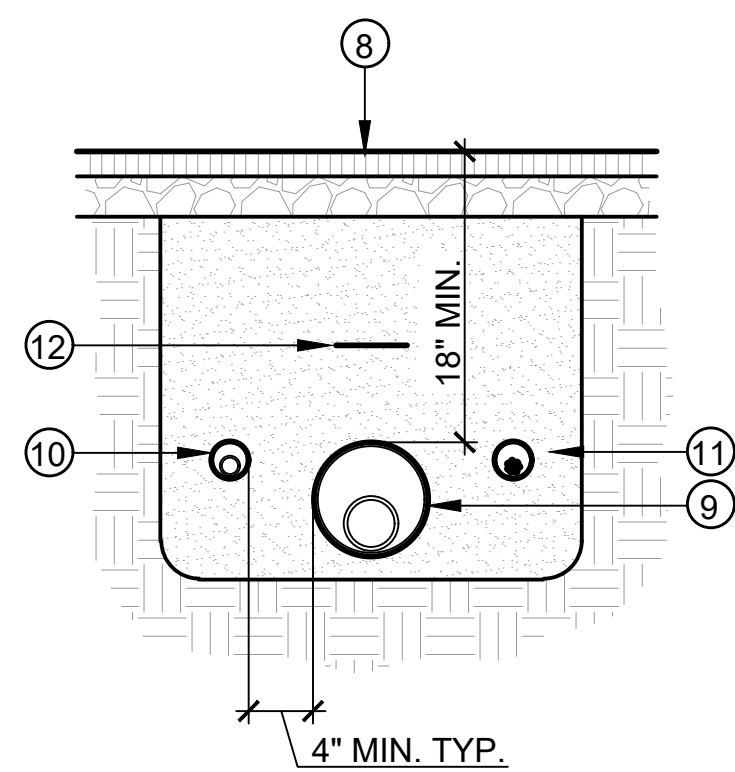
E MULTI-OUTLET DRIP EMITTER NOT TO SCALE



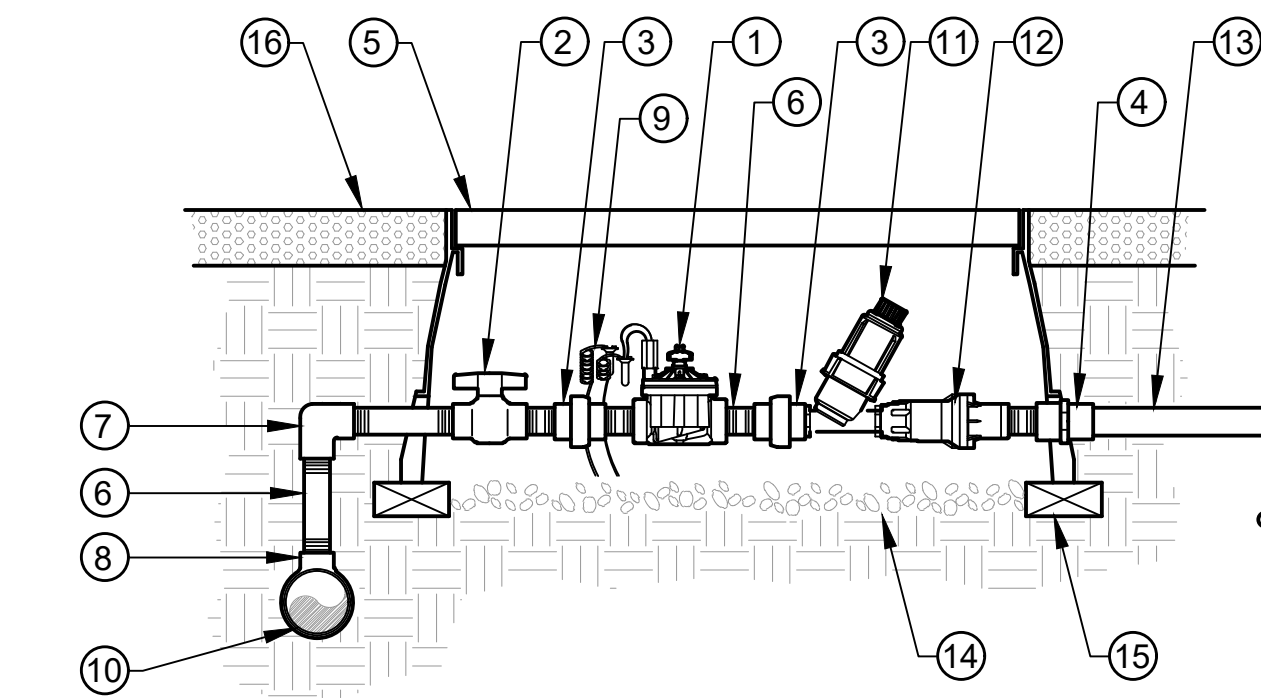
- ① FINISH GRADE
- ② POLYETHYLENE LATERAL LINE OR LANDSCAPE DRIPLINE.
- ③ PVC LATERAL LINE
- ④ PVC MAINLINE
- ⑤ DIRECT BURIAL LOW VOLTAGE CONTROL WIRES, BUNDLE AT 10 FT. O.C., BURY AT SAME DEPTH AS MAINLINE
- ⑥ CLEAN BACKFILL, SATURATE AND COMPACT TO 90%
- ⑦ UNDISTURBED SOIL

NOTE: EXTEND SLEEVE ENDS 24" BEYOND BACK OF CURB, WALK, OR PAVEMENT EDGE. A CONTINUOUS MAGNETIC MARKING TAPE SHALL BE PLACED 12 INCHES BELOW FINISHED GRADE ABOVE THE SLEEVE. AT ROAD CROSSINGS, THE CURB SHALL BE MARKED BY A STAMPED LABEL "I" (IRRIGATION SYSTEM). SLEEVE ENDS SHALL BE COVERED WITH HEAVY DUTY TAPE TO PREVENT SOIL FROM ENTERING SLEEVES UPON BACK FILLING.

F TRENCHING AND SLEEVING NOT TO SCALE

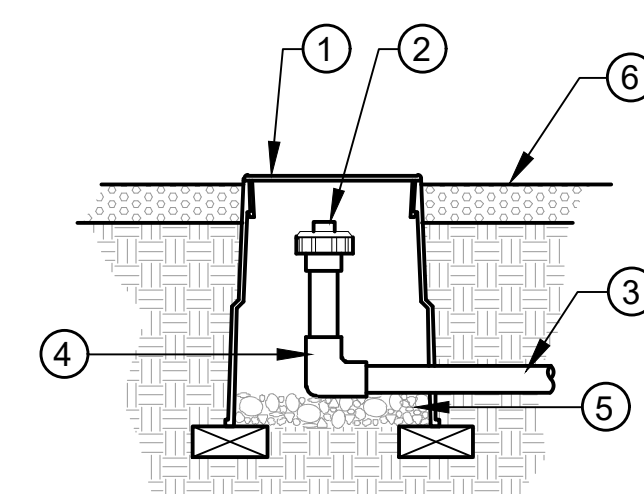


- ⑧ PAVED SURFACE
- ⑨ MAIN LINE SLEEVE
- ⑩ LATERAL LINE SLEEVE
- ⑪ CONTROL WIRE SLEEVE
- ⑫ MARKING TAPE



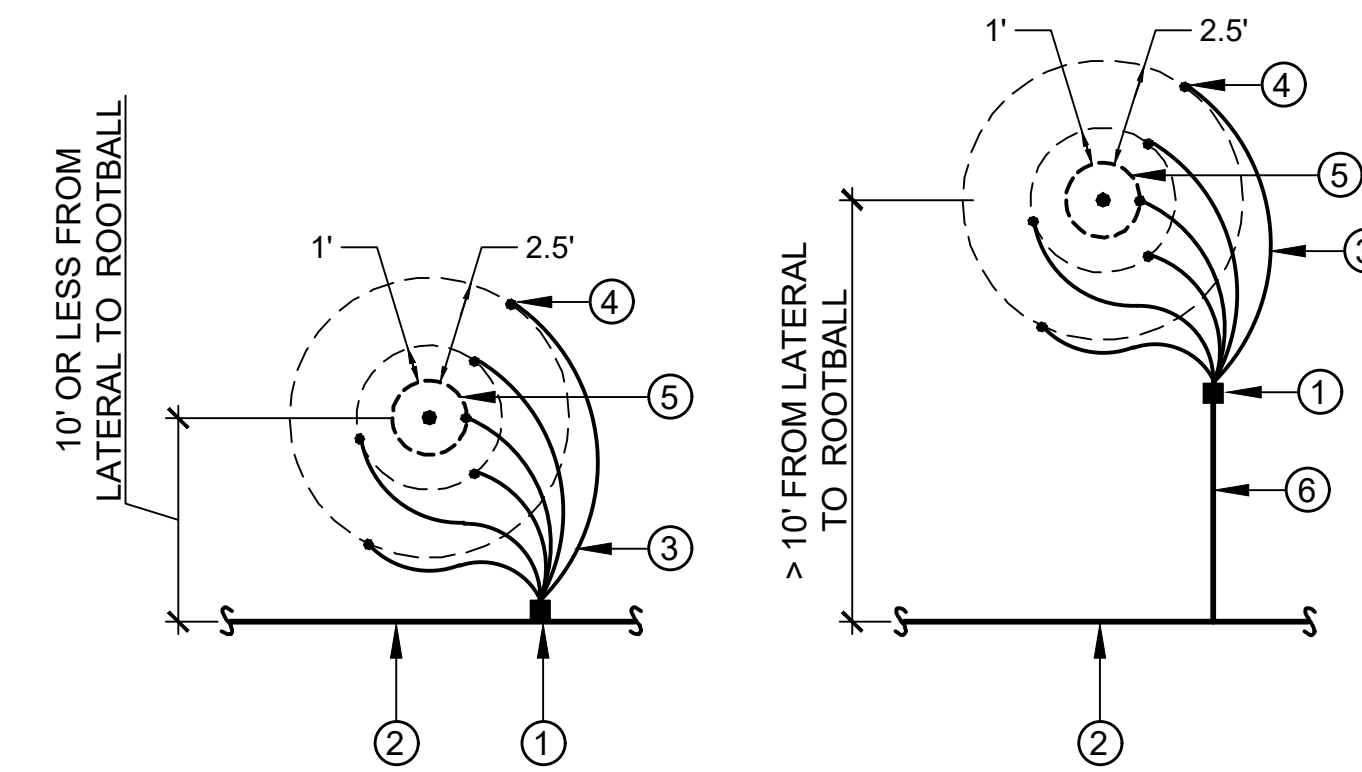
- ① REMOTE CONTROL VALVE PER IRRIGATION LEGEND.
- ② 2" GRAY FEMALE THREADED PVC BALL VALVE (SAME SIZE AS RCV)
- ③ SCH. 80 PVC UNION (THREADED)
- ④ SCH. 80 PVC FEMALE ADAPTER (FPT x SLIP)
- ⑤ VALVE BOX.
- ⑥ 2" SCH. 80 PVC NIPPLE, TYP.
- ⑦ 2" SCH. 80 PVC ELBOW (THREADED)
- ⑧ 2" SCH. 80 PVC TEE (THREADED)
- ⑨ 30-INCH LINEAR LENGTH OF WIRE, COILED, WATERPROOF CONNECTIONS
- ⑩ PVC MAINLINE PER IRRIGATION LEGEND, SIZE PER PLAN
- ⑪ WYE FILTER PER IRRIGATION LEGEND
- ⑫ PRESSURE REGULATOR PER IRRIGATION LEGEND
- ⑬ PVC LATERAL LINE PER IRRIGATION LEGEND, SIZE PER PLAN
- ⑭ 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- ⑮ BRICKS FOR BOX SUPPORT (1 AT EA. CORNER)
- ⑯ FINISHED GRADE OF ROCK MULCH

G REMOTE CONTROL VALVE (DRIP) NOT TO SCALE



- ① 6" ROUND VALVE BOX
- ② FLUSH CAP PER LEGEND
- ③ 3/4" POLYETHYLENE LATERAL
- ④ COMPRESSION FIT ELBOW
- ⑤ 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- ⑥ FINISH GRADE

H END FLUSH CAP NOT TO SCALE



- ① MULTI-OUTLET DRIP EMITTER
- ② LATERAL LINE PER LEGEND
- ③ 1/4" DISTRIBUTION TUBING, TYP.
- ④ DISCHARGE POINT, TYP., TO BE 1" ABOVE FINISH GRADE
- ⑤ TREE ROOTBALL
- ⑥ INSTALL SUBLATERALS WHERE TREE ROOTBALL IS GREATER THAN 10' FROM LATERAL

I EMITTER PLACEMENT @ TREES NOT TO SCALE



- PLANNING & DEVELOPMENT SERVICES
- Site/Dev Plan
 - Tentative Plat
 - Grading
 - SWPPP
 - FUP
 - per letter in SIRE, Revision #
 - SCZ
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 - HDZ
 - WASH
 - Other

NO.	DATE	REVISION DESCRIPTION	BY	DEVELOPER
				HABITAT FOR HUMANITY TUCSON 3501 N MOUNTAIN AVE TUCSON, ARIZONA 85719 ATTN: JEFF OCAMPO PH: (520) 497-2395 E: JEFFO@HABITATTUCSON.ORG
				SITE ADDRESS 5400 S NOGALES HWY TUCSON, AZ 85706

LEGAL DESCRIPTION:
 BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO.2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

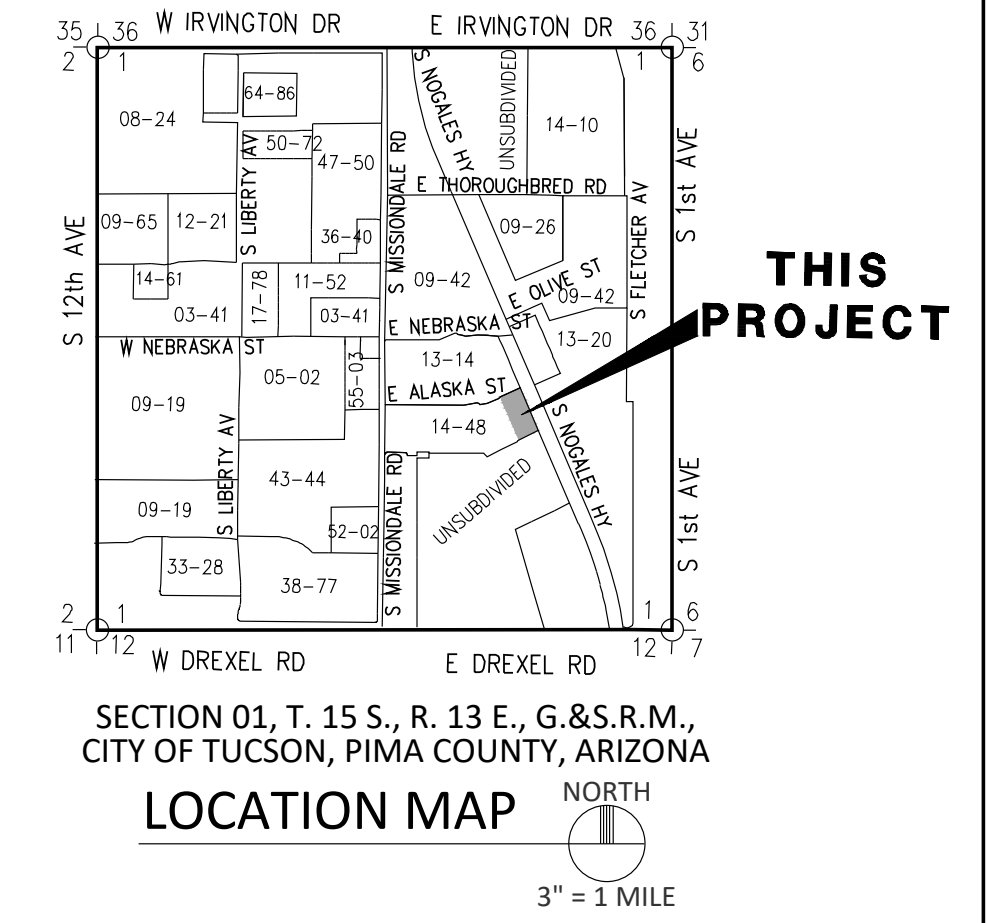
TENTATIVE PLAT PACKAGE for RODEO ADDITION NO. 4 SUBDIVISION, LOTS 1-18 + PUBLIC STREETS + C.A. "A" PRIVATE STREET + C.A. "B" OPEN SPACE/ DRAINAGE/ UTILITIES) - AN FLD SUBDIVISION
irrigation details

TD-DEV-0423-00197

S TUCSON - NOGALES HIGHWAY (MS&R) PUBLIC

(US HWY 89)
COT PLAN #1-89-44
BK 9, PG 42, M&P
BK 13, PG 14, 20 M&P
BK 14, PG 48 M&P

SCALE: 1"=20'



STORMWATER POLLUTION CONTROL NOTES

- CONTRACTOR TO DELINEATE GRADING LIMITS BY FLAGGING SITE AT 100' INTERVALS.
- STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 30 FT WIDE, 50 FEET LONG AND 6 INCHES DEEP.
- ALL DESIGNATED AREAS SUBJECT TO CHANGE ARE TO BE LOCATED AND SHOWN BEFORE START OF CONSTRUCTION ACTIVITY.
- EROSION CONTROL PLAN, SHALL BE UPDATED AFTER EVERY INSPECTION.
- THE INSPECTION SCHEDULE TO BE FOLLOWED IN THE SWPPP, AND SHOULD BE FILLED OUT AS START OF CONSTRUCTION ACTIVITIES.
- NO OFFSITE STORAGE AREAS ARE REQUIRED FOR THIS SITE.
- VEHICLE WASHDOWN AND CONCRETE WASHOUT PER SEPARATE PERMIT.
- AT THE TIME THIS SWPPP WAS PREPARED, NO AREAS HAVE ACHIEVED FINAL STABILIZATION WITHIN THE LIMITS OF DISTURBANCE.
- THIS EROSION CONTROL PLAN IS A SUPPLEMENT TO THE SWPPP PREPARED BY TRINITYGREEN

NOTE: NO DRYWELLS EXIST ON SITE, AND NO DRYWELLS ON THE ADJACENT PROPERTIES HAVE POTENTIAL FOR RECEIVING STORMWATER FROM THIS SITE.

NOTE: NO VEGETATIVE BUFFER ZONES OR ENVIRONMENTALLY SENSITIVE AREAS EXIST ON SITE. SEE NPP0 FOR DETAILS.

NOTE: NO SURFACE WATER BODIES (INCLUDING WETLANDS, EPHEMERAL WATERS, AND DRY WASHES) EXIST ON SITE. THE RECEIVING WATER IS APPROXIMATELY 750 FEET NORTH.

NOTE: GRAVEL BAGS AT SCUPPER INLETS ARE TO BE REMOVED UPON COMPLETION OF THE PAVING.

NOTE: IN THE EVENT OF A SPILL, THE OPERATOR SHALL REPORT ANY NONCOMPLIANCE TO ADEQ AT (602) 771-2330 OR FAX (602) 771-4505. REFER TO THE REPORT FOR FURTHER GUIDANCE.



- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- per letter in SIRE, Revision #
- SCZ
- ERZ
- HDZ
- WASH
- Other

LEGEND

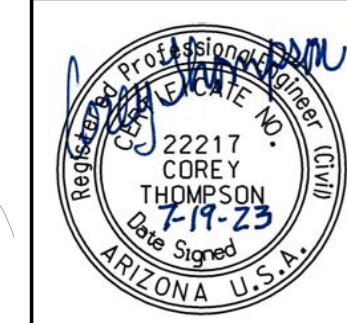
- STABILIZED CONSTRUCTION ENTRANCE
- SEDIMENT CONTROL STRUCTURE
- STORM DRAIN INLET PROTECTION
- LIMITS OF DISTURBANCE
- PROPOSED STORMWATER FLOW
- EXIST STORMWATER FLOW
- HIGH POINT PER APPROVED GRADING PLANS
- LOW POINT PER APPROVED GRADING PLANS

TOTAL AREA OF DISTURBANCE: 1.9 AC

RECEIVING WATERS

- NEBRASKA WASH

NO.	DATE	REVISION DESCRIPTION	BY	DEVELOPER
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RICK ENGINEERING COMPANY
3945 E FORT LOWELL ROAD - STE #111
TUCSON, AZ 85712
520.795.1000
rickengineering.com

PROJECT NO: 5229

LEGAL DESCRIPTION:
BEING A RESUBDIVISION OF LOTS 110-116 OF RODEO ADDITION NO.2, PER BOOK 14, PAGE 48, MAPS & PLATS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 15 SOUTH RANGE 13 EAST GILA & SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

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erosion control plan

TD-DEV-0423-00197

19 OF 19

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









Notes

Airport Map

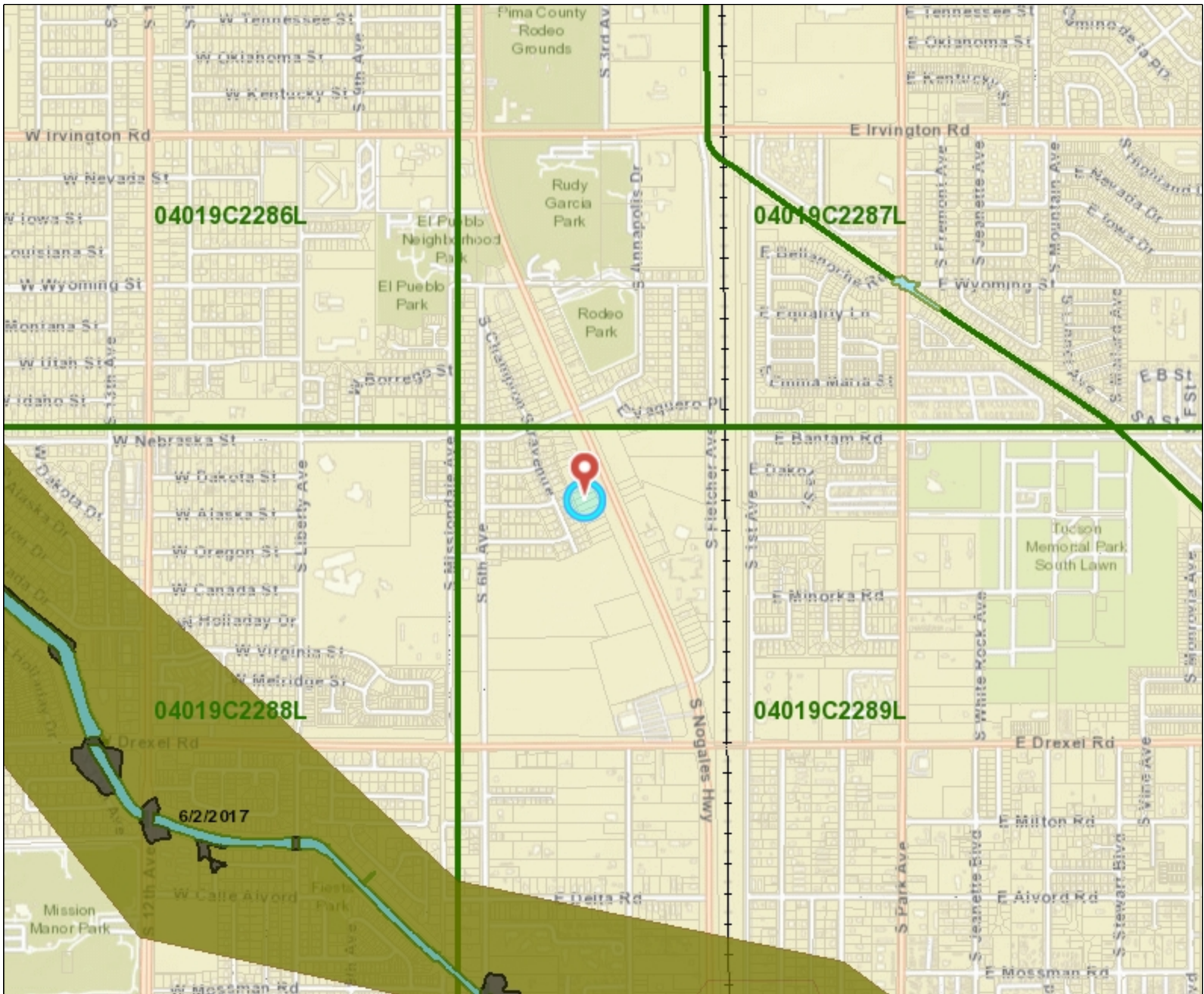
Legend

- | | | |
|---|---|------------------|
|  Land Fills - City/County |  Avigation Easement & Disclosure Areas | World Street Map |
|  Land Fills - State/Federal | DM AFB Approach-Departure Corridors | |
|  Leaking Underground Storage Tanks - COT Owned |  ADC-1 | |
|  Parcels |  ADC-2 | |
|  Railroads |  ADC-3 | |
|  AEZ Noise 65-70 LDN | DM AFB Noise Control Districts | |
|  70-75 LDN |  NCD-A | |
|  70-PLUS LDN |  NCD-B | |
| |  Airport Hazard Districts | |

1: 72,224



11,661.1 0 5,830.57 11,661.1 Feet



Notes

Flood Map

Legend

-  Land Fills - City/County
-  Land Fills - State/Federal
-  Leaking Underground Storage Tanks - COT Owned
- A Zones**
-  ZONE A
-  ZONE AE
-  ZONE AH
-  ZONE AO
- X Zones**
-  LOMR
-  Excluded Structures/Parcels
-  Other
-  Floodway
-  1% Chance Flood Contained in Culvert/Channel
-  FIRM
-  Parcels
-  Railroads
-  World Street Map

1: 18,056



2,915.3 0 1,457.64 2,915.3 Feet

Rodeo Addition – Aboveground Storage Tank Summary

AST	Location	Container	ASDPPU (ft)	ASDBPU (ft)	Measured Distance (ft)
A	4775 S 3rd Ave	600 gallons (water volume capacity), propane*†	n/a	n/a	4,028.35
B	4775 S 3rd Ave	6,000 gallons, resin solution, liquid, diked	96.33 (ASDPNPD)	15.74 (ASDBNPD)	4,012.04
C	5001 S Nogales Hwy	210 gallons, diesel	144.36	24.44	2,262.16
D	5157 S Nogales Hwy	606 gallonst, diesel	224.48	39.89	1,387.94

*Note – AST A contains 1,000 gallons or less (water volume capacity) of propane and meets the requirements of the 2017 version of National Fire Protection Association (NFPA) Code 58

†Note – Approximate container volume based on aerial maps and site surveys



Northwest corner of project site

Notes

ASD Map

Legend

- Parcels
- Railroads

1: 9,028



1,457.6 0 728.82 1,457.6 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
© City of Tucson

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Home (/) > Programs (/programs/) > Environmental Review (/programs/environmental-review/) > ASD Calculator

Acceptable Separation Distance (ASD) Electronic Assessment Tool

The Environmental Planning Division (EPD) has developed an electronic-based assessment tool that calculates the Acceptable Separation Distance (ASD) from stationary hazards. The ASD is the distance from above ground stationary containerized hazards of an explosive or fire prone nature, to where a HUD assisted project can be located. The ASD is consistent with the Department's standards of blast overpressure (0.5 psi-buildings) and thermal radiation (450 BTU/ft² - hr - people and 10,000 BTU/ft² - hr - buildings). Calculation of the ASD is the first step to assess site suitability for proposed HUD-assisted projects near stationary hazards. Additional guidance on ASDs is available in the Department's guidebook "Siting of HUD- Assisted Projects Near Hazardous Facilities" and the regulation 24 CFR Part 51, Subpart C, Siting of HUD-Assisted Projects Near Hazardous Operations Handling Conventional Fuels or Chemicals of an Explosive or Flammable Nature.

Note: Tool tips, containing field specific information, have been added in this tool and may be accessed by hovering over the ASD result fields with the mouse.

Acceptable Separation Distance Assessment Tool

Is the container above ground?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Is the container under pressure?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the container hold a cryogenic liquified gas?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
Is the container diked?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
What is the volume (gal) of the container?	<input type="text"/>
What is the Diked Area Length (ft)?	<input type="text" value="23"/>
What is the Diked Area Width (ft)?	<input type="text" value="14"/>
<input type="button" value="Calculate Acceptable Separation Distance"/>	
Diked Area (sqft)	<input type="text" value="322"/>
ASD for Blast Over Pressure (ASDRBP)	<input type="text"/>

ASD for Blast Over Pressure (ASDBOP)	
ASD for Thermal Radiation for People (ASDPPU)	
ASD for Thermal Radiation for Buildings (ASDBPU)	
ASD for Thermal Radiation for People (ASDPNPD)	96.33
ASD for Thermal Radiation for Buildings (ASDBNPD)	15.74

For mitigation options, please click on the following link: [Mitigation Options \(/resource/3846/acceptable-separation-distance-asd-hazard-mitigation-options/\)](/resource/3846/acceptable-separation-distance-asd-hazard-mitigation-options/)

Providing Feedback & Corrections

After using the ASD Assessment Tool following the directions in this User Guide, users are encouraged to provide feedback on how the ASD Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool.

Please send comments or other input using the **Contact Us** (<https://www.hudexchange.info/contact-us/>) form.

Related Information

- [ASD User Guide \(/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/\)](/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/)
- [ASD Flow Chart \(/resource/3840/acceptable-separation-distance-asd-flowchart/\)](/resource/3840/acceptable-separation-distance-asd-flowchart/)

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Is the container under pressure?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Does the container hold a cryogenic liquified gas?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
Is the container diked?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the volume (gal) of the container?	<input type="text" value="210"/>
What is the Diked Area Length (ft)?	<input type="text"/>
What is the Diked Area Width (ft)?	<input type="text"/>
<input type="button" value="Calculate Acceptable Separation Distance"/>	
Diked Area (sqft)	<input type="text"/>
ASD for Blast Over Pressure (ASDRBP)	<input type="text"/>

ASD for Blast Over Pressure (ASDBOP)	
ASD for Thermal Radiation for People (ASDPPU)	144.36
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ASD for Thermal Radiation for Buildings (ASDBNPD)	

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Does the container hold a cryogenic liquified gas?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
Is the container diked?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the volume (gal) of the container?	<input type="text" value="606"/>
What is the Diked Area Length (ft)?	<input type="text"/>
What is the Diked Area Width (ft)?	<input type="text"/>
<input type="button" value="Calculate Acceptable Separation Distance"/>	
Diked Area (sqft)	<input type="text"/>
ASD for Blast Over Pressure (ASDRBP)	<input type="text"/>

ASD for Blast Over Pressure (ASDBOP)	
ASD for Thermal Radiation for People (ASDPPU)	224.48
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Re: Assistance with AST Review for HUD Project

Nicholas Janton <Nicholas.Janton@tucsonaz.gov>

Thu 4/13/2023 1:20 PM

To: Rolanda Mazeika <Rolanda.Mazeika@tucsonaz.gov>

📎 1 attachments (20 KB)

NFPA standards SOG 07.01.18.pdf;

Good afternoon,

TFD adopted the 2018 International Fire Code (IFC) in July of 2018 and the NFPA standards referenced within. This includes the 2017 NFPA 58. However TFD has a written policy to reference the most recent and up to date NFPA standards despite the year listed in the IFC. The current version that we reference for LPG tanks is 2020.

2018 IFC	July 1, 2018	Ordinance #11556
----------	--------------	------------------

All permitted ASTs for LPG are inspected and maintain compliance with NFPA 58 2020 edition for the Tucson Fire Department.

Thank you

Can you provide a location for the undetermined tank?

I am happy to look into it and determine size and contents. Most likely if on a generator it will only be a couple hundred gallons and is typically diesel fuel.

Nicholas Janton CFM
 Captain
 Special Hazards Unit
 Tucson Fire Prevention
 520-837-7117 (o)
 520-419-4676 (c)





1.0 Objectives

This guideline addresses the use of NFPA standards. The fire code official is authorized to adopt polices to clarify the application of the International Fire Code per section 104.1.

2.0 Policy

The NFPA standards that are referenced in the International Fire Code have an effective date and title listed. This policy allows the Fire Prevention Section to use the latest published edition of the NFPA standard in lieu of the edition listed in the International Fire Code.

3.0 Procedures

The Fire Prevention Section may utilize the current published NFPA standards during inspections and plan reviews. The Fire Prevention Section may allow any plan submittal to utilize the current published edition of NFPA standards or the referenced edition listed in the International Fire Code. Mixing of the edition years is not allowed.

PHASE I ENVIRONMENTAL SITE ASSESSMENT

**RODEO ADDITION #2 (LOTS 110–116)
5386–5424 South Nogales Highway
Tucson, Arizona
APN's 137-04-1100 through 137-04-1160**

March 10, 2023

Aplomado Project No.
23-401-102

Prepared For:

Habitat for Humanity Tucson
3501 North Mountain Avenue
Tucson, Arizona 85719



Prepared By:

APLOMADO

ENVIRONMENTAL LLC

1049 East Grant Road
Tucson, Arizona 85719



FINAL

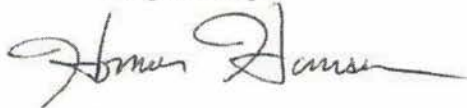
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March 10, 2023

**Prepared For:
Habitat for Humanity Tucson**

Prepared by:

A handwritten signature in black ink, appearing to read "Homer Hansen", written over a horizontal line.

**Homer Hansen
Environmental Professional**

APLOMADO ENVIRONMENTAL LLC
Aplomado Project Number 23-401-102
www.aplomado.com

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1.0 INTRODUCTION

1.1 Purpose

The purpose of this study was to assess the subject property located at 5386, 5390, 5400, 5406, 5412, 5418, and 5424 South Nogales Highway in Tucson, Arizona, for potential environmental liability as it relates to present and past utilization of the subject property. The subject property is undeveloped land comprised of seven lots within the Rodeo Addition #2 residential subdivision.

This Phase I Environmental Site Assessment (ESA) was conducted to identify recognized environmental conditions in connection with the subject property in general accordance with the *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process, Seventh Edition*, E 1527-21, dated November 1, 2021. This standard was established by the ASTM International as a practice that constitutes “all appropriate inquiry into the previous ownership and uses of the subject property consistent with good commercial or customary standards and practices” as defined in 42 USC § 9601(35)(B). The standard practice is intended to permit a user to satisfy one of the requirements to qualify for the limitations on CERCLA liability, or Landowner Liability Protections (LLPs). The Phase I ESA was performed by conducting a site reconnaissance, records review, interviews, and preparing this report.

1.2 Scope of Services

Habitat for Humanity Tucson entered into an agreement with Aplomado Environmental LLC (Aplomado) on February 15, 2023, for a Phase I ESA to identify recognized environmental conditions in connection with the above-mentioned subject property. The term recognized environmental condition means: (1) the presence of hazardous substances or petroleum products in, on, or at the subject property due to a release to the environment; (2) the likely presence of hazardous substances or petroleum products in, on, or at the subject property due to a release or likely release to the environment; or (3) the presence of hazardous substances or petroleum products in, on, or at the subject property under conditions that pose a material threat of a future release to the environment. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include “de minimis” conditions related to a release that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimis conditions are not recognized environmental conditions nor controlled recognized environmental conditions.

This is a standard assessment and does not include the testing or sampling of soil, soil vapor, air, groundwater, surface water, and/or building materials. In addition, the following non-scope considerations were not assessed in connection with this Phase I ESA: asbestos-containing materials, PCB-containing materials, indoor air quality, vapor intrusion conditions, per- and polyfluoroalkyl (PFAS) substances, radon, lead-based paint, lead in drinking water, regulatory compliance, industrial hygiene, health and safety, cultural and historic resources, ecological resources, endangered species, wetlands, biological agents, unexploded ordnance, high-voltage powerlines, mold or microbial growth conditions, and emerging substances or substances not defined as hazardous substances.

1.3 Significant Assumptions, Limitations and Exceptions

The intent of this Phase I ESA was to identify recognized environmental conditions in connection with the subject property and to evaluate the potential for hazardous substance and/or petroleum product contamination. To accomplish this, the historical and present uses of the subject property were studied by reviewing reasonably ascertainable records, by completing a site reconnaissance of the subject property, and by conducting interviews. Certain conditions or activities involving hazardous substances or petroleum products will not have been addressed by this site assessment unless they were specifically addressed by others during interviews or when documents were reviewed. These conditions or activities include:

- hazardous substances or petroleum products that are not readily apparent, upon diligent review,
- hazardous substances or petroleum products that came to be located in, on, or at the subject property through surreptitious activities or otherwise without the knowledge of previous owners, tenants, or agencies,
- hazardous substances or petroleum products, constituents, or concentrations of substances that are not currently defined as “hazardous” but which may be so defined in the future,
- hazardous substances or petroleum products placed in, on, or at the subject property following the site reconnaissance and submission of this report, and
- naturally occurring hazardous substances, not discovered upon diligent review.

This assessment is limited by time and financial considerations, as well as the limits of available technologies for practical environmental reconnaissance. Aplomado and its subcontractors used reasonable care as currently practiced by environmental professionals within our service area to diligently assess the potential for recognized environmental conditions in connection with this property. However, the absence of recognized environmental conditions found in this assessment of the subject property does not constitute a guarantee from Aplomado or its subcontractors that no recognized environmental conditions are present, nor does the discovery of some recognized environmental conditions imply that all potential recognized environmental conditions have been found. In the event that information on environmental or hazardous waste issues in connection with the subject property is obtained that is not contained in this report, such information shall be brought to Aplomado’s attention forthwith. Aplomado shall evaluate such information and, on the basis of this evaluation, may modify the findings and conclusions stated in this report. Aplomado assumes no responsibility for omissions after the final report is submitted. Aplomado assumes no responsibility for false testimony given by interviewed parties or false or incorrect data supplied by government agencies.

The scope of the Phase I ESA is not to identify, obtain, or review every possible record that might exist with respect to the subject property; rather, the scope is to review reasonably ascertainable record sources as defined under ASTM Practice E 1527-21. In accordance with the practice, “standard historical sources may be excluded if: (1) the sources are not reasonably ascertainable, or (2) if past experience indicates that the sources are not likely to be accurate or complete in terms of satisfying the objective” of helping to identify the likelihood of past uses having led to recognized

environmental conditions in connection with the property. The practice in part defines reasonably ascertainable sources as those that are publically available and practically reviewable such that they “yield information relevant to the subject property without the need for extraordinary analysis of irrelevant data.” This Phase I ESA has excluded two standard historical sources as meeting the aforementioned criteria: property tax files and zoning use records.

1.4 Special Terms and Conditions

The purpose of the Phase I ESA is to satisfy one of the requirements to qualify for the LLPs under CERCLA. Certain environmental conditions may exist on a property that are beyond the scope of the ASTM E 1527-21 standard practice but may warrant consideration by parties to a commercial real estate transaction. For instance, some substances may be present on a property in quantities and under conditions that may lead to contamination of the property or of nearby properties but are not included in CERCLA’s definition of hazardous substances. The list of substances includes, but is not limited to: asbestos-containing building materials, biological agents, lead-based paint, vapor intrusion chemicals of concern, radon, mold, and substances not defined as hazardous substances. Such substances are non-scope considerations under this practice and are not included within the terms and conditions of the scope of services for this Phase I ESA.

Additionally, parties who wish to qualify for one of the LLPs will need to know whether they are in compliance with Activity and Use Limitations (AULs) specific to the subject property. Examples of AULs include engineering controls, such as point of use water treatment, and institutional controls, such as a restrictive covenant on the access to a facility. A determination of compliance with AULs is beyond the scope of the E 1527-21 standard practice and is not included within the terms and conditions of the scope of services for this Phase I ESA.

1.5 User Reliance

This report is provided for the exclusive use by Habitat for Humanity Tucson. This report applies only to the subject property, although other properties may be mentioned in this assessment. Other parties who rely on this report or those who rely on it at a future date do so at their own risk. For the continued validity and use of this Phase I ESA report, certain information must be updated if it was last collected more than 180 days prior to the date of the acquisition of the property. Pursuant to Section 4.6 of ASTM E 1527-21, the Phase I ESA is presumed to be viable when the below elements are conducted or updated within 180 days prior to the date of acquisition or prior to the date of the transaction. The dates of the components are provided within the associated sections of the report and are also summarized below:

- March 8, 2023 interviews with owners, operators, and occupants;
- February 24, 2023 searches for recorded environmental cleanup
- March 5, 2023 reviews of federal, tribal, state, and local government records
- February 17, 2023 site reconnaissance of the subject property and adjoining properties
- March 10, 2023 Environmental Professional declaration

7.0 SUMMARY

7.1 Findings and Opinions

Apломado has performed a Phase I Environmental Site Assessment in general accordance with the scope and limitations of ASTM Practice E 1527-21. This section summarizes the findings and presents any known or suspected recognized environmental conditions, controlled recognized environmental conditions, historical recognized environmental conditions, and “de minimis” conditions identified for the subject property. The assessment for the subject property consisted of a site reconnaissance; a review of historical records, aerial photographs, and available agency environmental databases; interviews with owners; and the preparation of this report.

Site Description

The subject property consists of seven lots comprising approximately 1.96 acres of private land within the Rodeo Addition #2 residential subdivision along the Nogales Highway in Tucson, Arizona. The subject property is undeveloped and did not have a current land use. The eastern subject property boundary is bounded by the paved Nogales Highway and associated right-of-way. Current land use adjoining the subject property consists of commercial business to the north and east, undeveloped land to the south, and single family residences to the west. Title to the subject property is currently held by Rodeo Subdivision LLC.

Records Review

Standard and additional environmental records sources, physical setting sources, and historical use information that were reasonably ascertainable and practically reviewable were reviewed. The review of the standard environmental records sources indicated that the subject property is not listed:

- on a federal National Priorities List (Superfund) site,
- on or within one-half mile of a federal delisted National Priorities List site,
- on or within one-half mile of a federal CERCLA removals and orders (SEMS) list site,
- on or within one-half mile of a federal CERCLA NFRAP site,
- on or within one mile of a federal RCRA Corrective Action facility,
- on or within one-half mile of a federal RCRA TSD facility,
- on or adjoining a federal RCRA generator,
- on a federal IC/EC registry,
- on a federal ERNS list,
- on a state-equivalent Superfund list site,
- on or within one-half mile of a state-equivalent Hazardous Waste facility,
- on or within one-half mile of a state Landfill and/or Solid Waste Disposal site,
- on a state Leaking Storage Tank site,
- on a state Registered Storage Tank site,
- on a state IC/EC registry,
- on or within one-half mile of a state Voluntary Cleanup site,
- on or within one-half mile of a state Brownfield site.

FINAL

The review of the standard environmental records sources indicated the following:

- The subject property is not listed as a federal NPL site; however, it is within the one mile radius of the Tucson International Airport Area (TIAA) federal NPL site. The subject property is approximately one-eighth mile east of the groundwater contamination plume associated with the Tucson Airport Remediation Project (TARP) of the TIAA federal NPL site. The depth to groundwater beneath the subject property is approximately 80 to 100 feet. The groundwater is impacted by VOCs, mainly trichloroethene (TCE) and 1,4-dioxane. Currently the TARP area is in the operation and maintenance phase of cleanup and in 2013, an Advanced Oxidation Process system was constructed to remove VOCs from the groundwater. On-going water level and water quality data used to evaluate the performance of the existing remediation well fields indicate that the TARP remediation system is meeting compliance requirements, and the TARP AOP treatment plant shows consistent performance in removal of TCE and 1,4-dioxane.

Because of the VOCs in the groundwater, the EPA has also assessed for vapor intrusion (the migration of contaminants into the indoor air of buildings) in connection with the TARP area. The July 2018 cleanup update noted that “no chemicals of concern were detected above EPA screening criteria” for three test sites near the subject property, including the “East Elvira Lot” study area located approximately 700 feet to the south. In addition, the update stated “because these were the three areas that historically had the highest probability for finding vapor intrusion, EPA has a very high level of confidence that vapor intrusion is not an issue at the TIAA site.”

The current remediation has oversight by U.S. EPA Region 9 and ADEQ and is financed by a group of Potentially Responsible Parties. According to the EPA national policies, it will not require owners of residential property located on a Superfund site to perform a response action or pay response costs. In addition, pursuant to Arizona Revised Statute (A.R.S.) 49-283 (E), a person is not a responsible party with respect to hazardous substances that are located on or beneath property that is owned or occupied by that person if the hazardous substances are present solely because it migrated from property that is not owned or occupied by that person and that person is not otherwise a responsible party. Based on the on-going remediation, the depth to groundwater, the EPA findings for vapor intrusion, the EPA national policies, and the A.R.S. regulatory standard, Aplomado does not consider the federal NPL site to pose a significant environmental risk to the subject property at this time.

- The subject property is not listed as a state-equivalent CERCLIS site; however, the property is within the one-half mile radius of the Tucson International Airport Area (TIAA) state-equivalent CERCLIS site. Please refer to the above paragraph for the discussion of the state-equivalent CERCLIS site, the Tucson Airport Remediation Project (TARP) area of the TIAA superfund site.
- The subject property is not listed as a state Leaking Storage Tank (LUST) site. The subject property is located within one-half mile of two LUST sites, the Lawn & Garden Supply at 5455 South Nogales Highway and Abrasives & Equipment of Arizona at 5580 South Nogales Highway. Both of the LUST sites are listed as closed with the LUST priority code of 5R1, or “closed with soil levels meeting Risk-Based Corrective Action (RBCA) Tier 1” and are situated greater than 375 feet from the subject property. Based

FINAL

on the LUST site closures, the conservative evaluation of the RBCA Tier evaluation process, and the distance of the subject property from the LUST sites, Aplomado does not consider the LUST sites to pose a significant environmental risk to the subject property at this time.

- The subject property is not listed as a state Registered Storage Tank site. The subject property is adjoined by one facility with a registered UST. The Lawn & Garden Supply at 5455 South Nogales Highway, Road, approximately 375 feet southeast, is registered with one UST permanently removed. The registered storage tank site is also listed as a state LUST site and is “closed” with LUST priority code 5R1. Based on the above-referenced closure for this facility, Aplomado does not consider the UST facility to pose a significant environmental risk to the subject property at this time.

The review of the additional environmental records sources did not indicate documented hazardous materials incidents for the subject property. Building records for the subject property were limited to wildcat dumping complaints from the early 2010's and pre-submittal documents for a single family attached subdivision. Review of an environmental search report did not indicate environmental liens, VEMURs, or DEURs for the subject property.

Records review of physical setting sources and historical use information indicated that the subject property has been undeveloped since at least the mid 1930's. Records review indicated that the subject property remained undeveloped through the mid 1960's at which time an area within the southern portion was cleared, followed later by an unpaved, single-track road crossing the property. The subject property remained undeveloped; however, the property was used for wildcat dumping of waste and debris.

Site Reconnaissance

Reconnaissance of the subject property indicated the property was predominantly undeveloped with an unpaved, single-track road crossing the central portion and a cleared area in the southern portion. Man-made impact from wildcat dumping was observed along the western boundary of the subject property next to the alley. Numerous areas were observed with wildcat dumping of glass, plastic, metal, wood, landscape debris, gravel, concrete and block rubble, discarded household trash, and other garbage and waste materials. The wildcat dumping included two empty, 5-gallon latex paint buckets and a single 1-gallon oil container with “de minimis” soil staining. Indications of discarded hazardous substances, wastes, or petroleum products were not readily apparent in connection with the wildcat dumping, nor were notable surface stains, spills, or odors observed.

Site reconnaissance observations did not indicate buildings or structures, sources of potable water, or sewage disposal systems on the subject property. Indications of aboveground storage tanks and USTs, including associated vent pipes, fill pipes, or access ways, were not visually or physically observed during the site reconnaissance. Electrical or hydraulic equipment that may contain PCBs were not visually or physically observed on the subject property. With the exception of a single discarded 1-gallon oil container with “de minimis” surface staining, the usage of hazardous substances or petroleum products was not visually or physically observed, nor were drums, sacks, or other containers of hazardous substances, petroleum products, hazardous wastes or other unidentified substances observed in connection with the subject property. In addition, strong,

pungent, or noxious odors, pools of liquid, or surface stains were not visually or physically observed. Additionally, indications of pits, ponds, lagoons, discharged wastewater, septic systems, fill dirt, wells, or drywells were not visually or physically observed for the exterior of the subject property. Indications of stained soil or pavement or atypical stressed or dying vegetation also were not visually or physically observed on the subject property. Site reconnaissance observations indicated an area of slag approximately thirty feet in diameter within the Nogales Highway right-of-way on adjoining property to the east.

Interviews

From an interview and the completed owner questionnaire, the subject property was undeveloped. The interview and questionnaire did not indicate ASTs, USTs, HAZMAT responses, or dumping of hazardous substances or petroleum products on the subject property.

User Provided Information

Review of a user questionnaire provided by Habitat for Humanity Tucson did not indicate environmental liens or activity and use limitations, specialized knowledge, commonly known or reasonably ascertainable information, or valuation reduction for environmental issues in connection with the subject property. The user questionnaire review indicated that the Phase I ESA was required for government funding to be utilized for new home construction. Land title records for the subject property were not provided by the user.

7.2 Deviations and Data Gaps

Deviations in the form of exceptions to, or deletions from, this practice are described in Section 1.3 of this report. This Phase I ESA did not include testing, sampling, or non-scope considerations as described in Section 1.2 of this report. Additional environmental issues or conditions outside the scope of ASTM Practice E 1527-21 were not addressed as part of this Phase I ESA. Outside standard practices, other standards, or protocols were not utilized in connection with this practice.

A data gap is a lack of or inability to obtain information required by this practice despite good faith efforts to gather such information. Data gaps may result from incompleteness in any of the activities required by this practice, including, but not limited to site reconnaissance and interviews. Data failure is one type of data gap. Data failures in connection with this Phase I ESA are described in Section 4.4 of this report. Significant data gaps that affected the identification of recognized environmental conditions in connection with the subject property were not encountered.

7.3 Conclusions and Recommendations

Aplomado has performed a Phase I ESA in general conformance with the scope and limitations of ASTM Practice E 1527-21 of the subject property located at 5386, 5390, 5400, 5406, 5412, 5418, and 5424 South Nogales Highway in Tucson, Arizona. Any exceptions to, or deletions from, this practice are described in Section 1.3 of this report. This assessment has revealed no recognized environmental conditions, controlled recognized environmental conditions, or significant data gaps in connection with the subject property. Based on the findings, additional environmental assessment of the subject property is not recommended at this time.

FINAL

The following are environmental conditions pursuant to the scope of the ASTM Standard Practice E 1527-21 that did not indicate the presence or likely presence of any hazardous substances or petroleum products under conditions indicative of a release, a past release, or a material threat of a future release to the environment. However, under certain circumstances, these environmental conditions may lead to contamination of the property or nearby properties, therefore Aplomado has provided the following general information:

1. *Wildcat Dumping.* The western portion of the subject property has been used for wildcat dumping of glass, plastic, metal, wood, landscape debris, gravel, concrete and block rubble, discarded household trash, and other garbage and waste materials. Indications of dumping of hazardous substances or petroleum products were not readily apparent in connection with the wildcat dumping, nor were strong/pungent odors, notable surface stains, spills, drums or similar waste containers. Aplomado recommends that the wildcat dump materials be removed and disposed appropriately. If suspected hazardous substances or petroleum products are encountered during removal of the wildcat dump materials, Aplomado recommends further assessment of the suspected materials by an Environmental Professional.
2. *Slag on Adjoining Property.* An area of slag approximately thirty feet in diameter was present on the ground surface within the Nogales Highway right-of-way on adjoining property to the east. Slag is a rock-like material generated when a metal is thermally separated from the raw ore. In Arizona, slag typically is an iron and silica compound that comes from copper smelting. Slag from primary copper processing is not a solid waste pursuant to 40 CFR § 261.4(b)(7) based on the 1990 EPA study of mineral processing wastes.¹¹ Although the EPA did not find significant actual or potential danger for slag from primary copper processing, Aplomado recommends the slag be removed and disposed appropriately.

7.4 Non-scope Considerations

The following is a non-scope consideration outside the scope of the ASTM Standard Practice E 1527-21 and was not assessed in connection with this Phase I ESA. Since the following non-scope consideration under certain conditions may lead to contamination of the property or nearby properties, Aplomado has provided the following general information.

Radon. Radon is a radioactive gas that is produced from the natural decay of uranium, radium, and thorium in soil, rock, and groundwater beneath homes and buildings. As uranium naturally breaks down, it releases radon gas which is a colorless, odorless, radioactive gas. Radon gas enters buildings through dirt floors, cracks in concrete walls and floors, floor drains, and sumps. Sometimes radon enters buildings through well water. When radon becomes trapped in buildings and concentrations accumulate and increase indoors, exposure to radon can become a concern.

The EPA recommends building occupants take steps to reduce radon levels when radon levels reach 4 picocuries per liter (pCi/L) or more. Because there is no known safe level of exposure to radon, the EPA also recommends radon mitigation measures for buildings with radon levels above 2 pCi/L. The EPA has divided the country into three radon zones based on the potential for indoor radon

FINAL

levels. All the counties in Arizona have been identified as located within Radon Zone 2. The predicted average indoor radon screening level for Radon Zone 2 counties is between 2 and 4 pCi/L, the radon level recommended for mitigation measures. However, the best way to determine the radon level in a building is to do a radon test. Actual radon exposures can be affected by diverse factors such as building construction, HVAC systems, and occupancy patterns. In addition, modern “energy efficient” structures with reduced airflow can contribute to radon gas accumulation.

For new construction, soil testing for radon is not recommended for determining whether a building should be built with radon mitigation measures. Although soil testing can be done, it cannot rule out the possibility that radon could be a problem in the building. Even if soil testing reveals low levels of radon gas in the soil, the amount of radon that may enter the finished building cannot be accurately predicted because one cannot predict the impact that the site preparation will have on introducing new radon pathways or the extent to which a vacuum will be produced by the building. The simplest approach for new construction is to install a passive soil depressurization system. When the gravel beneath the slab (gas-permeable layer), plastic sheeting, and sealing and caulking are employed for moisture reduction, simply adding a vent pipe and junction box is an extremely cost-effective mitigation measure for reducing radon levels.¹²

New structures are not required to meet a specified radon level, testing is not required, nor is there a requirement to guarantee that a building will meet a specified radon level. However, by installing radon mitigation measures, sellers proactively offer features designed to reduce radon levels. Adopting radon mitigation measures should not increase liability risks in any jurisdiction as long as due care is exercised in following the proper construction techniques. Especially in high radon areas, radon-resistant features may actually help marketing and sales of such buildings. In addition, failing to account for radon exposure risks or inadequately responding to such risks may give rise to possible exposure to personal injury law suits and/or judgments.

Rodeo Addition #2 (Lots 110–116), 5386–5424 South Nogales Highway, Tucson, Arizona, APN's 137-04-1100 through 137-04-1160



PHOTO 1: North-facing view of the subject property from the southern property boundary. Note the unpaved single-track road.



PHOTO 2: Northwest-facing view of the northern portion of the subject property. The property was mostly covered with vegetation.



PHOTO 3: East-facing view of the grass and relatively dense vegetation by the wall along the northern subject property boundary.



PHOTO 4: West-facing view of the area cleared of vegetation in the southern portion of the subject property.

Rodeo Addition #2 (Lots 110–116), 5386–5424 South Nogales Highway, Tucson, Arizona, APN's 137-04-1100 through 137-04-1160



PHOTO 5: West-facing view of the unpaved, single-track road along the southern boundary of the subject property.



PHOTO 6: Northwest-facing view of the alley along the western boundary of the subject property. The alley provided access to the property.

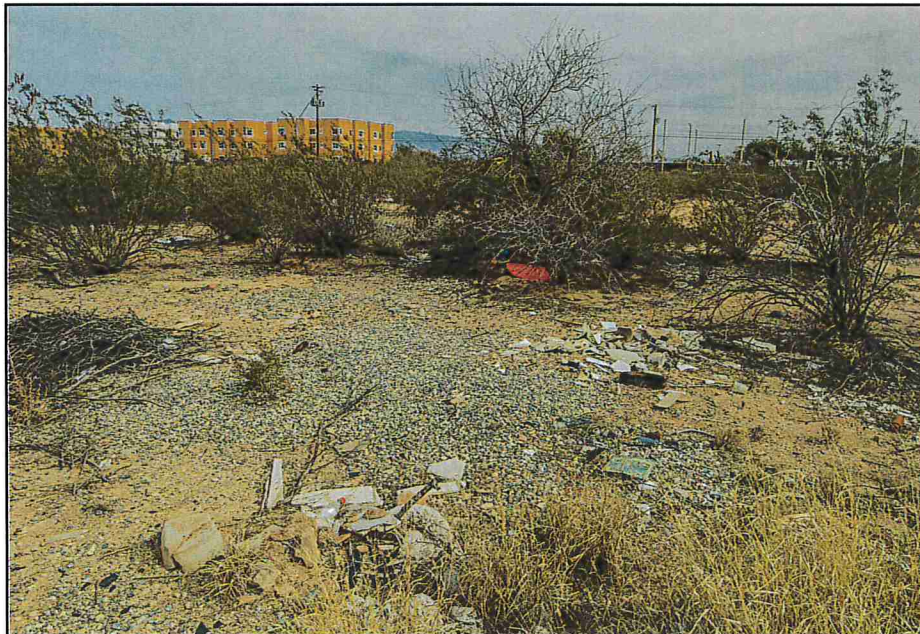


PHOTO 7: Northeast-facing view of an area of wildcat dumping near the western boundary of the subject property.



PHOTO 8: North-facing view of wildcat dumping of glass, plastic, metal, and household trash in the northern portion of the subject property.

Rodeo Addition #2 (Lots 110–116), 5386–5424 South Nogales Highway, Tucson, Arizona, APN's 137-04-1100 through 137-04-1160



PHOTO 9: East-facing view of wildcat dumping of concrete and block rubble along the western boundary of the subject property.



PHOTO 10: East-facing view of wildcat dumping of household trash near the alley along the western boundary of the subject property.



PHOTO 11: View of an empty 5-gallon latex paint bucket. Evidence of stains, spills, or odors were not observed.



PHOTO 12: View of a discarded 1-gallon oil container. Note the “de minimis” oil staining near the container.

Rodeo Addition #2 (Lots 110–116), 5386–5424 South Nogales Highway, Tucson, Arizona, APN's 137-04-1100 through 137-04-1160



PHOTO 13: West-facing view of Marymar Rentals commercial event venue on adjoining property to the north of the subject property.



PHOTO 14: Northeast-facing view of the residential apartment complex under construction on adjoining property to the northeast.



PHOTO 15: East-facing view of the Title Loans building and the vacant building on adjoining property to the east.



PHOTO 16: Southeast-facing view of Canyon Welding & Fabrication on adjoining property to the southeast.

Rodeo Addition #2 (Lots 110–116), 5386–5424 South Nogales Highway, Tucson, Arizona, APN's 137-04-1100 through 137-04-1160



PHOTO 17: East-facing view of the area with railroad slag within the Nogales Highway right-of-way on adjoining property to the east.

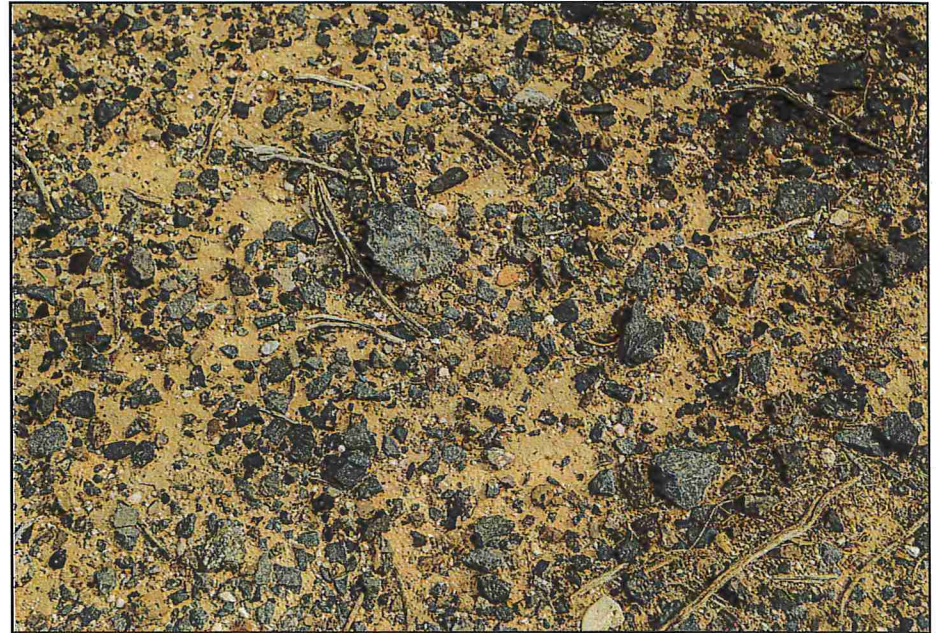


PHOTO 18: View of the railroad slag located on the ground surface within the Nogales Highway right-of-way.



PHOTO 19: Southwest-facing view of the undeveloped land on adjoining property to the south and southwest.

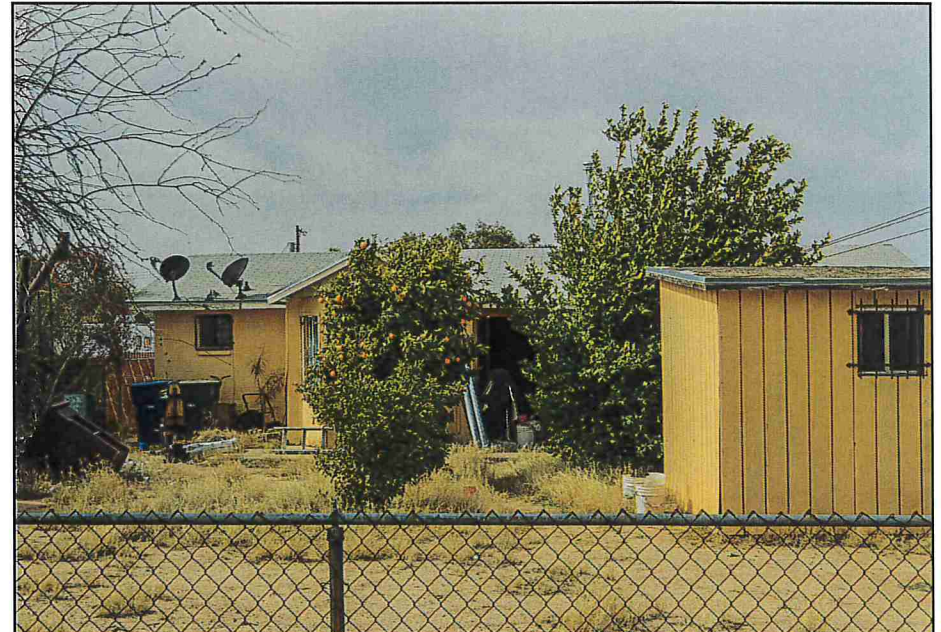


PHOTO 20: West-facing view of a single family residence within the Rodeo Addition #2 subdivision on adjoining property to the west.

STATE HISTORIC PRESERVATION OFFICE
SURVEY REPORT SUMMARY FORM

1

1. REPORT TITLE

1a. Report Title: *Class III Cultural Resources Survey of Approximately 2 Acres on the West Side of S. Nogales Highway between Irvington and Drexel Roads in Tucson, Pima County, Arizona*

1b. Report Author(s): Galen McCloskey, M.A.

1c. Date: May 31, 2023 **1d. Report No.:** Tierra Archaeological Report No. 2023-035

2. PROJECT REGISTRATION/PERMITS

2a. ASM Accession Number: 2023-0198

2b. AAA Permit Number: 2023-053bl

2c. ASLD Lease Application Number(s): N/A

2d. Other Permit Number(s): N/A

3. ORGANIZATION/CONSULTING FIRM

3a. Name: Tierra Right of Way Services, Ltd.

3b. Internal Project Number: 23TA06-117.01

3c. Internal Project Name: COT-5424 S Nogales Hwy Cl III

3d. Contact Name: Barbara Montgomery

3e. Contact Address: 1575 East River Road, Suite 201, Tucson, AZ 85718

3f. Contact Phone: 520.319.2106

3g. Contact Email: bmontgomery@tierra-row.com

4. SPONSOR/LEAD AGENCY

4a. Sponsor: City of Tucson (COT)

4b. Lead Agency: COT Historic Preservation Office

4c. Agency Project Number(s): Project No. COT 23-008

4d. Agency Project Name: N/A

4e. Funding Source(s): COT

4f. Other Involved Agencies: N/A

4g. Applicable Regulations: City of Tucson Resolution No. 12443, Administrative Directive for the Protection of Archaeological and Historical Resources in City Projects, City of Tucson, May 1999; A.R.S. §41-861 et seq.

**STATE HISTORIC PRESERVATION OFFICE
SURVEY REPORT SUMMARY FORM**

5. DESCRIPTION OF PROJECT OR UNDERTAKING: The City of Tucson Housing & Community Development is considering the development of affordable housing near the address of 5424 S. Nogales Highway in Tucson. Prior to ground-disturbing activities, a Class III cultural resources survey is required by the COT Historic Preservation Office.

6. PROJECT AREA/AREA OF POTENTIAL EFFECTS: The project area is along the west side of S. Nogales Highway and measures 2 acres in size (Photo 1; Figures 1 and 2). Specifically, the project area includes Pima County Parcel Nos. 137-04-1100, 137-04-1110, 137-04-1120, 137-04-1130, 137-04-1140, 137-04-1150, and 137-04-1160.

7. PROJECT LOCATION

7a. Address: 5386–5424 S. Nogales Hwy

7b. Route: N/A

7c. Mileposts Limits: N/A

7d. Nearest City/Town: Tucson **7e. County:** Pima County

7f. Project Locator UTM: 503315 Easting, 3557510 Northing **7g. NAD 83** **7h. Zone:** 12

7i. Baseline & Meridian: G&SR **7j. USGS Quadrangle(s):** Tucson, AZ 7.5-minute

7k. Legal Description(s): Portions of the W ½ of the NE ¼ of the SE ¼ of Section 1, Township 15 South, Range 13 East.

8. SURVEY AREA

8a. Total Acres: 2 acres

8b. Survey Area.

1. Land Jurisdiction	2. Total Acres Surveyed	3. Total Acres Not Surveyed	4. Justification for Areas Not Surveyed
City of Tucson	2	0	N/A

9. ENVIRONMENTAL CONTEXTS

9a. Landform: Fan terraces

9b. Elevation: 2,505 ft amsl

9c. Surrounding Topographic Features: Fan terraces.

9d. Nearest Drainage: Santa Cruz River

9e. Local Geology: Quaternary surficial deposits, undivided (0-2 Mya) (Arizona Geological Survey 2023)

STATE HISTORIC PRESERVATION OFFICE
SURVEY REPORT SUMMARY FORM

9f. Vegetation: Arizona Upland Subdivision of the Sonoran Desertscrub biotic community (Brown 1994). Predominantly creosote and acacia with various bunch grasses.

9g. Soils/Deposition: Sahuarita soils, Mohave soils, and urban land (NRCS 2023).

9h. Buried Deposits: Not likely

9i. Justification: The ground is compact desert pavement with no indication of buried cultural deposits.

10. BUILT ENVIRONMENT: Residential neighborhood to the west of the project area, S. Nogales Highway along the east side, various businesses to the north, and undeveloped desert to the south.

11. INVENTORY CLASS COMPLETED

11a. Class I Inventory:

11b. Researcher(s):

11c. Class II Survey:

11d Sampling Strategy:

11e. Class III Inventory:

12. BACKGROUND RESEARCH SOURCES

12a. AZSITE:

12b. ASM Archaeological Records Office:

12c. SHPO Inventories and/or SHPO Library:

12d. NRHP Database:

12e. ADOT Portal:

12f. GLO Maps: GLO Map Nos. 2117, dated June 23, 1871; 2118, dated June 11, 1873; 2148, dated March 21, 1871; and 2050, dated July 31, 1879 (T15S, R13E) show no historic roads or structures within the project area (Figure 3).

12g. Land- Managing Agency Files: N/A

12h. Tribal Cultural Resources Files: N/A

12i. Local Government Websites: N/A

12j. Other: N/A

**STATE HISTORIC PRESERVATION OFFICE
SURVEY REPORT SUMMARY FORM**

13. BACKGROUND RESEARCH RESULTS

13a. Previous Projects within Project Area (Figure 4).

1. Project Reference Number	2. Project Name	3. Author(s)	4. Year
1987-177.ASM	2.5 Miles of Proposed Road Improvement Project on US 89 between Irvington and Hughes Access Road	Bontrager	1987
2003-396.ASM	Nogales Highway: Irvington to Drexel Survey	Swartz	2003

13b. Previously Recorded Cultural Resources within Project Area (see Figure 4).

1. Site Number	2. Affiliation	3. Site Type	4. Eligibility Status	5. Associated Reference(s)
AZ BB:13:427(ASM)	Unknown	Artifact scatter	Unknown	Unknown
AZ BB:13:1007(ASM)	Unknown	Unknown	Unknown	Unknown
AZ EE:1:300(ASM)	Euro-American	Railroad bed	Eligible (SHPO)	Heilman 2013

13c. Historic Buildings/Districts/Neighborhoods. (None in project area)

1. Property Name or Address	2. Year	3. Eligibility Status
N/A		

14. CULTURAL CONTEXTS

- 14a. Prehistoric Culture: Hohokam
- 14b. Protohistoric Culture: O'odham
- 14c. Indigenous Historic Culture: O'odham
- 14d. Euro-American Culture: A.D. 1500-1973

15. FIELD SURVEY PERSONNEL

- 15a. Principal Investigator: Barbara K. Montgomery, Ph.D.
- 15b. Field Supervisor: Galen McCloskey, M.A.
- 15c. Crew: N/A
- 15d. Fieldwork Date(s): May 17, 2023

16. SURVEY METHODS

- 16a. Transect Intervals: 15 m apart
- 16b. Coverage (%): 100
- 16c. Site Recording Criteria: ASM

**STATE HISTORIC PRESERVATION OFFICE
SURVEY REPORT SUMMARY FORM**

16d. Ground Surface Visibility: 75% visibility with tall grass and vegetation obscuring part of the project area.

16e. Observed Disturbances: The project area has several vehicle tracks throughout the project area and modern trash was observed all over the project area.

17. FIELD SURVEY RESULTS

17a. No Cultural Resources Identified:

17b. Isolated Occurrences (IOs) Only: Figure 5

17c. Number of IOs Recorded: 0

17d. Table of IOs

1. IO Number	2. Description	3. Date Range	4. UTM's
I01	Bimetal pull-tab can	A.D. 1900-1973	E503288, N3557518

18. COMMENTS: No sites or historic buildings were observed in the project area during the survey. The nearest previously recorded site is AZ EE:1:300(ASM), which is a railroad bed track and does not extend outside of the railroad corridor. Therefore, Tierra recommends that development should be allowed to proceed for the proposed project without further archaeological work.

SECTION 19. ATTACHMENTS

- 19a. Project Location Map: Figures 1 and 2
- 19b. Land Jurisdiction Map: Figure 1
- 19c. Background Research Map(s): Figure 4
- 19d. GLO Map(s): Figure 3
- 19e. References:

SECTION 20. CONSULTANT CERTIFICATION

I certify the information provided herein has been reviewed for content and accuracy and all work meets applicable agency standards.

Barbara K. Montgomery

Signature

Principal Investigator

Title

SECTION 21. DISCOVERY CLAUSE

In the event that previously unreported cultural resources are encountered during ground disturbing activities, all work must immediately cease within 30 meters (100 feet) until a qualified archaeologist has documented the discovery and evaluated its eligibility for the Arizona or National Register of Historic Places in consultation with the lead agency, the SHPO, and Tribes, as appropriate. Work must not resume in this area without approval of the lead agency.

If human remains are encountered during ground-disturbing activities, all work must immediately cease within 30 meters (100 feet) of the discovery and the area must be secured. The Arizona State Museum, lead agency, SHPO, and appropriate Tribes must be notified of the discovery. All discoveries will be treated in accordance with NAGPRA (Public Law 101-601; 25 U.S.C. 3001-3013) or Arizona Revised Statutes (A.R.S. § 41-844 and A.R.S. § 41-865), as appropriate, and work must not resume in this area without authorization from ASM and the lead agency.

References Cited

Arizona Geological Survey

2023 The Geologic Map of Arizona. Available at: <https://geomapaz.azgs.arizona.edu/>. Accessed on May 16, 2023.

Bontrager, Daniel R.

1987 *Cultural Resources Survey of 2.5 Miles of Proposed Road Improvement Project on U.S. 89 between Irvington Road and Hughes Access Road*. Archaeological Research Services, Inc., Tempe, Arizona.

Brown, David E. (editor)

1994 *Biotic Communities: Southwestern United States and Northwestern Mexico*. University of Utah Press, Salt Lake City.

Heilman, Jill

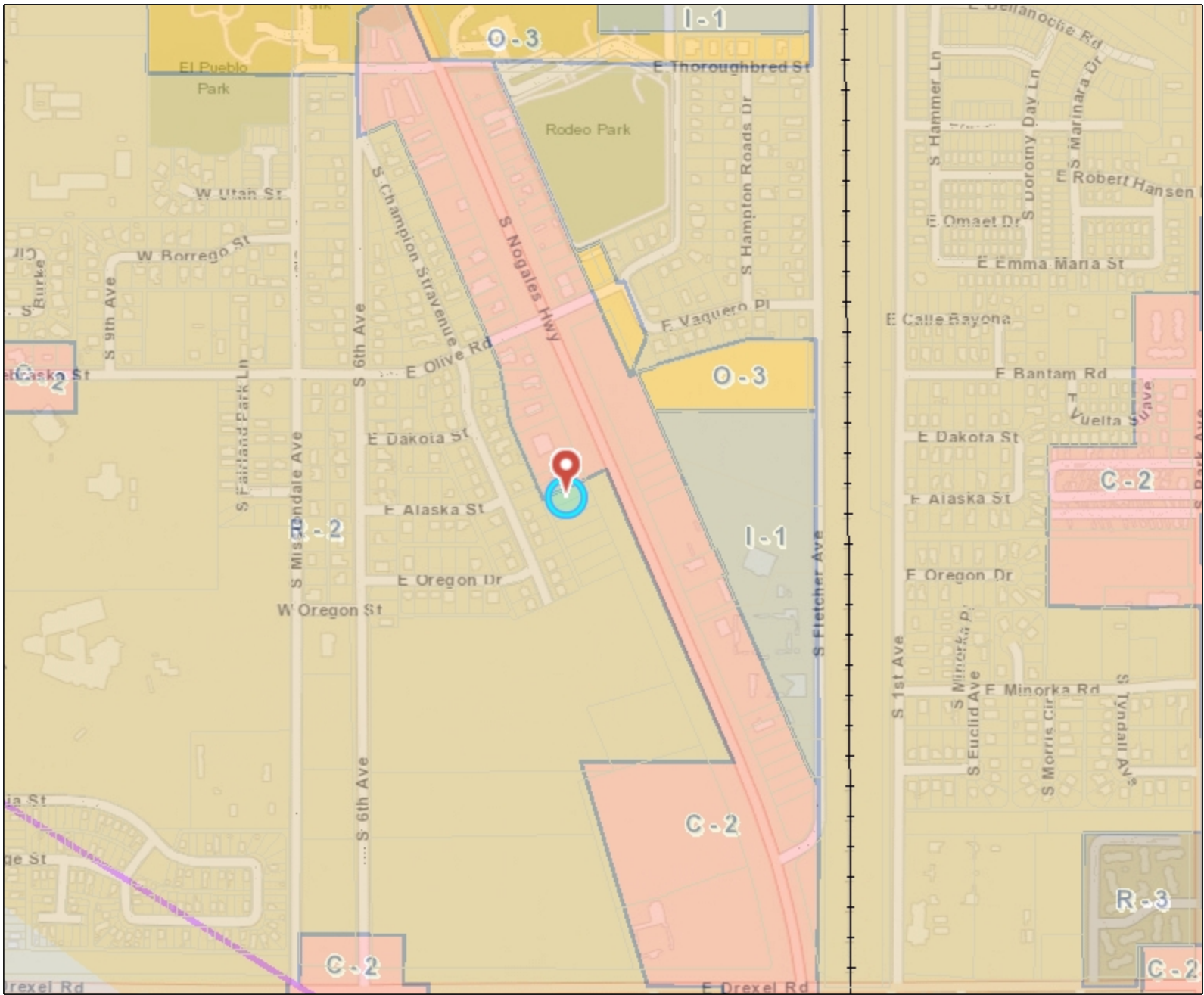
2013 *Cultural Resource Survey in Support of Improvements along Old Vail Connection Road and Nogales Highway within Unincorporated Pima County, Arizona*. Report No. 13-442. EcoPlan Associates, Inc., Tucson, Arizona.

Natural Resources Conservation Service (NRCS)

2023 Web Soil Survey Map. Available at: <http://websoilsurvey.nrcs.usda.gov/app/>. Accessed on May 16, 2023.

Swartz, Deborah L.

2003 *A Cultural Resources Survey from Drexel Road to Irvington Road along Nogales Highway, U.S. 89, Pima County, Arizona*. Project Report No. 03-124. Desert Archaeology, Inc., Tucson, Arizona.



Notes

Zoning Map

Legend

- | | | | | |
|---|---------------------------------------|-----------------|-------|-------|
| Land Fills - City/County | Avigation Easement & Disclosure Areas | PAD-41; PAD-37; | NR-3 | HLC-3 |
| Land Fills - State/Federal | DM AFB Approach-Departure Corridors | R-1 | UR-3 | UC-3 |
| Leaking Underground Storage Tanks - COT Owned | ADC-1 | HLR-1 | C-1 | HNC |
| Parcels | ADC-2 | HR-1 | HC-1 | O-1 |
| Railroads | ADC-3 | NR-1 | HLC-1 | HO-1 |
| AEZ Noise 65-70 LDN | DM AFB Noise Control Districts | R-2 | UC-1 | O-2 |
| 70-75 LDN | NCD-A | HLR-2 | UHC-1 | HO-2 |
| 70-PLUS LDN | NCD-B | HR-2 | C-2 | O-3 |
| | Airport Hazard Districts | NR-2 | HC-2 | HO-3 |
| | | R-3 | C-3 | P |
| | | HR-3 | HC-3 | HP |

1: 9,028



1,457.6 0 728.82 1,457.6 Feet



EJScreen Community Report

This report provides environmental and socioeconomic information for user-defined areas, and combines that data into environmental justice and supplemental indexes.

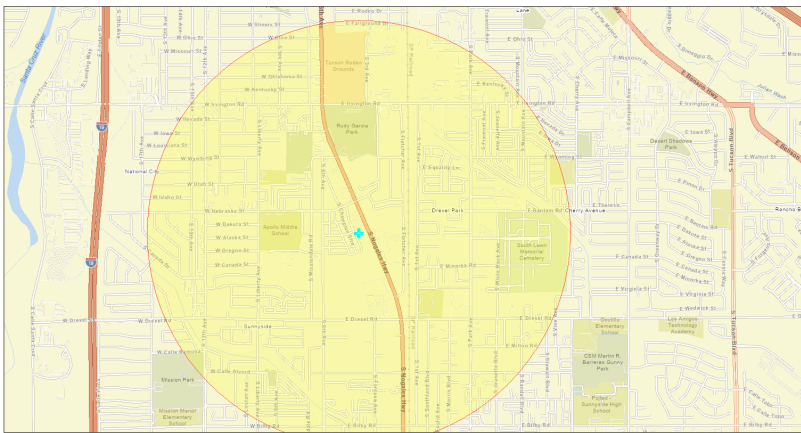
Tucson, AZ

1 mile Ring Centered at 32.154469, -110.965176

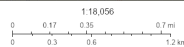
Population: 19,461

Area in square miles: 3.14

A3 Landscape

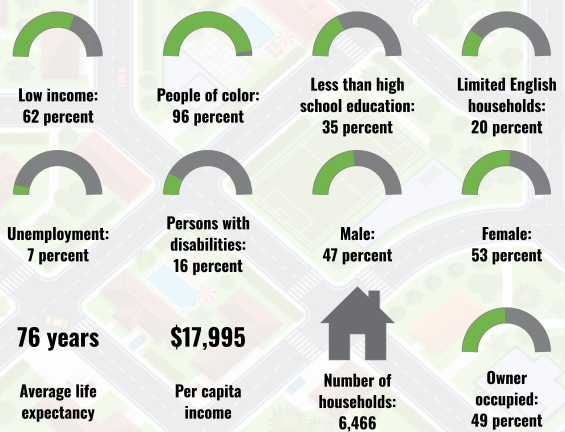


January 11, 2024
5390 S Nogales Hwy, Tucson, AZ 85706

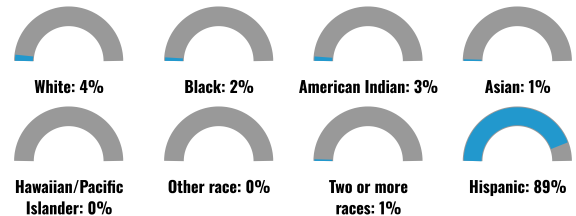


Map Community Map Contributors: COMMAP, Esri, Garmin, Google, Mapbox, OpenStreetMap, and METRISIA. USGS, Bureau of Land Management, EPA, APN, US Census Bureau, USDA, USFWS

COMMUNITY INFORMATION



BREAKDOWN BY RACE



BREAKDOWN BY AGE



LIMITED ENGLISH SPEAKING BREAKDOWN



Notes: Numbers may not sum to totals due to rounding. Hispanic population can be of any race. Source: U.S. Census Bureau, American Community Survey (ACS) 2017-2021. Life expectancy data comes from the Centers for Disease Control.

LANGUAGES SPOKEN AT HOME

LANGUAGE	PERCENT
English	30%
Spanish	68%
Other and Unspecified	1%
Total Non-English	70%

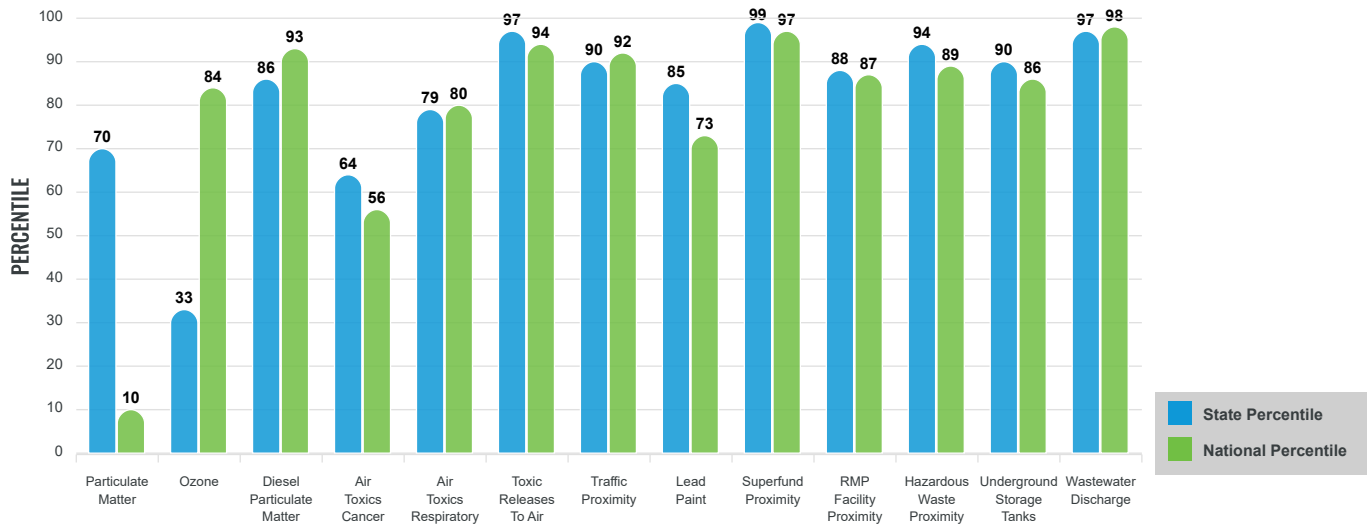
Environmental Justice & Supplemental Indexes

The environmental justice and supplemental indexes are a combination of environmental and socioeconomic information. There are thirteen EJ indexes and supplemental indexes in EJScreen reflecting the 13 environmental indicators. The indexes for a selected area are compared to those for all other locations in the state or nation. For more information and calculation details on the EJ and supplemental indexes, please visit the [EJScreen website](#).

EJ INDEXES

The EJ indexes help users screen for potential EJ concerns. To do this, the EJ index combines data on low income and people of color populations with a single environmental indicator.

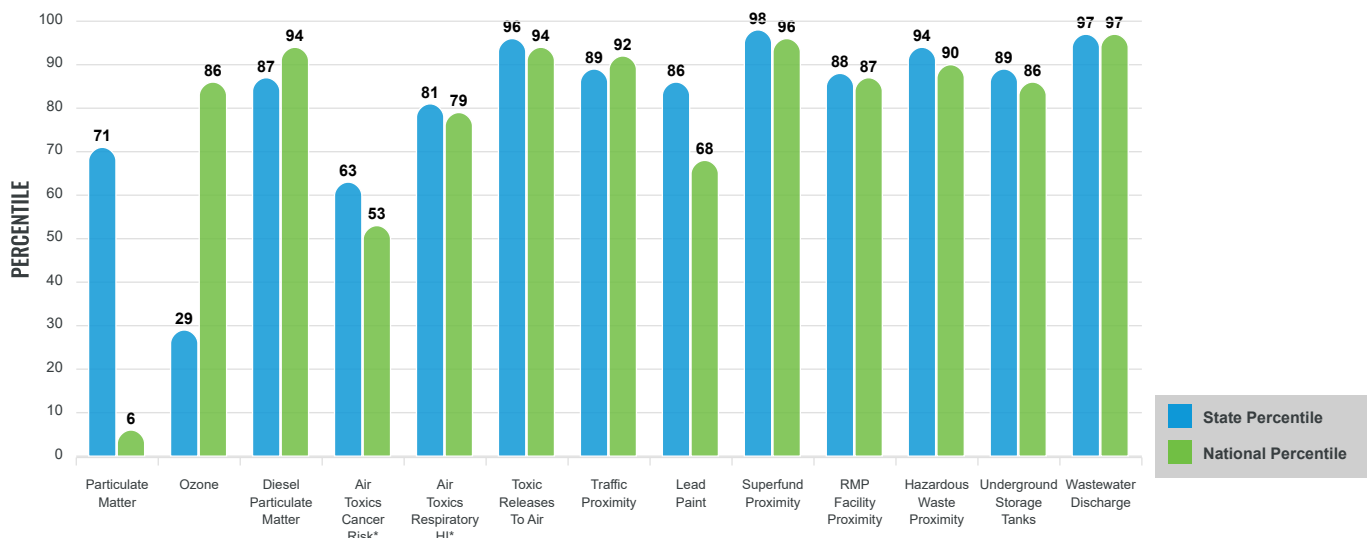
EJ INDEXES FOR THE SELECTED LOCATION



SUPPLEMENTAL INDEXES

The supplemental indexes offer a different perspective on community-level vulnerability. They combine data on percent low-income, percent linguistically isolated, percent less than high school education, percent unemployed, and low life expectancy with a single environmental indicator.

SUPPLEMENTAL INDEXES FOR THE SELECTED LOCATION



These percentiles provide perspective on how the selected block group or buffer area compares to the entire state or nation.

Report for 1 mile Ring Centered at 32.154469,-110.965176

EJScreen Environmental and Socioeconomic Indicators Data

SELECTED VARIABLES	VALUE	STATE AVERAGE	PERCENTILE IN STATE	USA AVERAGE	PERCENTILE IN USA
POLLUTION AND SOURCES					
Particulate Matter (µg/m ³)	4.85	5.87	30	8.08	2
Ozone (ppb)	60.9	66.1	11	61.6	48
Diesel Particulate Matter (µg/m ³)	0.327	0.278	55	0.261	73
Air Toxics Cancer Risk* (lifetime risk per million)	21	25	13	25	5
Air Toxics Respiratory HI*	0.3	0.31	30	0.31	31
Toxic Releases to Air	1,900	2,800	88	4,600	72
Traffic Proximity (daily traffic count/distance to road)	190	190	66	210	73
Lead Paint (% Pre-1960 Housing)	0.12	0.089	79	0.3	38
Superfund Proximity (site count/km distance)	0.16	0.077	92	0.13	81
RMP Facility Proximity (facility count/km distance)	0.25	0.38	70	0.43	63
Hazardous Waste Proximity (facility count/km distance)	1	0.71	81	1.9	62
Underground Storage Tanks (count/km ²)	1.8	1.7	69	3.9	57
Wastewater Discharge (toxicity-weighted concentration/m distance)	1.1	5.8	83	22	91
SOCIOECONOMIC INDICATORS					
Demographic Index	79%	38%	94	35%	95
Supplemental Demographic Index	29%	14%	93	14%	93
People of Color	96%	44%	95	39%	93
Low Income	62%	32%	88	31%	90
Unemployment Rate	7%	6%	68	6%	69
Limited English Speaking Households	20%	4%	95	5%	93
Less Than High School Education	35%	12%	92	12%	94
Under Age 5	7%	5%	70	6%	70
Over Age 64	10%	20%	35	17%	27
Low Life Expectancy	21%	19%	71	20%	70

*Diesel particulate matter, air toxics cancer risk, and air toxics respiratory hazard index are from the EPA's Air Toxics Data Update, which is the Agency's ongoing, comprehensive evaluation of air toxics in the United States. This effort aims to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that the air toxics data presented here provide broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. Cancer risks and hazard indices from the Air Toxics Data Update are reported to one significant figure and any additional significant figures here are due to rounding. More information on the Air Toxics Data Update can be found at: <https://www.epa.gov/haps/air-toxics-data-update>.

Sites reporting to EPA within defined area:

Superfund	0
Hazardous Waste, Treatment, Storage, and Disposal Facilities	0
Water Dischargers	5
Air Pollution	0
Brownfields	49
Toxic Release Inventory	2

Other community features within defined area:

Schools	8
Hospitals	0
Places of Worship	8

Other environmental data:

Air Non-attainment	No
Impaired Waters	No

Selected location contains American Indian Reservation Lands*	No
Selected location contains a "Justice40 (CEJST)" disadvantaged community	Yes
Selected location contains an EPA IRA disadvantaged community	Yes

Report for 1 mile Ring Centered at 32.154469,-110.965176

EJScreen Environmental and Socioeconomic Indicators Data

HEALTH INDICATORS					
INDICATOR	VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Low Life Expectancy	21%	19%	71	20%	70
Heart Disease	5.9	6	57	6.1	48
Asthma	11.8	10.6	88	10	89
Cancer	4	6.1	18	6.1	10
Persons with Disabilities	15.3%	13.9%	65	13.4%	67

CLIMATE INDICATORS					
INDICATOR	VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Flood Risk	0%	6%	31	12%	13
Wildfire Risk	0%	48%	0	14%	0

CRITICAL SERVICE GAPS					
INDICATOR	VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Broadband Internet	12%	13%	62	14%	54
Lack of Health Insurance	23%	10%	92	9%	95
Housing Burden	Yes	N/A	N/A	N/A	N/A
Transportation Access	Yes	N/A	N/A	N/A	N/A
Food Desert	Yes	N/A	N/A	N/A	N/A

Footnotes

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