

**Environmental Assessment  
Determinations and Compliance Findings  
for HUD-assisted Projects  
24 CFR Part 58**

**Project Information**

**Project Name:** Gateway-Apartments

**HEROS Number:** 900000010122420

**Responsible Entity (RE):** TUCSON, PO Box 27210 Tucson AZ, 85726

**RE Preparer:** Glenn Fournie

**State / Local Identifier:**

**Certifying Officer:** Liz Morales

**Grant Recipient (if different than Responsible Entity):**

**Point of Contact:**

**Consultant (if applicable):**

**Point of Contact:**

**Project Location:** 1430 N Oracle Rd, Tucson, AZ 85705

**Additional Location Information:**  
N/A

**Direct Comments to:** Glenn.Fournie@Tucsonaz.gov

**Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:**

The Gateway Apartments project includes demolition of existing structures, excavation, trenching, grading and the new construction of 120 affordable housing units. The site preparation will involve the demolition of seven non-contributing buildings/structures within and adjacent to the Miracle Mile Historic District. 331 West Adams Street occupied by Breathe Easy auto maintenance shop to be demolished. 1435 North 11th Avenue occupied by Can-It Recycling facility to be demolished. 1438 North 11th Avenue small office and parking cover to be demolished. The contributing Quebedeaux Pontiac Auto Dealership is not part of the project. The new construction will entail a five-story building on a platform. The platform would allow for parking on the ground floor. The new building would be located 16' 1 1/4" from the outer edge of the fin on the historic building, providing a separation between the two. The new construction would also be set behind the front facade of the historic building allowing it to stand proud. The project will include community laundry space, on-site management and offices. The project is being designed in accordance to the Arizona Department of Housing's Mandatory Design Guidelines. The project will be built to the equivalent of a LEED Gold standard. Green building technologies will include hard surface flooring, sealed registers and air ducts, thermal performance roof, high efficiency toilets and low-flow plumbing fixtures and passive solar building orientation. The project will also be a smoke-free facility. Onsite parking spaces and bicycle parking will be available. The project will also comply with fair housing and accessibility requirements.

**Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:**

The City's central long-term community development goal is to focus resources on community needs, particularly the comprehensive revitalization of distressed areas and areas with high levels of poverty. This project supports the City of Tucson Consolidated Plan policies to develop supportive housing including: 1) New construction and/or rehabilitation of rental units for target populations; 2) Complexes serving special target populations; 3) The preservation of existing lower income housing and/or increasing the supply of lower income housing; and 4) Self-sufficiency in lower income households. This project also supports the strategy for helping people make the transition to permanent housing and independent living; and increasing the capacity of non-profit organizations. The site is located in the City of Tucson Choice Neighborhood Grant area, a CDBG target zone and the Oracle Revitalization Area.

**Existing Conditions and Trends [24 CFR 58.40(a)]:**

The portion of the Property addressed 1430 North Oracle Road and 338 West Drachman Street is occupied by Granite Granite (GG). GG used this area of the Property for retail granite slabs, sales and display/storage. The portion of the Property addressed 331 West Adams Street is occupied by Breathe Easy auto maintenance shop. The portion of the Property addressed 1435 North 11th Avenue is occupied by Can-It Recycling facility. The portion of the Property addressed 1438 North 11th Avenue is used as a parking lot. The site would probably continue in it's currently uses without the project. The Property was within a commercial area of the City of Tucson, Pima County, Arizona. The adjoining properties consisted of the following: \* North - Residential properties to the northeast and Level Auto Sale building addressed 1500 North Oracle Road \* South - Primavera Preschool and Fortuna Motel \* East -

Tucson Deaf Community Center and TASC drug treatment center \* West - North Oracle Road followed by Tucson House apartment building and commercial properties

**Maps, photographs, and other documentation of project location and description:**

[1430 N Oracle map 6-30-20.pdf](#)

[Property legal description 2-12-20.pdf](#)

[Gateway site visit photos.docx](#)

[Gateway Site visit 8-6-20.pdf](#)

**Determination:**

✓	Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.13] The project will not result in a significant impact on the quality of human environment
	Finding of Significant Impact

**Approval Documents:**

[Gateway contact list 10-14-20.xlsx](#)

[Designation of Authority Liz Morales 10-16-19.pdf](#)

[Gateway signed 10-14-20.pdf](#)

[Gateway Pointe RROF ad 10-15-20.pdf](#)

**7015.15 certified by Certifying Officer on:**

**7015.16 certified by Authorizing Officer on:**

**Funding Information**

Grant / Project Identification Number	HUD Program	Program Name
M-20-DC-04-0229	Community Planning and Development (CPD)	HOME Program

**Estimated Total HUD Funded, Assisted or Insured Amount:** \$2,000,000.00

**Estimated Total Project Cost [24 CFR 58.2 (a) (5)]:** \$23,788,272.00



**Compliance with 24 CFR §50.4, §58.5 and §58.6 Laws and Authorities**

<b>Compliance Factors:</b> Statutes, Executive Orders, and Regulations listed at 24 CFR §50.4, §58.5, and §58.6	Are formal compliance steps or mitigation required?	Compliance determination (See Appendix A for source determinations)
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 &amp; § 58.6</b>		
<b>Airport Hazards</b> Clear Zones and Accident Potential Zones; 24 CFR Part 51 Subpart D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements.
<b>Coastal Barrier Resources Act</b> Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is located in a state that does not contain CBRS units. Therefore, this project is in compliance with the Coastal Barrier Resources Act.
<b>Flood Insurance</b> Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. Zone X 4019C-2276 L 6/16/11. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements.
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 &amp; § 58.5</b>		
<b>Air Quality</b> Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project's county or air quality management district is in non-attainment status for Carbon monoxide. This project does not exceed de minimis emissions levels or the screening level established by the state or air quality management district for the pollutant. ADEQ and Pima County Department of Environmental Quality sites have been reviewed and these agencies have no concerns about multi-family or small apartment complexes development in existing residential areas changing or adversely impacting air quality control



		standards. Memo from Richard Grimaldi, PDEQ dated 10/8/2020. The project is in compliance with the Clean Air Act.
<b>Coastal Zone Management Act</b> Coastal Zone Management Act, sections 307(c) & (d)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is located in a state that does not participate in the Coastal Zone Management Program. Therefore, this project is in compliance with the Coastal Zone Management Act.
<b>Contamination and Toxic Substances</b> 24 CFR 50.3(i) & 58.5(i)(2)]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Site contamination was evaluated as follows: ASTM Phase I ESA, ASTM Phase II ESA. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements.
<b>Endangered Species Act</b> Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project will have no effect on any federally protected (listed or proposed) Threatened or Endangered Species, nor adversely modify designated critical habitats. The site is a fully developed urban infill parcel in a developed neighborhood. The site does not have water features and no visible sign of animal habitation. The U.S. Fish and Wildlife Services show no critical habitat areas in the Tucson Metropolitan area. The project is compliance with the Endangered Species Act.
<b>Explosive and Flammable Hazards</b> Above-Ground Tanks)[24 CFR Part 51 Subpart C	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	After review of the Phase I Environmental Site Assessments by Western Technologies, Inc., dated August 2019 and site visits by City of Tucson Housing and Community Development staff 8/6/2020, and review of known environmental registrations and maps, the determination is that the project site is not in the vicinity of any hazardous operation involving explosive or flammable fuels or chemicals. There are no current or planned stationary above ground storage containers of concern

		within 1 mile of the project site. The project site is in a fully developed urban residential/mixed use neighborhood. The project is in compliance with explosive and flammable hazard requirements.
<b>Farmlands Protection</b> Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The sites do not meet the definition of farmland per 7 CFR Part 658.2 a (1) "Farmland" does not include land already in or committed to urban development or water storage. The sites are in a fully developed urban environment per USDA Soils Survey Map printed 5/11/18. This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The project is in compliance with the Farmland Protection Policy Act.
<b>Floodplain Management</b> Executive Order 11988, particularly section 2(a); 24 CFR Part 55	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not occur in a floodplain. FEMA zone X 4019C-2276 L 6/16/11. The project is in compliance with Executive Order 11988.
<b>Historic Preservation</b> National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	The APE for the project are properties with direct view of the site and the Miracle Mile Historic District. Per the Programmatic Agreement Among the City of Tucson, the Advisory Council on Historic Preservation, and the Arizona State Historic Preservation Officer dated January 25, 2002, s. IV.B, infill construction requires approval by the Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS). Additionally, per s. IV. C when work takes place on property which existing improvements are demolished and new buildings are planned, a minimum of an archaeological records check and survey shall be performed. Once the project has been reviewed by PRS the parcel will be reviewed consistent with the Section 106 process. With mitigation the project is in compliance with Section 106.

<b>Noise Abatement and Control</b> Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A Noise Assessment was conducted. The noise level was normally unacceptable: 71.0 db. See noise analysis and mitigation plan by Spendiarian & Willis Acoustics & Noise Control LLC dated 9/25/2020. The project is in compliance with HUD's Noise regulation with the mitigation.
<b>Sole Source Aquifers</b> Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project is located on a sole source aquifer. The region has an MOU or other working agreement with EPA for HUD projects impacting a sole source aquifer, and the MOU or working agreement excludes the project from further review. The project is in compliance with Sole Source Aquifer requirements.
<b>Wetlands Protection</b> Executive Order 11990, particularly sections 2 and 5	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990.
<b>Wild and Scenic Rivers Act</b> Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not within proximity of a NWSRS river. There are no NWSRS rivers in Tucson or southern Arizona. The project is in compliance with the Wild and Scenic Rivers Act.
<b>HUD HOUSING ENVIRONMENTAL STANDARDS</b>		
<b>ENVIRONMENTAL JUSTICE</b>		
<b>Environmental Justice</b> Executive Order 12898	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The proposed sites are suitable for the proposed use and will NOT be adversely impacted by adverse environmental conditions. This environmental review demonstrates that there are no issues of non-compliance with the related laws and authorities and there are no known unresolved impacts. The project is in compliance with Executive Order 12898.

**Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27]**

**Impact Codes:** An impact code from the following list has been used to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation



(4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement.

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
<b>LAND DEVELOPMENT</b>			
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	<p>The site is consistent with local and regional planning efforts, and has received planning and zoning approval from the City of Tucson. The project site is zoned C-3. The project supports the goals of Plan Tucson, the City of Tucson General &amp; Sustainability Plan to provide housing, human services, public facilities, and economic development programs to address the housing needs of the most vulnerable populations.</p> <p><a href="https://www.tucsonaz.gov/pdsd/plan">https://www.tucsonaz.gov/pdsd/plan</a>. The project also supports the goals of the Tucson-Pima HUD 5 Year Consolidated Plan. The project converts currently vacant and/or underutilized sites to attractive modern housing units that conform within the surrounding neighborhoods in terms of overall scale, density, size, and massing. The project will meet the City's Housing Quality Standards (HQS) and is being designed in accordance to the Arizona Department of Housing's Mandatory Design Guidelines Letter dated 3/23/19 of site plan and zoning approval by Steve Shields, PDSO dated 8/6/2020.</p>	
Soil Suitability / Slope/ Erosion / Drainage and Storm Water Runoff	2	<p>No evidence of erosion, drainage/storm water runoff on site visit by HCD staff 8/6/2020. Geotechnical Report by Patterson Engineering dated 8/19/2020. Phase I ESA by Western Technologies dated 2/20/2020.</p>	
Hazards and Nuisances including Site Safety and Site-Generated Noise	2	<p>No evidence of onsite hazards or nuisances including soil contamination; proximity to high pressure pipe lines or other volatile and explosive products; high-voltage transmission lines; radio/TV transmission towers; excessive smoke, fumes, odors subsidence, ground water, inadequate surface drainage, flood, etc. Tucson Electric Power owned transformers on or near the sites were all in good condition with no evidence of spills or leakage. There are no visible poisonous plants or animals on the site. No known natural hazards exist. The sites have access to intersections with traffic lights and cross walks for residents to cross the street, street lighting, sidewalks, bike lanes and other safety</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
<b>LAND DEVELOPMENT</b>			
		features. Other than a brief period of construction there should be no increase in noise levels. Phase I environmental site assessments by Western Technologies, Inc. dated 2/20/2020 and site visit by HCD staff 8/6/2020.	
Energy Consumption /Energy Efficiency	2	Minor increase in energy consumption by 120 new units of housing. Buildings will be constructed to Arizona Department of Housing (ADOH) prescriptive path to sustainability, which is roughly equivalent to a LEED Gold standard, with highly-reflective roofs, Energy Star high efficiency appliances and low water usage fixtures. In addition, the air ducts & registers will be sealed and low flow plumbing installed.	
<b>SOCIOECONOMIC</b>			
Employment and Income Patterns	2	The Developer anticipates hiring approximately 20 subcontractors and creating possibly 50 temporary construction jobs during the construction phase of the project. The project will follow Section 3 and Davis Bacon requirements in all employment, construction and subcontracting activities. The sites are within walking distance or a short commute on public transit to numerous retail, restaurant and service businesses with entry level and service job possibilities.	
Demographic Character Changes / Displacement	2	The project site is in an area of low and moderate income, mixed use areas with over 62% minority populations, and with the majority of housing units currently being used as rentals. A relocation action plan for the businesses currently on site is in development with a consultant and will be implemented once final HUD approval of the plan is received.	
<b>COMMUNITY FACILITIES AND SERVICES</b>			
Educational and Cultural Facilities (Access and Capacity)	2	The target population for the project is low income seniors. Most of the clients will be single individuals without children, so any impact on educational facilities will be minimal. The sites are within 2 miles of Tucson Unified School District K-12 schools, magnet high schools, and private charter schools and preschools. TUSD has an open enrollment policy, so any school in the district with spaces available is open for enrollment. <a href="http://www.tusd1.org/Information/Enrollment/OpenEnrollment/tabid/80260/Default.aspx">http://www.tusd1.org/Information/Enrollment/OpenEnrollment/tabid/80260/Default.aspx</a> . Also within 5 miles are a	



Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
<b>LAND DEVELOPMENT</b>			
		number of colleges and adult education resources including Pima Community College, University of Arizona and other education programs. Educational and cultural enrichment opportunities are available at nearby community centers, libraries, recreation centers, theaters, museums, parks and a number of veteran organizations.	
Commercial Facilities (Access and Proximity)	2	The project sites are within 1 mile of major grocery stores, pharmacies, retail and service businesses, discount stores, medical providers, thrift stores, and within 5 miles of 2 major regional retail malls. The project sites are directly on major bus routes connecting to transit hubs.	
Health Care / Social Services (Access and Capacity)	2	The project site is within 2 miles of major medical centers and emergency rooms, and within 5 miles of the Southern Arizona VA Health Care campus. Numerous emergency facilities, clinics, and physician services are within an easy commute on public transit. Support services nearby include CODAC Behavioral Health, COPE Community Services, VA Tucson Veterans Center and La Frontera facilities. Support services and referrals will also be provided by the onsite Resident Services Coordinator provided by La Frontera. The additional residents will not have an adverse impact on the available services, since most of the prospective clients are already in the community and receiving services.	
Solid Waste Disposal and Recycling (Feasibility and Capacity)	2	The City of Tucson Environmental Services Department will provide onsite waste disposal and recycling services. The City of Tucson provides extensive recycling options, including construction debris handling and recycling, landfills, green waste recycling and household hazardous waste disposal services. Will Serve letter from Carlos De La Torre, Director, City of Tucson Environmental Services Department dated 3/7/19.	
Waste Water and Sanitary Sewers (Feasibility and Capacity)	2	Pima County Wastewater will provide wastewater and sewer service to project. Will Serve letter from Kurt Stemm, Pima County Wastewater Management dated 2/18/2020.	
Water Supply (Feasibility and Capacity)	4	Tucson Water will provide water service to project. Will Serve letter from Michael Mourreale, Tucson Water dated 2/11/2020.	



Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
<b>LAND DEVELOPMENT</b>			
Public Safety - Police, Fire and Emergency Medical	2	The project site is less than 1 mile from TFD station 4. Average response time for TFD is 4 minutes. The site is within 2 miles of TPD Rillito Station. Response time varies depending on the type of call, but the average time for emergency response is 5 minutes or less. The project sites are within 2 miles of major medical centers with emergency medical care including Banner UMC Medical Center, TMC Medical Center, Carondolet St. Mary's Medical Center and numerous hospitals and urgent care facilities. Memo from Charles Ryan dated 10/14/20.	
Parks, Open Space and Recreation (Access and Capacity)	2	The site is within 6 blocks of Francisco Elias Esquer Park, and within 2 miles of major recreation centers with sports fields, playgrounds, basketball courts, swimming pools and rec centers. The site is within 3 miles of the Armory Park Senior Center.	
Transportation and Accessibility (Access and Capacity)	2	Suntran bus stops are in close proximity to the project sites with Routes 5, 10, 16, providing residents access to major transit hubs and the Greyhound Bus Line. The sites are fully accessible by car and have adequate street access. Ample on site parking is planned and off street parking spaces exist in the immediate area. Long term bicycle parking is planned. The residents have access to the City of Tucson Sun Shuttle and other medical transportation providers. Letter from Samuel Credio, Deputy Director TDOT dated 3/1/20.	
<b>NATURAL FEATURES</b>			
Unique Natural Features /Water Resources	2	The sites have no unique natural features or water. The site is in a fully developed urban neighborhood, and surrounded by urban residential housing and commercial businesses. The site has been previously developed since approximately the 1940's. Phase I environmental site assessments by Western Technologies Inc. dated 2/20/2020 and site visits by HCD staff 8/6/2020.	
Vegetation / Wildlife (Introduction, Modification, Removal, Disruption, etc.)			

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
<b>LAND DEVELOPMENT</b>			
Other Factors			

**Supporting documentation**[TFD Memorandum Form.pdf](#)[Tucson Rillito Police Department - Google Maps.pdf](#)[Gateway Pointe parks.pdf](#)[Gateway medical.pdf](#)[Gateway hospitals.pdf](#)[Gateway fire station.pdf](#)[Transit Letter 2020 Gateway Apts.docx](#)[Gateway CensDemoMapPrn 10-12-20.pdf](#)[Gateway 100 construction documents.pdf](#)[Gateway Zoning Form.pdf](#)[Gateway Zoning 1-12-20.pdf](#)[Gateway Will Serve Letters.pdf](#)[Gateway Pointe Soils Reports 8-19-20.pdf](#)**Additional Studies Performed:****Field Inspection [Optional]:** Date and completed

by:

Glenn Fournie

8/6/2020 12:00:00 AM

[Gateway site visit photos.docx](#)[Gateway Site visit 8-6-20.pdf](#)**List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:**

City of Tucson Office of the Mayor-Mayor Regina Romero City of Tucson Housing and Community Development Department-Liz Morales, Joyce Alcantar City of Tucson Planning and Development Services- Steve Shields City of Tucson Department of Transportation-Samuel Credo, Tucson Fire Department- Chief Charles Ryan, Tucson Police Department- Chief Chris Magnus City of Tucson Department of Environmental Quality -Carlos De La Torre, Director Tucson Water- Michael Mourreal, PE Pima County Wastewater Management- Kurt Stemm, CEA SR City of Tucson Historic Preservation Officer - Jodie Brown City of Tucson and Pima County Consortium HUD Consolidated Plan:

[https://www.tucsonaz.gov/files/hcd/City\\_of\\_Tucson\\_and\\_Pima\\_County\\_FFY2015-](https://www.tucsonaz.gov/files/hcd/City_of_Tucson_and_Pima_County_FFY2015-)

2019\_5-year\_HUDConsolidated\_Plan.pdf City of Tucson General & Sustainability Plan  
<https://www.tucsonaz.gov/pdsd/plan-tucson>

**List of Permits Obtained:**

The reviews that go into each project include but are not limited to: Planning, Zoning, Engineering, Landscape, Fire, ADA, Plumbing, Solid Waste, Right of Way Improvements, Structural, Mechanical and Plumbing, Electrical, Fire, Zoning Engineering, Wastewater, Water, Transportation. The City of Tucson Planning and Development Services Department reviews, approves and issues all permits for: zoning, site plans, grading, storm water, demolition, parking, landscape and construction trades; issues all permits; performs inspections and issues certificate of occupancy. The Department enforces building and zoning codes.

**Public Outreach [24 CFR 58.43]:**

Publication of the FONSI/RROF 10/16/2020 in the Arizona Daily Star, and interested parties contacted by email. The Environmental Review Record (ERR) that documents the environmental determinations for this project is available at <http://www.tucsonaz.gov/hcd/whats-new>. The ERR will also be available and distributed on the HUD HEROS system.

**Cumulative Impact Analysis [24 CFR 58.32]:**

The proposed new construction is near the rapidly growing Tucson downtown gateway area and the Oracle Area Improvement Project. The project will be a minor contributor to the projected increase in population, traffic and energy usage already anticipated for the area. The project site is considered infill development in an existing urban neighborhood that will use existing roadways, sewer systems, municipal water and other utilities already in place. No significant cumulative impacts on the environment would be anticipated from the Proposed Action in conjunction with other activities.

**Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]**

No alternatives other than the no action alternative were considered.

**No Action Alternative [24 CFR 58.40(e)]**

120 units of desperately needed new affordable housing units would not be built. Goals of the City of Tucson Consolidated Plan would not be fulfilled. La Frontera will miss the ADOH Low Income Housing Tax Credit funding opportunity that makes the project affordable at this time. The site will under-developed and under-utilized.



**Summary of Findings and Conclusions:**

The proposed new construction of 120 units of low income housing units will not adversely affect environment or the neighborhood. The activity is compatible with the existing mixed use in the area. There will be little to no impact on existing resources or services in the area. The land is available and the site plans are approved. The project is a positive step in meeting City of Tucson goals for encouraging appropriate growth and development in the area.

**Mitigation Measures and Conditions [CFR 1505.2(c)]:**

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Complete
Noise Abatement and Control	See attached Noise Mitigation Plan by Spendiarian & Willis Acoustics & Noise Control LLC dated 9/25/2020. Mitigation will be achieved through construction techniques. The project is in compliance with the Noise Control	N/A	
Permits, reviews and approvals	The reviews that go into each project include but are not limited to: Planning, Zoning, Engineering, Landscape, Fire, ADA, Plumbing, Solid Waste, Right of Way Improvements, Structural, Mechanical and Plumbing, Electrical, Fire, Zoning Engineering, Wastewater, Water, Transportation. The City of Tucson Planning and Development Services Department reviews, approves and issues all permits for: zoning, site plans, grading, storm water, demolition, parking, landscape and construction trades; issues all permits; performs inspections and issues certificate of occupancy. The Department enforces building and zoning codes.	N/A	
Historic Preservation	Per the Programmatic Agreement Among the City of Tucson, the Advisory Council on Historic Preservation, and	N/A	

	<p>the Arizona State Historic Preservation Officer dated January 25, 2002, s. IV.B, infill construction requires approval by the Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS). Additionally, per s. IV. C when work takes place on property which existing improvements are demolished and new buildings are planned, a minimum of an archaeological records check and survey shall be performed. At this time, the project has not been reviewed by PRS nor has the site been surveyed for archaeological resources. Once the full construction drawings are complete and submitted for a permit, the plans and the parcel will be reviewed consistent with the Section 106 process.</p>		
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**Mitigation Plan**

The City of Tucson Planning and Development Services Department reviews, approves and issues all permits for: zoning, site plans, grading, storm water, demolition, parking, landscape and construction trades; issues all permits; performs inspections and issues certificate of occupancy. The Department enforces building and zoning codes. City of Tucson Historic Preservation Officer Jodie Brown will complete the 106 process. Noise mitigation will be monitored by the project architect who will submit documentation of completed mitigation.

**Supporting documentation on completed measures**

## APPENDIX A: Related Federal Laws and Authorities

### Airport Hazards

General policy	Legislation	Regulation
It is HUD's policy to apply standards to prevent incompatible development around civil airports and military airfields.		24 CFR Part 51 Subpart D

1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

No

Based on the response, the review is in compliance with this section. Document and upload the map showing that the site is not within the applicable distances to a military or civilian airport below

Yes

### Screen Summary

#### Compliance Determination

The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements.

#### Supporting documentation

[Gateway airport map 2-12-20.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No



**Coastal Barrier Resources**

General requirements	Legislation	Regulation
HUD financial assistance may not be used for most activities in units of the Coastal Barrier Resources System (CBRS). See 16 USC 3504 for limitations on federal expenditures affecting the CBRS.	Coastal Barrier Resources Act (CBRA) of 1982, as amended by the Coastal Barrier Improvement Act of 1990 (16 USC 3501)	

**This project is located in a state that does not contain CBRA units. Therefore, this project is in compliance with the Coastal Barrier Resources Act.**

**Compliance Determination**

This project is located in a state that does not contain CBRS units. Therefore, this project is in compliance with the Coastal Barrier Resources Act.

**Supporting documentation**

[Coastal Barriers Template 11-1-19.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No

## Flood Insurance

General requirements	Legislation	Regulation
Certain types of federal financial assistance may not be used in floodplains unless the community participates in National Flood Insurance Program and flood insurance is both obtained and maintained.	Flood Disaster Protection Act of 1973 as amended (42 USC 4001-4128)	24 CFR 50.4(b)(1) and 24 CFR 58.6(a) and (b); 24 CFR 55.1(b).

**1. Does this project involve financial assistance for construction, rehabilitation, or acquisition of a mobile home, building, or insurable personal property?**

No. This project does not require flood insurance or is excepted from flood insurance.

Yes

**2. Upload a FEMA/FIRM map showing the site here:**

[Gateway Flood map 2-12-20.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use the best available information to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site. Provide FEMA/FIRM floodplain zone designation, panel number, and date within your documentation.

**Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?**

No

Based on the response, the review is in compliance with this section.

Yes

### Screen Summary

#### **Compliance Determination**

The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. Zone X 4019C-2276 L 6/16/11. While flood insurance may not be

mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements.

**Supporting documentation**

**Are formal compliance steps or mitigation required?**

Yes

No



**Air Quality**

General requirements	Legislation	Regulation
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate SIP.	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93

**1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?**

Yes

No

**Air Quality Attainment Status of Project's County or Air Quality Management District**

**2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?**

No, project's county or air quality management district is in attainment status for all criteria pollutants.

Yes, project's management district or county is in non-attainment or maintenance status for the following criteria pollutants (check all that apply):

Carbon Monoxide

Lead

Nitrogen dioxide

Sulfur dioxide

Ozone

Particulate Matter, <2.5 microns

Particulate Matter, <10 microns

**3. What are the *de minimis* emissions levels (40 CFR 93.153) or screening levels for the non-attainment or maintenance level pollutants indicated above**

Carbon monoxide      ppm (parts per million)

**Provide your source used to determine levels here:**

Pima County PDEQ

**4. Determine the estimated emissions levels of your project. Will your project exceed any of the *de minimis* or threshold emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?**

- No, the project will not exceed *de minimis* or threshold emissions levels or screening levels.

**Enter the estimate emission levels:**

Carbon monoxide      ppm (parts per million)

Based on the response, the review is in compliance with this section.

Yes, the project exceeds *de minimis* emissions levels or screening levels.

**Screen Summary**

**Compliance Determination**

The project's county or air quality management district is in non-attainment status for Carbon monoxide. This project does not exceed *de minimis* emissions levels or the screening level established by the state or air quality management district for the pollutant. ADEQ and Pima County Department of Environmental Quality sites have been reviewed and these agencies have no concerns about multi-family or small apartment complexes development in existing residential areas changing or adversely

impacting air quality control standards. Memo from Richard Grimaldi, PDEQ dated 10/8/2020. The project is in compliance with the Clean Air Act.

**Supporting documentation**

[Air Quality memo 10-8-2020.mhtml](#)

**Are formal compliance steps or mitigation required?**

Yes

No



### Coastal Zone Management Act

General requirements	Legislation	Regulation
Federal assistance to applicant agencies for activities affecting any coastal use or resource is granted only when such activities are consistent with federally approved State Coastal Zone Management Act Plans.	Coastal Zone Management Act (16 USC 1451-1464), particularly section 307(c) and (d) (16 USC 1456(c) and (d))	15 CFR Part 930

This project is located in a state that does not participate in the Coastal Zone Management Program. Therefore, this project is in compliance with the Coastal Zone Management Act.

#### Screen Summary

##### **Compliance Determination**

This project is located in a state that does not participate in the Coastal Zone Management Program. Therefore, this project is in compliance with the Coastal Zone Management Act.

##### **Supporting documentation**

[Coastal zones template 11-1-19.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No

**Contamination and Toxic Substances**

General requirements	Legislation	Regulations
It is HUD policy that all properties that are being proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of the occupants or conflict with the intended utilization of the property.		24 CFR 58.5(i)(2) 24 CFR 50.3(i)

**1. How was site contamination evaluated? Select all that apply. Document and upload documentation and reports and evaluation explanation of site contamination below.**

- ✓ American Society for Testing and Materials (ASTM) Phase I Environmental Site Assessment (ESA)
- ✓ ASTM Phase II ESA
- Remediation or clean-up plan
- ASTM Vapor Encroachment Screening
- None of the Above

**2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)**

- ✓ No

**Explain:**

The Phase I ESA by Western technologies dated 2/20/2020 found the following RECs Six in-ground hydraulic vehicle lifts in the automobile maintenance shop on the portion of the Property addressed 331 West Adams Street An historical gasoline UST system on the portion of the Property addressed 1438 North 11th Avenue, and Stained soil and oil staining on a concrete pad near a hydraulic compactor on the portion of the Property addressed 1435 North 11th Avenue. The Phase II ESA found Soil contamination exceeding the State of Arizona residential soil remediation levels was not reported and recommended no further testing.

Based on the response, the review is in compliance with this section.

Yes

**Screen Summary**

**Compliance Determination**

Site contamination was evaluated as follows: ASTM Phase I ESA, ASTM Phase II ESA. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements.

**Supporting documentation**

[Gateway Phase II.pdf](#)

[Gateway Phase I.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No



**Endangered Species**

General requirements	ESA Legislation	Regulations
Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure that actions that they authorize, fund, or carry out shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service (“FWS” and “NMFS” or “the Services”).	The Endangered Species Act of 1973 (16 U.S.C. 1531 <i>et seq.</i> ); particularly section 7 (16 USC 1536).	50 CFR Part 402

**1. Does the project involve any activities that have the potential to affect species or habitats?**

- ✓ No, the project will have No Effect due to the nature of the activities involved in the project.

This selection is only appropriate if none of the activities involved in the project have potential to affect species or habitats. Examples of actions without potential to affect listed species may include: purchasing existing buildings, completing interior renovations to existing buildings, and replacing exterior paint or siding on existing buildings.

Based on the response, the review is in compliance with this section.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office

Yes, the activities involved in the project have the potential to affect species and/or habitats.

**Screen Summary**

**Compliance Determination**

The project will have no effect on any federally protected (listed or proposed) Threatened or Endangered Species, nor adversely modify designated critical habitats. The site is a fully developed urban infill parcel in a developed neighborhood. The site does not have water features and no visible sign of animal habitation. The U.S. Fish

and Wildlife Services show no critical habitat areas in the Tucson Metropolitan area. The project is compliance with the Endangered Species Act.

**Supporting documentation**

[IPaC Explore Location 6-30-20.pdf](#)

[Critical Habitat Map NEPA Assist 7-15-19.pdf](#)

[Gateway aerial map 2-12-20.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

✓ No

### Explosive and Flammable Hazards

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable Separation Distance (ASD) requirements to protect them from explosive and flammable hazards.	N/A	24 CFR Part 51 Subpart C

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

No

Yes

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

No

Yes

3. Within 1 mile of the project site, are there any current or planned stationary aboveground storage containers that are covered by 24 CFR 51C? Containers that are NOT covered under the regulation include:

- Containers 100 gallons or less in capacity, containing common liquid industrial fuels OR

- Containers of liquified petroleum gas (LPG) or propane with a water volume capacity of 1,000 gallons or less that meet the requirements of the 2017 or later version of National Fire Protection Association (NFPA) Code 58.

If all containers within the search area fit the above criteria, answer "No." For any other type of aboveground storage container within the search area that holds one of the flammable or explosive materials listed in Appendix I of 24 CFR part 51 subpart C, answer "Yes."

No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.



Yes

### Screen Summary

#### **Compliance Determination**

After review of the Phase I Environmental Site Assessments by Western Technologies, Inc., dated August 2019 and site visits by City of Tucson Housing and Community Development staff 8/6/2020, and review of known environmental registrations and maps, the determination is that the project site is not in the vicinity of any hazardous operation involving explosive or flammable fuels or chemicals. There are no current or planned stationary above ground storage containers of concern within 1 mile of the project site. The project site is in a fully developed urban residential/mixed use neighborhood. The project is in compliance with explosive and flammable hazard requirements.

#### **Supporting documentation**

[Gateway aerial map 2-12-20\(1\).pdf](#)

#### **Are formal compliance steps or mitigation required?**

Yes

✓ No

## Farmlands Protection

General requirements	Legislation	Regulation
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	<a href="#">7 CFR Part 658</a>

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

Yes

No

If your project includes new construction, acquisition of undeveloped land or conversion, explain how you determined that agricultural land would not be converted:

The site is fully developed in a fully developed urban neighbor.

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

### Screen Summary

#### Compliance Determination

The sites do not meet the definition of farmland per 7 CFR Part 658.2 a (1) "Farmland" does not include land already in or committed to urban development or water storage. The sites are in a fully developed urban environment per USDA Soils Survey Map printed 5/11/18. This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The project is in compliance with the Farmland Protection Policy Act.

#### Supporting documentation

[USDA Urban Area Soils Map 5-11-18.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

## Floodplain Management

General Requirements	Legislation	Regulation
Executive Order 11988, Floodplain Management, requires federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable.	Executive Order 11988	24 CFR 55

1. Do any of the following exemptions apply? Select the applicable citation? [only one selection possible]

- 55.12(c)(3)
- 55.12(c)(4)
- 55.12(c)(5)
- 55.12(c)(6)
- 55.12(c)(7)
- 55.12(c)(8)
- 55.12(c)(9)
- 55.12(c)(10)
- 55.12(c)(11)
- None of the above

2. Upload a FEMA/FIRM map showing the site here:

[Gateway Flood map 2-12-20.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use **the best available information** to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site.

**Does your project occur in a floodplain?**

No

Based on the response, the review is in compliance with this section.

Yes



**Screen Summary**

**Compliance Determination**

This project does not occur in a floodplain. FEMA zone X 4019C-2276 L 6/16/11. The project is in compliance with Executive Order 11988.

**Supporting documentation**

**Are formal compliance steps or mitigation required?**

Yes

No

**Historic Preservation**

General requirements	Legislation	Regulation
Regulations under Section 106 of the National Historic Preservation Act (NHPA) require a consultative process to identify historic properties, assess project impacts on them, and avoid, minimize, or mitigate adverse effects	Section 106 of the National Historic Preservation Act (16 U.S.C. 470f)	36 CFR 800 "Protection of Historic Properties" <a href="http://www.access.gpo.gov/nara/cfr/waisidx_10/36cfr800_10.html">http://www.access.gpo.gov/nara/cfr/waisidx_10/36cfr800_10.html</a>

**Threshold**

**Is Section 106 review required for your project?**

No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA ). (See the PA Database to find applicable PAs.)

✓ No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

Yes, because the project includes activities with potential to cause effects (direct or indirect).

**Threshold (b). Document and upload the memo or explanation/justification of the other determination below:**

Based on the response, the review is in compliance with this section.

**Screen Summary**

**Compliance Determination**

The APE for the project are properties with direct view of the site and the Miracle Mile Historic District. Per the Programmatic Agreement Among the City of Tucson, the Advisory Council on Historic Preservation, and the Arizona State Historic Preservation Officer dated January 25, 2002, s. IV.B, infill construction requires approval by the

Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS). Additionally, per s. IV. C when work takes place on property which existing improvements are demolished and new buildings are planned, a minimum of an archaeological records check and survey shall be performed. Once the project has been reviewed by PRS the parcel will be reviewed consistent with the Section 106 process. With mitigation the project is in compliance with Section 106.

**Supporting documentation**

[Miracle Mile HD 2-12-20.pdf](#)

[HPO Programmatic agreement.pdf](#)

[Gateway Pt Apts 106 Ltr.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No



**Noise Abatement and Control**

General requirements	Legislation	Regulation
HUD’s noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972  General Services Administration Federal Management Circular 75-2: “Compatible Land Uses at Federal Airfields”	Title 24 CFR 51 Subpart B

**1. What activities does your project involve? Check all that apply:**

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

Rehabilitation of an existing residential property

A research demonstration project which does not result in new construction or reconstruction

An interstate land sales registration

Any timely emergency assistance under disaster assistance provision or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster  
None of the above

**4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000’ from a major road, 3000’ from a railroad, or 15 miles from an airport).**

**Indicate the findings of the Preliminary Screening below:**

There are no noise generators found within the threshold distances above.

- ✓ Noise generators were found within the threshold distances.

5. **Complete the Preliminary Screening to identify potential noise generators in the**

Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

- ✓ Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

**Is your project in a largely undeveloped area?**

- ✓ No

Indicate noise level here: 71

Document and upload noise analysis, including noise level and data used to complete the analysis below.

Yes

Unacceptable: (Above 75 decibels)

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels.

Check here to affirm that you have considered converting this property to a non-residential use compatible with high noise levels.

Indicate noise level here: 71

Document and upload noise analysis, including noise level and data used to complete the analysis below.

6. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review.

✓ Mitigation as follows will be implemented:

See attached Noise Mitigation Plan by Spendiarian & Willis Acoustics & Noise Control LLC dated 9/25/2020. Mitigation will be achieved through construction techniques. The project is in compliance with the Noise Control

Based on the response, the review is in compliance with this section. Document and upload drawings, specifications, and other materials as needed to describe the project's noise mitigation measures below.

No mitigation is necessary.

#### Screen Summary

##### **Compliance Determination**

A Noise Assessment was conducted. The noise level was normally unacceptable: 71.0 db. See noise analysis and mitigation plan by Spendiarian & Willis Acoustics & Noise Control LLC dated 9/25/2020. The project is in compliance with HUD's Noise regulation with the mitigation.

##### **Supporting documentation**

[Gateway Noise study and mitigation 9-25-20.pdf](#)

**Are formal compliance steps or mitigation required?**

✓ Yes

No



### Sole Source Aquifers

General requirements	Legislation	Regulation
The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.	Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)	40 CFR Part 149

1. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes

No

2. Is the project located on a sole source aquifer (SSA)?

A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

No

Yes

3. Does your region have a memorandum of understanding (MOU) or other working agreement with Environmental Protection Agency (EPA) for HUD projects impacting a sole source aquifer?

Yes

Document and upload MOU or Agreement below.

No

4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review. If negative effects cannot be mitigated, cancel the project using the button at the bottom of this screen

Yes

Document and upload where your project fits within the MOU or working agreement below. Based on the response, the review is in compliance with this section.

No

#### Screen Summary

##### **Compliance Determination**

The project is located on a sole source aquifer. The region has an MOU or other working agreement with EPA for HUD projects impacting a sole source aquifer, and the MOU or working agreement excludes the project from further review. The project is in compliance with Sole Source Aquifer requirements.

##### **Supporting documentation**

[Sole Source Aquifer Template 5-11-18.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No

**Wetlands Protection**

General requirements	Legislation	Regulation
Executive Order 11990 discourages direct or indirect support of new construction impacting wetlands wherever there is a practicable alternative. The Fish and Wildlife Service’s National Wetlands Inventory can be used as a primary screening tool, but observed or known wetlands not indicated on NWI maps must also be processed Off-site impacts that result in draining, impounding, or destroying wetlands must also be processed.	Executive Order 11990	24 CFR 55.20 can be used for general guidance regarding the 8 Step Process.

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building’s footprint, or ground disturbance? The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order

No

✓ Yes

2. Will the new construction or other ground disturbance impact an on- or off-site wetland? The term "wetlands" means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds.

"Wetlands under E.O. 11990 include isolated and non-jurisdictional wetlands."

✓ No, a wetland will not be impacted in terms of E.O. 11990’s definition of new construction.

Based on the response, the review is in compliance with this section. Document and upload a map or any other relevant documentation below which explains your determination

Yes, there is a wetland that be impacted in terms of E.O. 11990’s definition of new construction.

**Screen Summary**

**Compliance Determination**



The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990.

**Supporting documentation**

[Gateway Wetlands map 6-30-20.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No

**Wild and Scenic Rivers Act**

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act provides federal protection for certain free-flowing, wild, scenic and recreational rivers designated as components or potential components of the National Wild and Scenic Rivers System (NWSRS) from the effects of construction or development.	The Wild and Scenic Rivers Act (16 U.S.C. 1271-1287), particularly section 7(b) and (c) (16 U.S.C. 1278(b) and (c))	36 CFR Part 297

**1. Is your project within proximity of a NWSRS river?**

No

Yes, the project is in proximity of a Designated Wild and Scenic River or Study Wild and Scenic River.

Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

**Screen Summary****Compliance Determination**

This project is not within proximity of a NWSRS river. There are no NWSRS rivers in Tucson or southern Arizona. The project is in compliance with the Wild and Scenic Rivers Act.

**Supporting documentation**

[Wild-Scenic Rivers TEMPLATE 11-1-19.pdf](#)

**Are formal compliance steps or mitigation required?**

Yes

No

## Environmental Justice

General requirements	Legislation	Regulation
Determine if the project creates adverse environmental impacts upon a low-income or minority community. If it does, engage the community in meaningful participation about mitigating the impacts or move the project.	Executive Order 12898	

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?

Yes

No

Based on the response, the review is in compliance with this section.

### Screen Summary

#### Compliance Determination

The proposed sites are suitable for the proposed use and will NOT be adversely impacted by adverse environmental conditions. This environmental review demonstrates that there are no issues of non-compliance with the related laws and authorities and there are no known unresolved impacts. The project is in compliance with Executive Order 12898.

#### Supporting documentation

[ejscreenSOE.pdf](#)

Are formal compliance steps or mitigation required?

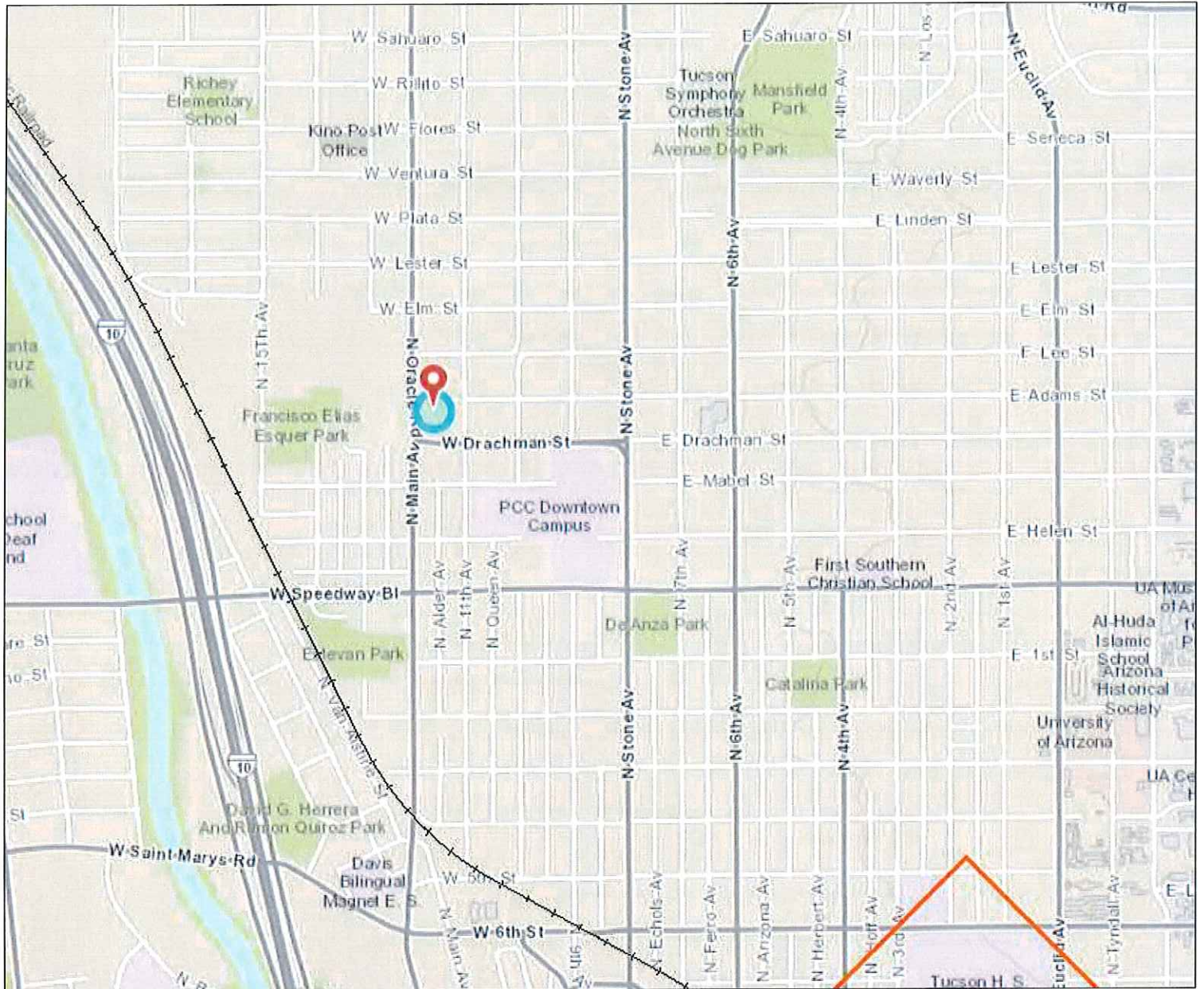
Yes

No





# Gateway Pointe 1430 N Oracle Road, Tucson AZ 85705



**Notes**

6/30/2020

**Legend**

- + Railroads
- AEZ Noise
  - 65-70 LDN
  - 70-75 LDN
  - 70-PLUS LDN
  - 75-80 LDN
  - 80-PLUS LDN
- Avigation Easement & Disclosure Areas
- DM AFB Approach-Departure Corridors
- ADC-1
- ADC-2
- ADC-3
- DM AFB Air Installation Compatible Use Zones
- DM AFB Noise Control Districts
- NCD-A
- NCD-B
- Airport Hazard Districts

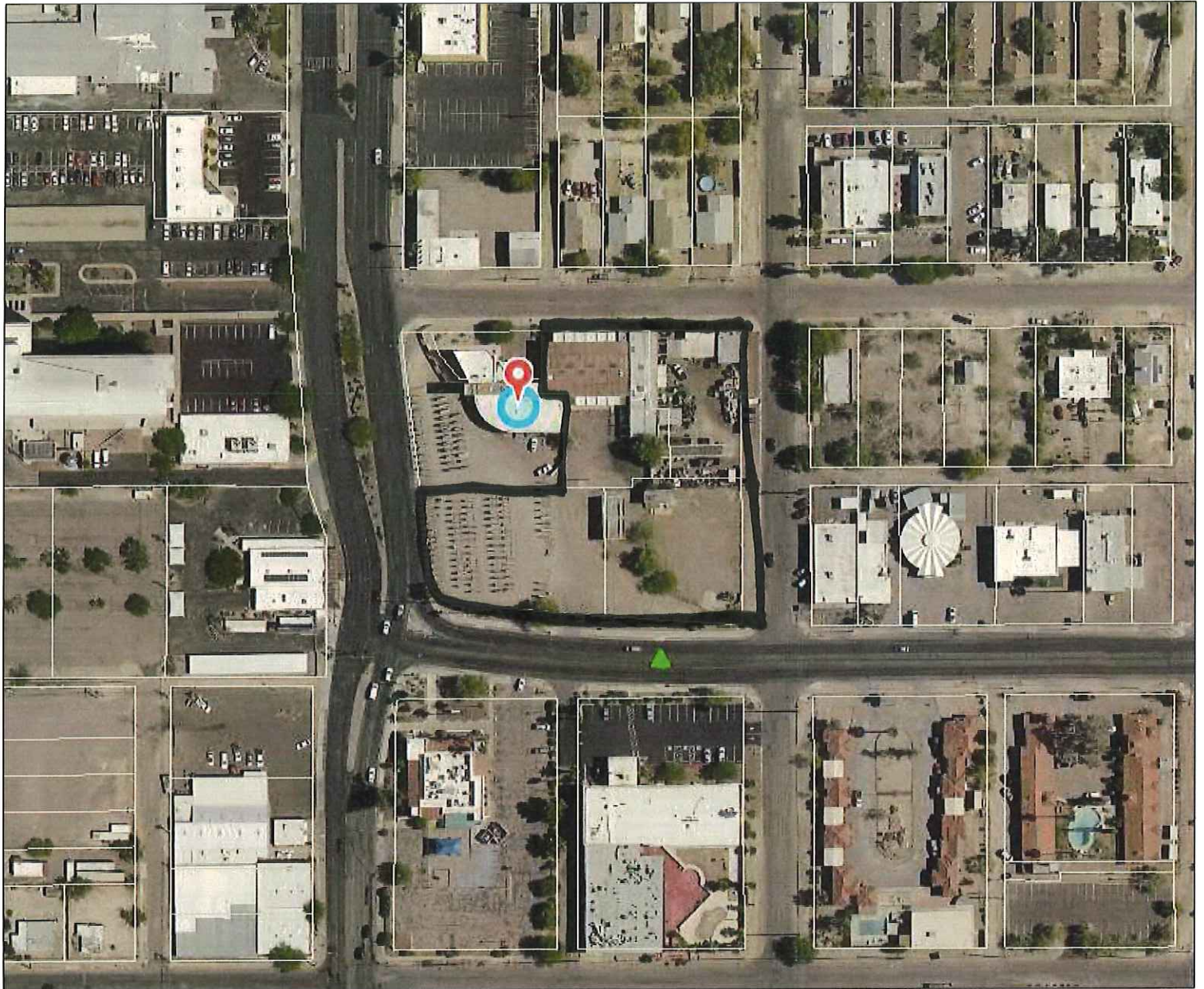
1: 18,056



0.6 0 0.28 0.6 Miles



# Gateway Aerial map



## Notes

1430 N Oracle Road Tucson  
85705  
2/12/20

## Legend

- |   |                        |   |
|---|------------------------|---|
| Land Fills - City/County                      | AEZ_CUZs<br>CUZ-1      | DM AFB Approach-Departu<br>Corridors<br>ADC-1 |
| Land Fills - State/Federal                    | CUZ-2                  | ADC-2   |
| Leaking Underground Storage Tanks - COT Owned | CUZ-3                  | ADC-3   |
| Brownfields (ACRES)                           | CUZ-4                  | DM AFB Air Installation Compatible Use Zones  |
| Radiation Info (RADINFO)                      | AEZ Noise<br>65-70 LDN | DM AFB Noise Control Districts<br>NCD-A       |
| Hazardous Waste (RCRA)                        | 70-75 LDN              | NCD-B   |
| Toxic Releases (TF)                           | 70-PLUS LDN            | Alred Hazard                                  |
|   | 75-80 LDN              |   |
|   | 80-PLUS LDN            |   |

1: 2,257



0.1 0 0.03 0.1 Miles

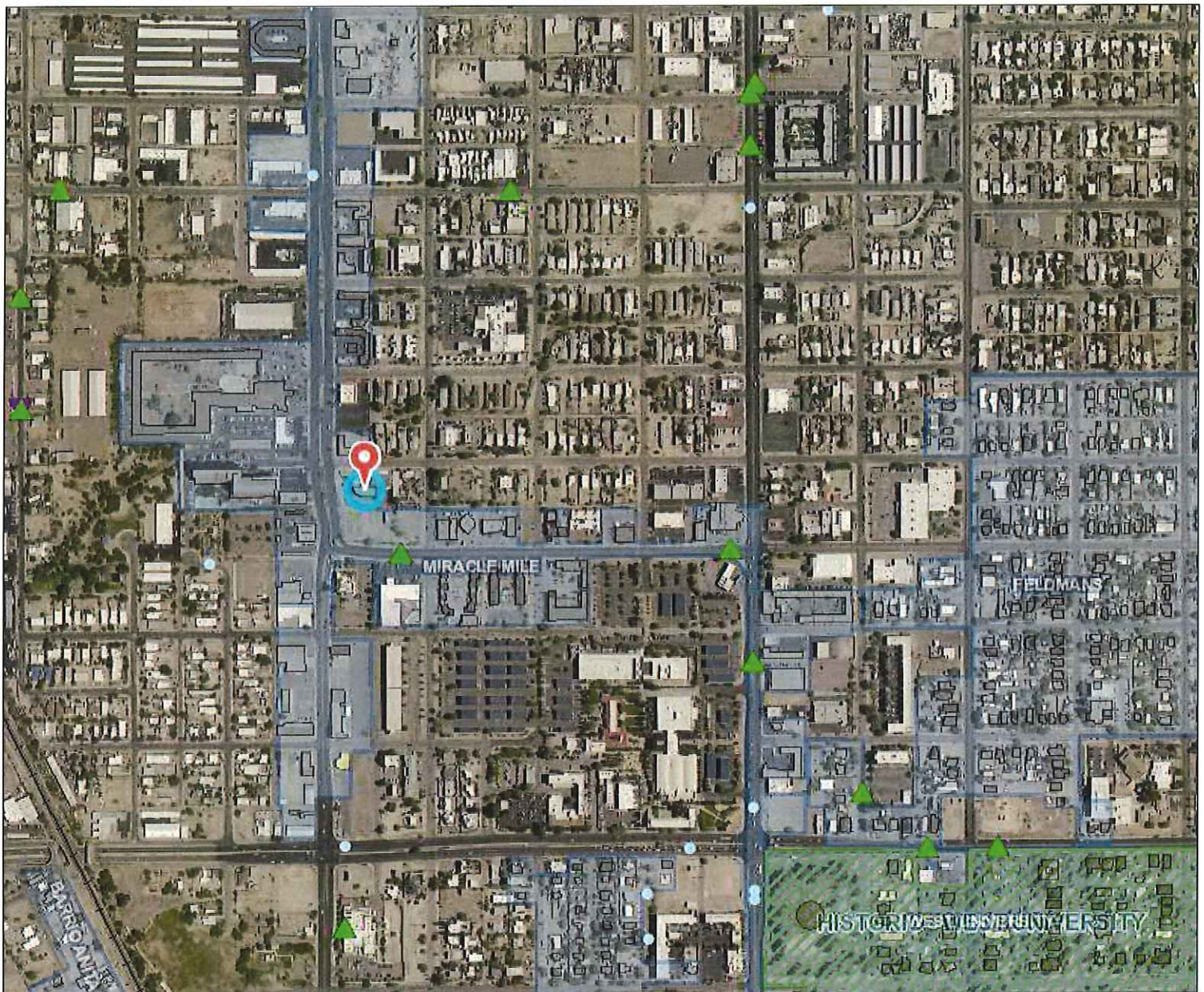
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© City of Tucson

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



# Miracle Mile Historic District



## Notes

1430 N Oracle Road Tucson  
85705  
1 building is a Contributing  
Structure  
2/12/20

## Legend

Land Fills - City/County	Listed and Local Contributor	City of Tucson Historic Zoning	65-70 LDN	NCD-A
Land Fills - State/Federal	Eligible	City of Tucson National Register Districts	70-75 LDN	NCD-B
Leaking Underground Storage Tanks - COT Owned	Ineligible	Current National	70-PLUS LDN	Airport Hazard Districts
Brownfields (ACRES)	No Data	Eligible National	75-80 LDN	Historic Landmark Zones
Radiation Info (RADINFO)	Demolished Contribut	Railroads	80-PLUS LDN	Historic Preservation Zones
Hazardous Waste (RCRA)	Demolished	AEZ_CUZs	DM AFB Approach-Departu	
Toxic Releases (TF)	Vacant	CUZ-1	ADC-1	
	Outside of HD	CUZ-2	ADC-2	
		CUZ-3	ADC-3	
		CUZ-4	DM AFB Air Installation Compatible Use	
		AEZ Noise		

1: 9,028



0.3                      0                      0.14                      0.3 Miles

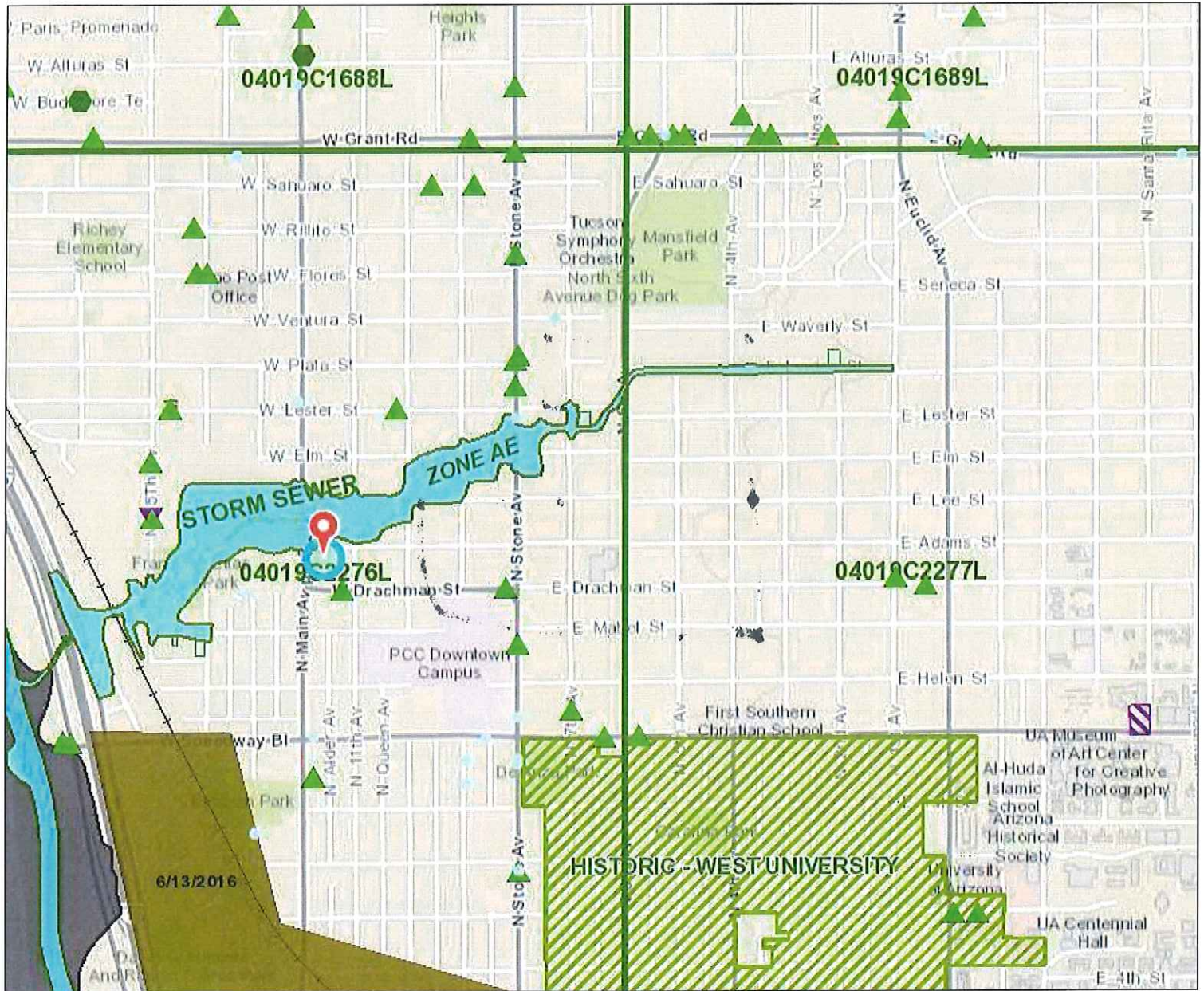
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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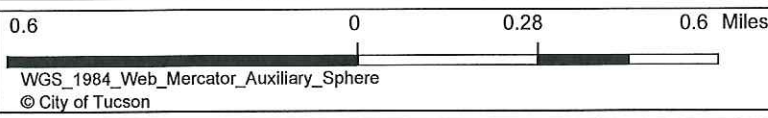
# Gateway Flood map



**Notes**  
1430 N Oracle Road Tucson  
85705  
2/12/20

Legend	
Land Fills - City/County	ZONE AE
Land Fills - State/Federal	ZONE AH
Leaking Underground Storage Tanks - COT Owned	ZONE AO
Brownfields (ACRES)	X Zones
Radiation Info (RADINFO)	Areas of 100-year flor
Hazardous Waste (RCRA)	Areas of 500-year flor
Toxic Releases (TF)	LOMR
	Excluded Structures/Parcels
	Other
	Floodway
	1% Chance Flood Contained in Culvert/Channel
FIRM	Railroads
AEZ_CUZs	AEZ Noise
CUZ-1	65-70 LDN
CUZ-2	70-75 LDN
CUZ-3	70-PLUS LDN
CUZ-4	
DM AFB Approach-Departur Corridors	
ADC-1	
ADC-2	
ADC-3	
DM AFB Air Installation Compatible Use Zones	
DM AFB Noise Control Districts	
75-80 LDN	Historic Landmark Zones
80-PLUS LDN	Historic Preservativ Zones

1: 18,056



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**





Southwest corner looking east across Oracle Road



Southwest corner looking south across Drachman



Looking west across Oracle to Tucson House



Northwest looking west





Drachman looking north



Looking north east





East along Drachman



Parking cover to be demolished





1438 N. 11<sup>th</sup> Avenue to be demolished





Southeast corner looking south



1435 N. 11<sup>th</sup> Avenue, CAN-IT Recycling to be demolished





331 E Adams Street to be demolished, south face



331 E Adams Street to be demolished, north face



Northwest corner looking east

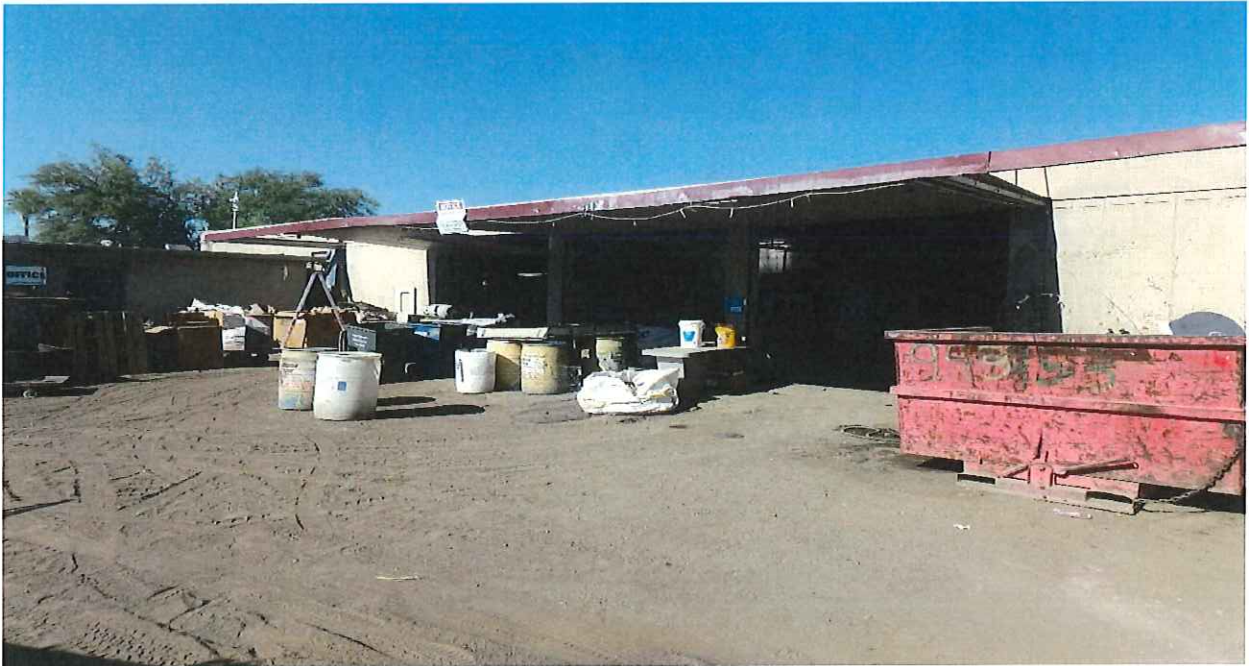


1435 N. 11<sup>th</sup> Avenue, CAN-IT Recycling to be demolished





1435 N. 11<sup>th</sup> Avenue, CAN-IT Recycling to be demolished



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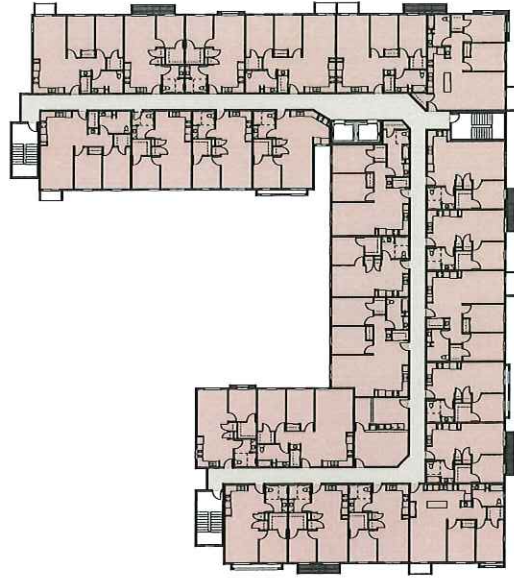


**8. FLOOR PLANS/DESIGN**

# GATEWAY POINT APARTMENTS

70-1 BEDROOM UNITS  
 50-2 BEDROOM UNITS  
 120 TOTAL UNITS

PROXIMITY TO TUCSON HOUSE



TYPICAL FLOOR PLAN



VIEW FROM ORACLE/DRACHMAN



SITE PLAN



**carhuff+cueva**  
 architects, llc  
 3149 e pince rd #151 tucson, arizona 85716  
 phone 520.577.4560 www.cca-az.com



Your partner for a safe, strong, and healthy community.

**CANYON**  
 BUILDING & DESIGN

**THG**  
 The Hissey Group



DESIGN APPROVAL

PRELIMINARY  
NOT FOR  
CONSTRUCTION



**carhuft-cueva**  
architects, llc  
3149 e prince rd #151  
tucson, arizona 85716  
phone 520.577.4560  
www.ccc-az.com

NEW 6-STORY APARTMENT  
BUILDING FOR:  
LA FRONTERA ARIZONA  
1410 N. ORACLE RD  
TUCSON AZ 85705

DESIGN

PROJECT NO. T2D-1410

DATE 2.6.20

SCALE 1/16" = 1'-0"

DRAWN BY VHG

PROJECT TITLE

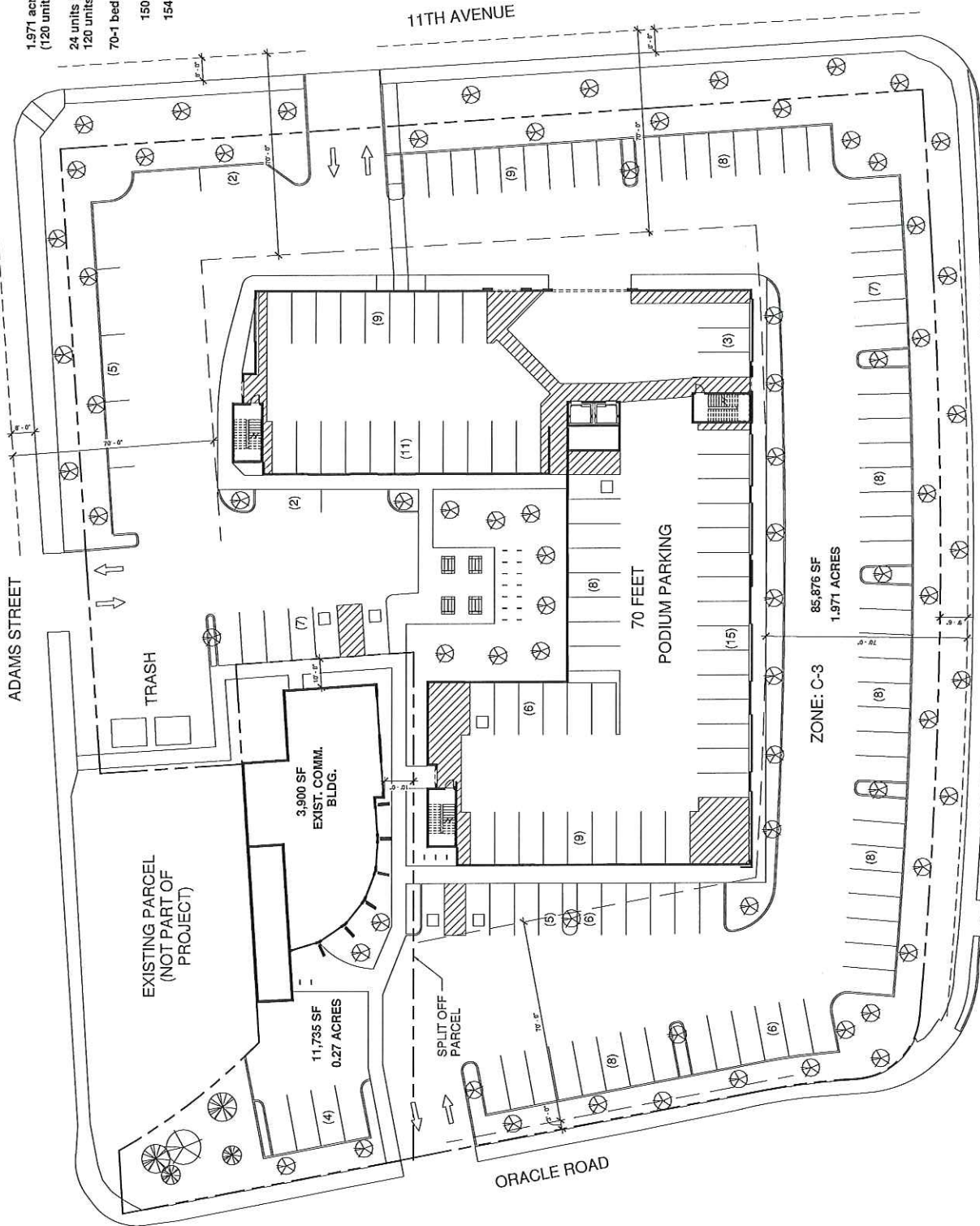
SITE PLAN

SD-1

1.971 acres = 87 x 1.97 = 171 units  
(120 units provided)

24 units per floor x 5 floors =  
120 units

70-1 bedrooms / 50-2 bedrooms  
150 spaces reqd  
154 spaces prvd



RESPONSIBLE SITE PLAN  
DATE 2/6/20

DRACHMAN STREET

85,876 SF  
1.971 ACRES  
ZONE: C-3

70 FEET  
PODIUM PARKING

3,900 SF  
EXIST. COMM.  
BLDG.

11,735 SF  
0.27 ACRES

ADAMS STREET

ORACLE ROAD

11TH AVENUE



DESIGN APPROVAL  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

PRELIMINARY  
NOT FOR  
CONSTRUCTION



**carhuff+cueva**  
architects - llc  
3149 e prince rd # 151  
tucson, arizona 85716  
phone 520.577.4560  
www.c.c.c.-az.com

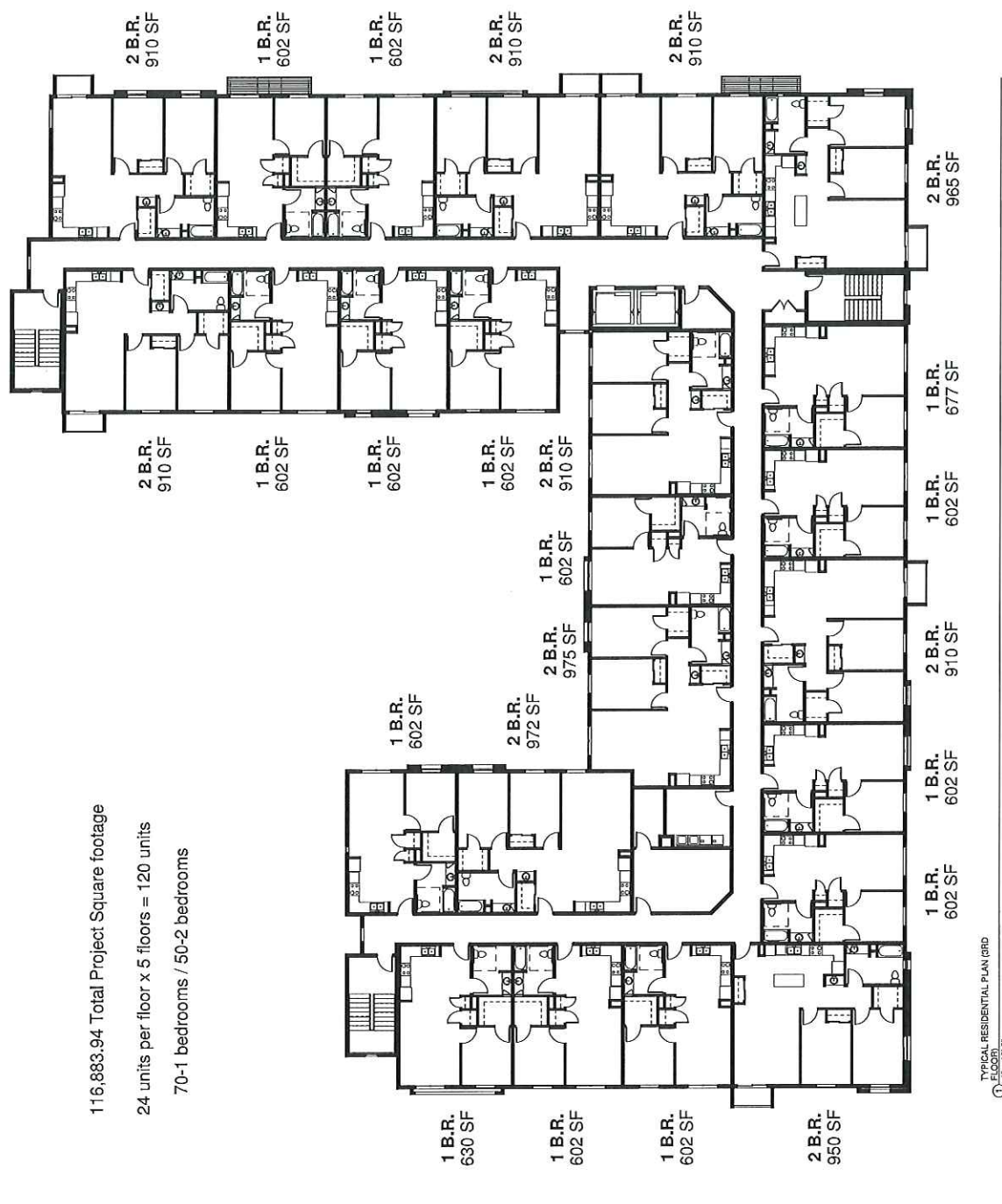
NEW 6-STORY APARTMENT  
BUILDING FOR:  
LA FRONTERA, ARIZONA  
1410 N. ORACLE RD  
TUCSON AZ 85705

DESIGN  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

PROJECT NO.	720-1410
DATE	2.6.20
SCALE	1" = 10'-0"
DRAWN BY	YMG

TYP. RESIDENTIAL FLOOR PLAN  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

SD-2



TYPICAL RESIDENTIAL PLAN (ORD)  
1" = 10'-0"

DESIGN APPROVAL  
DATE: 07/10/10  
BY: [Signature]

PRELIMINARY  
NOT FOR  
CONSTRUCTION



**carhuff-cueva**  
architects, llc  
3149 e prince rd #151  
tucson, arizona 85716  
phone 520.577.4540  
www.c-c-a.com

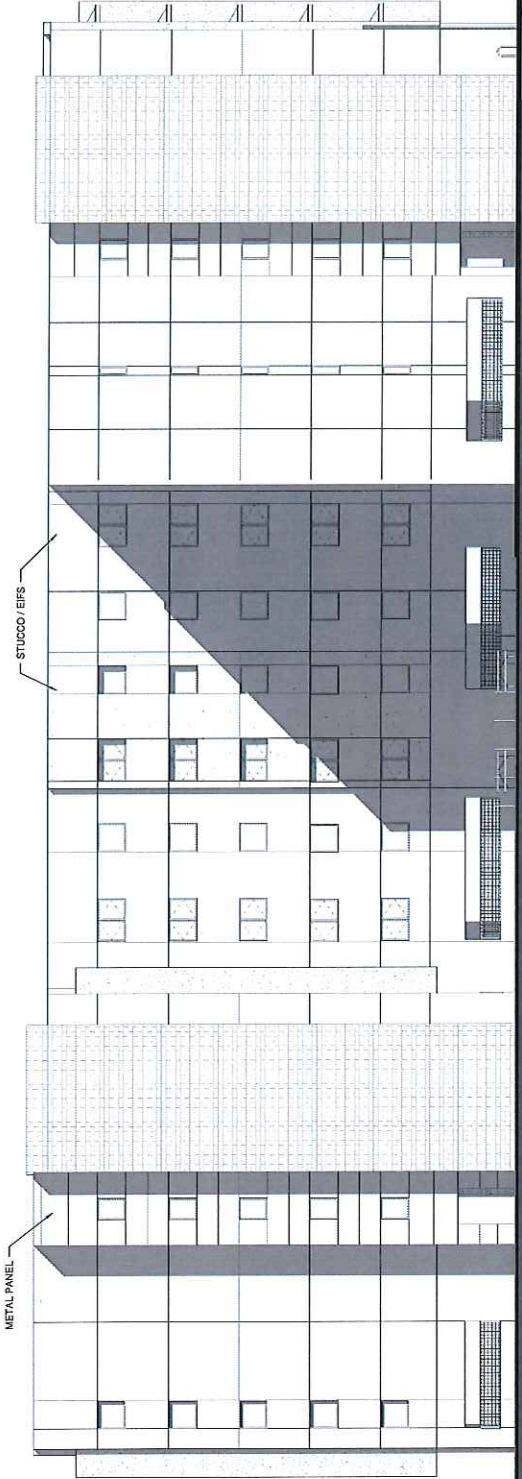
NEW 6-STORY APARTMENT  
BUILDING FOR:  
LA FRONTERA ARIZONA  
1418 N ORACLE RD  
TUCSON AZ 85705

DESIGN

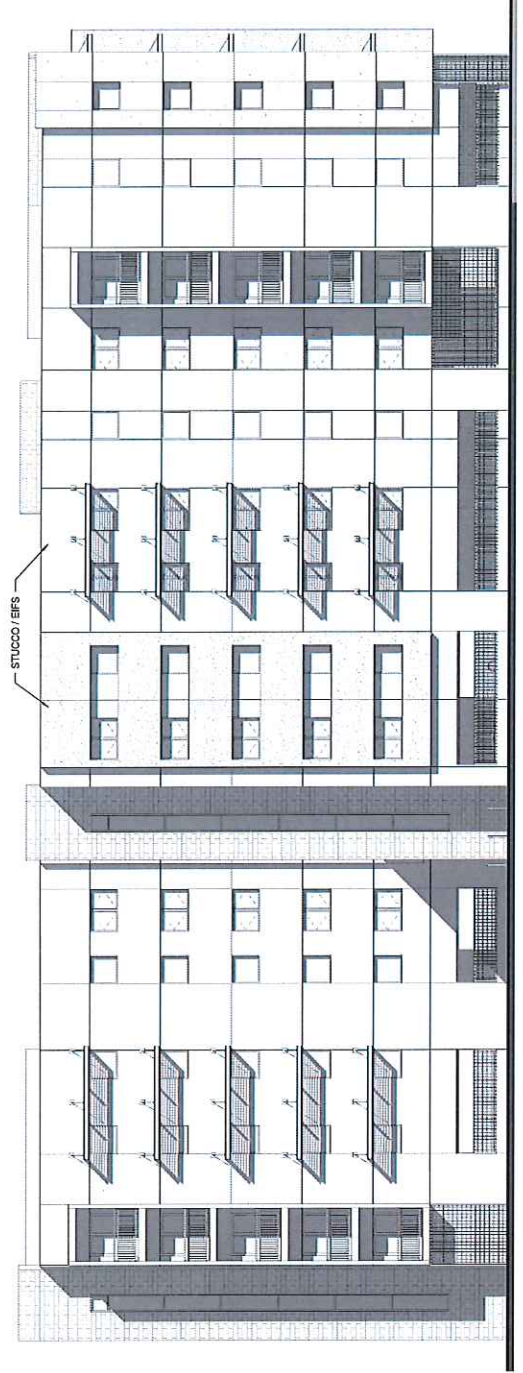
PROJECT NO. T20-1410  
DATE 2.6.10  
SCALE 1/8" = 1'-0"  
DRAWN BY [Signature] AUTHOR

ELEVATIONS  
DRAWN BY [Signature]

SD-3



① NORTH ELEVATION  
1/8" = 1'-0"



② WEST ELEVATION  
1/8" = 1'-0"







# DEVELOPMENT PACKAGE FOR GATEWAY APARTMENTS

1410 N. ORACLE RD., TUCSON AZ 85705

- ### PERMITTING NOTES
- EXISTING ZONING IS C-3 (TO REMAIN UNCHANGED).
  - THE GROSS AREA OF THE SITE IS 104,481 S.F., 2.39 AC.
  - THE EXISTING USE OF THIS PROPERTY IS GENERAL COMMERCIAL USE & AUTOMOTIVE (MAJOR SERVICE AND REPAIR). THE PROPOSED USE OF THIS PROPERTY IS RESIDENTIAL USE MULTI-FAMILY DEVELOPMENT.
  - THE TOTAL NUMBER OF PROPOSED UNITS IS 120 (170 BEDROOMS).
  - THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, U.A.C. ARTICLE 3.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MSR-Z).

- ### DRAINAGE NOTES
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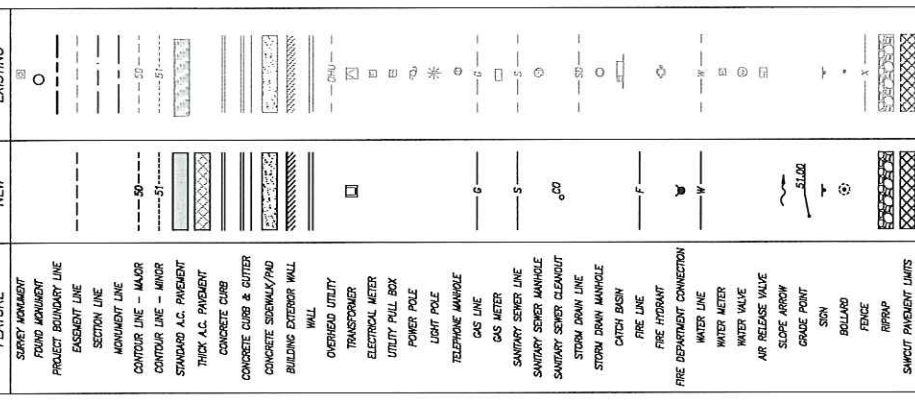
- ### STREETS AND RIGHTS-OF-WAY NOTES
- NO STRUCTURE OR OBSTRUCTION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE FREE AND UNHINDERED PASSAGE OF TRAFFIC THROUGH ANY SECTION 10-01.5.6. SIGNAGE, VISIBILITY, OR THE TECHNICAL STANDARDS MANUAL.
  - TOTAL WIDTHS OF NEW PUBLIC STREETS IS 60'. TOTAL WIDTHS OF NEW PRIVATE STREETS IS 0'.
  - UTILITIES: NONE.

- ### WASTEWATER MANAGEMENT NOTES
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSARY BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
  - WASTEWATER MANAGEMENT NOTES
  - ON-SITE SANITARY SEWERS WILL BE DESIGNED AND WILL BE DESIGNED AND CONSTRUCTED TO PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT STANDARDS AND SHALL BE SUBJECT TO THE ASSURANCE OF SEWER CONNECTION PERMITS.
  - A PROJECT CONSTRUCTION BEFORE BEGINNING WORK ON THIS PROJECT.
  - THE REQUIRED 8FT-SIDE PUBLIC SANITARY SEWER LINE WILL BE DESIGNED AND CONSTRUCTED TO PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT STANDARDS.
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- ### SOLID WASTE / RECYCLING
- WASTE STREAM CALCULATIONS:
- USE MULTI-FAMILY (0.057 TONS/SF, TOTAL SF = 115,979 SF)  
0.057 TONS/SF X 115,979 SF = 661 TONS/YEAR  
SIZE & COLLECTION FREQUENCY = 19.7 TONS/WK
  - 12.7 TONS/WK X 2000 LBS/TON = 25,425 LBS/WK  
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8,475 GAL/WK / 201.97 GAL/CUBIC YARD = 41.9 CUBIC YARDS (TOTAL WASTE)  
0.20 (41.9 CUBIC YARDS) = 8.38 CUBIC YARDS  
0.30 (41.9 CUBIC YARDS) = 12.6 CUBIC YARDS
  - COLLECTION: 3- 4 CUBIC YARD WASTE & 2- 4 CUBIC YARD RECYCLING DUMPSTER SHALL BE COLLECTED 3 TIMES PER WEEK.
- NOTE: ON THE DAYS OF SOLID WASTE AND RECYCLE SERVICE COLLECTION THE BUILDING OWNERS FACILITY MAINTENANCE PERSONNEL SHALL BE RESPONSIBLE FOR POSITIONING THE SOLID WASTE AND RECYCLE CONTAINERS IN FRONT OF THE DUMPSTER ENCLOSURE. THE SOLID WASTE AND RECYCLE CONTAINERS SHALL BE MAINTAINED AT ALL TIMES. MAINTENANCE PERSONNEL SHALL ROLL THE CONTAINERS OUT FOR SERVICING WHEN THE TRUCK ARRIVES, AND SHALL ROLL THE CONTAINERS BACK IN THE ENCLOSURE AFTER SERVICING.

FEATURE	NEW	EXISTING
SURVEY MONUMENT	○	○
FLOOD BOUNDARY LINE	---	---
EASEMENT LINE	---	---
SECTION LINE	---	---
MONUMENT LINE	---	---
CONTOUR LINE - MAJOR	---	---
CONTOUR LINE - MINOR	---	---
STANDARD A.C. PARALLEL	---	---
THICK A.C. PAVEMENT	---	---
CONCRETE CURB	---	---
CONCRETE CURB & GUTTER	---	---
CONCRETE SIDEWALK/PAD	---	---
BUILDING EXTERIOR WALL	---	---
WALL	---	---
OVERHEAD UTILITY	---	---
TRANSFORMER	---	---
ELECTRICAL METER	---	---
UTILITY PULL BOX	---	---
POWER POLE	---	---
LIGHT POLE	---	---
TELEPHONE MANHOLE	---	---
GAS LINE	---	---
GAS METER	---	---
SANITARY SEWER LINE	---	---
SANITARY SEWER MANHOLE	---	---
SANITARY SEWER CLEANOUT	---	---
STORM DRAIN LINE	---	---
STORM DRAIN MANHOLE	---	---
DITCH BASIN	---	---
FIRE LINE	---	---
FIRE HYDRANT	---	---
FIRE DEPARTMENT CONNECTION	---	---
WATER LINE	---	---
WATER METER	---	---
WATER VALVE	---	---
AIR RELEASE VALVE	---	---
SLOPE ARROW	---	---
GRADE POINT	---	---
SPIN	---	---
BOLLARD	---	---
FENCE	---	---
RR/RIP-RAP	---	---
SMCWT PAVEMENT LIMITS	---	---

## LEGEND



## PERMITTING NOTES

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## VEHICULAR PARKING CALCULATIONS

REQUIRED	PROVIDED
RESIDENTIAL (TOTAL)	150 (1.25/100) MIN
ACCESSIBLE	6
WAY ACCESSIBLE	1
LOADING ZONE	6
RESIDENTIAL	0

## BICYCLE PARKING CALCULATIONS

REQUIRED	PROVIDED
SHORT TERM	12 (0.1/1 BIRM)
LONG TERM	85 (0.3/1 BIRM)
RESIDENTIAL	120

- 120 LONG TERM SPACES ARE LOCATED WITHIN THE RESIDENTIAL UNITS  
- SEE SHEET CLO FOR BIKI PARKING LOCATIONS.

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- SEE SHEET CLO FOR BIKI PARKING LOCATIONS.

## VEHICULAR PARKING CALCULATIONS

REQUIRED	PROVIDED
RESIDENTIAL (TOTAL)	150 (1.25/100) MIN
ACCESSIBLE	6
WAY ACCESSIBLE	1
LOADING ZONE	6
RESIDENTIAL	0

## BICYCLE PARKING CALCULATIONS

REQUIRED	PROVIDED
SHORT TERM	12 (0.1/1 BIRM)
LONG TERM	85 (0.3/1 BIRM)
RESIDENTIAL	120

- 120 LONG TERM SPACES ARE LOCATED WITHIN THE RESIDENTIAL UNITS  
- SEE SHEET CLO FOR BIKI PARKING LOCATIONS.

## VEHICULAR PARKING CALCULATIONS

REQUIRED	PROVIDED
RESIDENTIAL (TOTAL)	150 (1.25/100) MIN
ACCESSIBLE	6
WAY ACCESSIBLE	1
LOADING ZONE	6
RESIDENTIAL	0

## BICYCLE PARKING CALCULATIONS

REQUIRED	PROVIDED
SHORT TERM	12 (0.1/1 BIRM)
LONG TERM	85 (0.3/1 BIRM)
RESIDENTIAL	120

- 120 LONG TERM SPACES ARE LOCATED WITHIN THE RESIDENTIAL UNITS  
- SEE SHEET CLO FOR BIKI PARKING LOCATIONS.

## VEHICULAR PARKING CALCULATIONS

REQUIRED	PROVIDED
RESIDENTIAL (TOTAL)	150 (1.25/100) MIN
ACCESSIBLE	6
WAY ACCESSIBLE	1
LOADING ZONE	6
RESIDENTIAL	0

## BICYCLE PARKING CALCULATIONS

REQUIRED	PROVIDED
SHORT TERM	12 (0.1/1 BIRM)
LONG TERM	85 (0.3/1 BIRM)
RESIDENTIAL	120

-



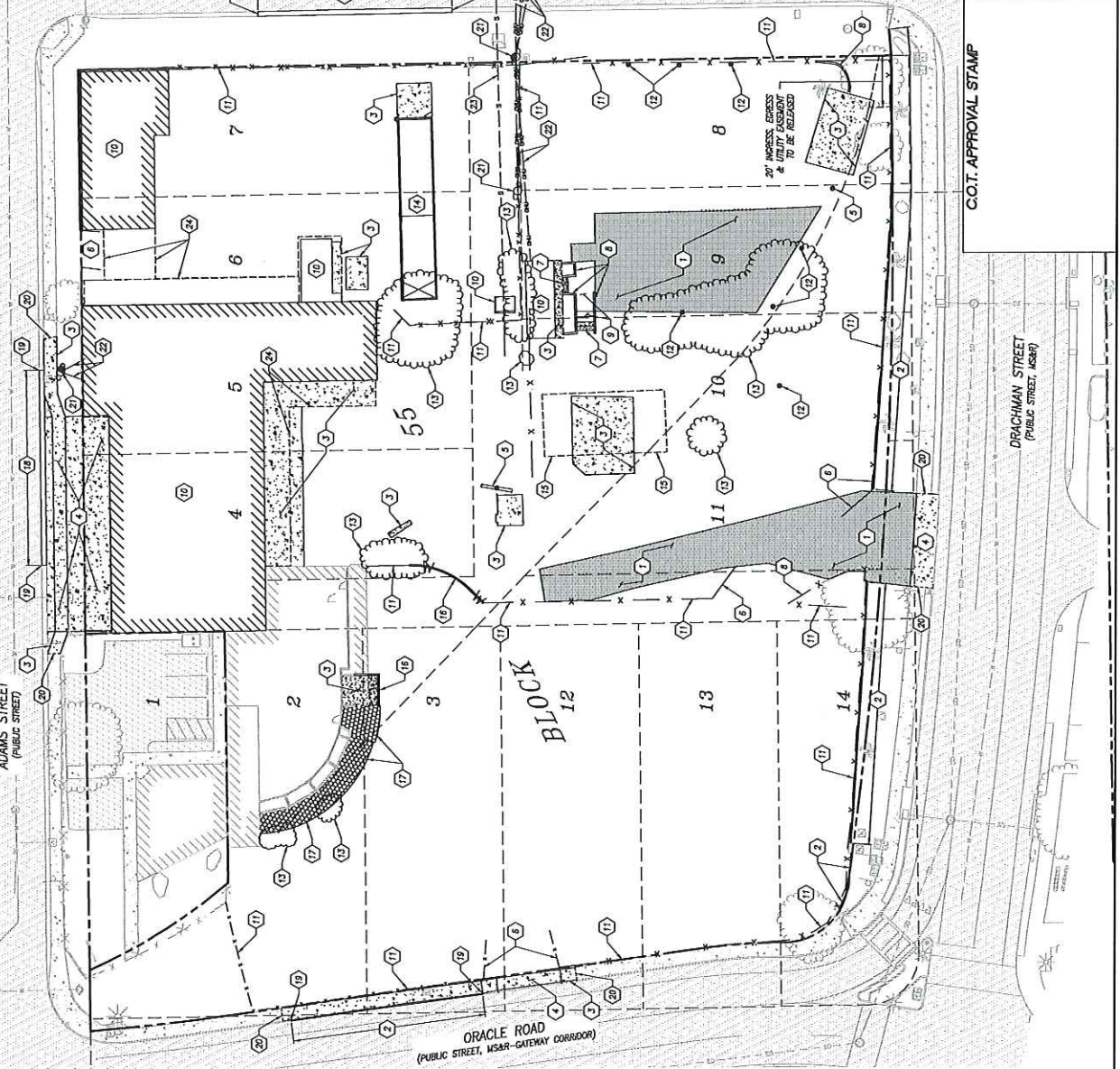






KEYNOTES

- 1) EXISTING PAVEMENT TO BE REMOVED.
- 2) EXISTING CONCRETE VERTICAL CURB TO BE REMOVED.
- 3) EXISTING CONCRETE SIDEWALK/PAD TO BE REMOVED.
- 4) EXISTING CONCRETE APPROX TO BE REMOVED.
- 5) EXISTING SIGN TO BE REMOVED.
- 6) EXISTING GATE TO BE REMOVED.
- 7) EXISTING CONCRETE STAIRS TO BE REMOVED.
- 8) EXISTING REMAINING WALL TO BE REMOVED.
- 9) EXISTING FLASHING PATIO/STEPS TO BE REMOVED.
- 10) EXISTING BUILDING TO BE REMOVED.
- 11) EXISTING CHAIN LINK FENCE TO BE REMOVED.
- 12) EXISTING BOLLARD TO BE REMOVED.
- 13) EXISTING VEGETATION TO BE REMOVED.
- 14) EXISTING VEHICLE SCALE TO BE REMOVED IF NOT DONE BY PRIOR BUSINESS OWNER.
- 15) EXISTING SHADE STRUCTURE TO BE REMOVED.
- 16) EXISTING WALL TO BE REMOVED.
- 17) EXISTING PAVED WALKWAY TO BE REMOVED.
- 18) EXISTING WEDGE CURB TO BE REMOVED.
- 19) SHWOOT EXISTING CURB. SEE HORIZONTAL CONTROL PLAN FOR EXACT LOCATION AND LIMITS OF NEW IMPROVEMENTS.
- 20) SHWOOT EXISTING SIDEWALK. SEE HORIZONTAL CONTROL PLAN FOR EXACT LOCATION AND LIMITS OF NEW IMPROVEMENTS.
- 21) EXISTING UTILITY POLE AND OVERHEAD UTILITIES TO BE REMOVED. COORDINATE WITH UTILITY COMPANY.
- 22) EXISTING OVERHEAD UTILITY LINE TO BE REMOVED OR RE-LOCATED. COORDINATE WITH UTILITY COMPANY.
- 23) CONTRACTOR TO REMOVE EXISTING SENIOR SERVICE STUB AT PROPERTY LINE.
- 24) EXISTING BUILDING CANOPY TO BE REMOVED.



**DEMOLITION NOTES**

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, INCLUDING DEMOLITION PERMITS, REQUIRED BY GOVERNMENTAL AGENCIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATIONS AND ORDINANCES OF THE LOCAL, STATE AND FEDERAL GOVERNMENT, INCLUDING BUT NOT LIMITED TO THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 220, 2002 EDITION, AND THE INTERNATIONAL FIREMARTIN CODE (IFM) 2002 EDITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. UTILITY LOCATIONS SHOWN ARE APPROXIMATE, AND THERE MAY BE EXISTING UTILITIES WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CALL "TILE STATE CENTER" AT 1-800-392-5348, AT LEAST 48 HOURS PRIOR TO COMMENCING DEMOLITION TO DETERMINE THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COSTS INCURRED AS A RESULT OF DAMAGE TO UTILITIES CAUSED BY HIS OPERATIONS.
4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING WORK TO DISCONNECT, SHUT OFF, OR STUB OUT ANY EXISTING UTILITIES AFFECTED BY THE DEMOLITION.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 220, 2002 EDITION, AND THE INTERNATIONAL FIREMARTIN CODE (IFM) 2002 EDITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED AND/OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, AND/OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 220, 2002 EDITION, AND THE INTERNATIONAL FIREMARTIN CODE (IFM) 2002 EDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 220, 2002 EDITION, AND THE INTERNATIONAL FIREMARTIN CODE (IFM) 2002 EDITION.
9. THE CONTRACTOR SHALL REMOVE ALL DEMOLITION MATERIALS PER CITY AND/OR COUNTY REGULATIONS.
10. AN APPROVED COPY OF THIS PLAN SHALL BE KEPT ON LOCATION AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAIL AND APPLY ALL WATER REQUIRED FOR THE CONTROL OF DUST FROM DEMOLITION ACTIVITIES. THE COST THEREOF IS TO BE INCLUDED IN THE CONTRACT PRICE.
12. THE EXISTENCE AND LOCATION OF ANY EXISTING UNDERGROUND UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAIL AND APPLY ALL WATER REQUIRED FOR THE CONTROL OF DUST FROM DEMOLITION ACTIVITIES. THE COST THEREOF IS TO BE INCLUDED IN THE CONTRACT PRICE.
13. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY, INCLUDING DUST CONTROL AND ASBESTOS/RESHAPE.
14. THE CONTRACTOR SHALL OBTAIN APPROVAL AND CLEARANCE FROM TULSON FIRE DEPARTMENT PRIOR TO PROCEEDING WITH ANY DEMOLITION WORK.
15. REGARDING DEMOLITION OF EXISTING LANDSCAPE IMPROVEMENT, THE CONTRACTOR SHALL:
  - A. CUT AND CAP ALL LANDSCAPE IRRIGATION LINES SERVING PLANTS TO BE REMOVED.
  - B. ENSURE CONTINUED IRRIGATION SERVICE TO PLANT MATERIAL TO REMAIN.
  - C. PROTECT ALL PLANT MATERIAL TO REMAIN; DO NOT COMPACT SOIL OR PLACE CONSTRUCTION EQUIPMENT OR MATERIAL WITHIN THE AREA UNDER THE PLANT CANOPY.
  - D. SALVAGE AND OFFER ALL LANDSCAPE IRRIGATION EQUIPMENT TO THE OWNER.
  - E. ALL STAMPS OF REMOVED TREES MUST BE COMPLETELY REMOVED FROM THE AREA.
  - F. ALL EXISTING BIKER/LAW PREVENTORS SHALL BE SALVAGED.
16. CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT FOR EXISTING WATER SERVICES TO BE ABANDONED.
17. CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR ARCHITECT FOR MATERIALS TO BE SALVAGED FOR REUSE OR STORAGE.
18. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, SIGNAGE AND/OR COUNTY REGULATIONS. THE BEST PRACTICES AND APPROVED METHODS SHALL BE USED AT ALL TIMES.
19. PERMITS TO DEMOLITION OCCURRING, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY.
20. CONTIGUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

**DP20-XXXX**  
 COT ADMINISTRATIVE ADDRESS:  
 1410 N. ORACLE RD.  
 TUCSON, AZ 85705

**GRENIER ENGINEERING, INC.**  
 Structural & Civil Engineers/Contractors  
 6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715  
 Phone: 520-326-7082 - Fax: 520-326-7568

DEMOLITION PLAN  
 DEVELOPMENT PACKAGE FOR  
**GATEWAY APARTMENTS**  
 A PORTION OF SECTION 1, T14S, R13E,  
 CLSRM, PINA COUNTY, AZ

Sheet No. 3 of 17

C.O.T. APPROVAL STAMP

DRACHMAN STREET  
 (PUBLIC STREET, MSR)

BLOCK 12

ORACLE ROAD  
 (PUBLIC STREET, MSR-GATEWAY CORRIDOR)

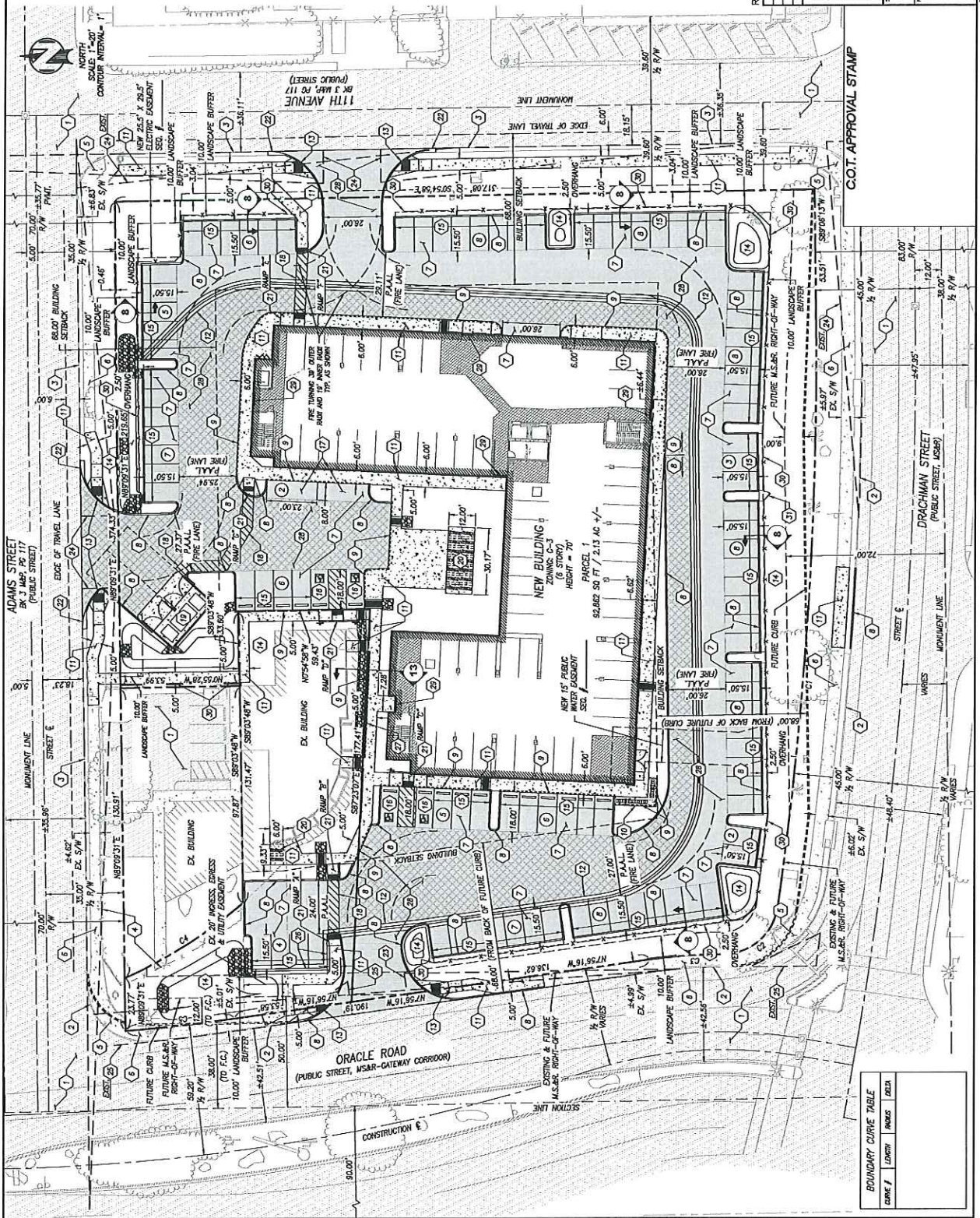
ADAMS STREET  
 (PUBLIC STREET)

17TH AVENUE  
 (PUBLIC STREET)



**KEYNOTES**

- 1 EXISTING A.C. PAVEMENT TO REMAIN.
- 2 EXISTING CONCRETE VERTICAL CURB TO REMAIN.
- 3 EXISTING CONCRETE WEDGE CURB TO REMAIN.
- 4 EXISTING WROUGHT IRON FENCE TO REMAIN.
- 5 EXISTING CURB ACCESS RAMP TO REMAIN.
- 6 EXISTING CONCRETE SIDEWALK PAD TO REMAIN.
- 7 NEW 4" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STANDARD DETAIL 202, TYPE 2.
- 8 NEW 4" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STANDARD DETAIL 202, TYPE 2.
- 9 NEW 4" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STANDARD DETAIL 202, TYPE 2.
- 10 CLUSTER WALKWAY (LOOKAL).
- 11 NEW CONCRETE SIDEWALK PER P.A.G. STANDARD DETAIL 202, 36" MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE.
- 12 NEW VALLEY CUTTER, SEE GRADING PLAN.
- 13 NEW CURB ACCESS RAMP PER P.A.G. STD. DET. 207, TYPE II.
- 14 NEW VEGETATION/LANDSCAPE AREA.
- 15 NEW STANDARD PARKING SPACE PER DETAIL 1.
- 16 NEW ACCESSIBLE PARKING SPACE PER DETAIL 1.
- 17 NEW STANDARD PARALLEL PARKING SPACE PER DETAIL 1.
- 18 NEW 5' WIDE STRIPED CROSSWALK.
- 19 NEW DUMPSTER ENCLOSURE PER DETAIL 3.
- 20 NEW SHORT TERM BICYCLE RACK PER DETAIL 6.
- 21 NEW CURB ACCESS RAMP, SEE DETAIL 10.
- 22 NEW CONCRETE CURB TRANSITION VERTICAL CURB TO WEDGE CURB PER P.A.G. STANDARD DETAIL 210.
- 23 VEHICULAR SIGHT VISIBILITY TRIANGLE - PAR SIDE=360', FAR SIDE=150', STEM=15', (3 & 4 LANE ROAD)
- 24 VEHICULAR SIGHT VISIBILITY TRIANGLE - NEAR SIDE=360', FAR SIDE=170', STEM=15', (TWO-LANE ROAD)
- 25 PRESTRAIN SIGHT VISIBILITY TRIANGLE FAR SIDE= 30', STEM=15', (2-LANE STRIPED 1/2 W OPENING)
- 26 NEW CONCRETE CURB & GUTTER PER P.A.G. STANDARD DETAIL 209, TYPE 10. MODIFY GUTTER SLOPE TO BE 1/4".
- 27 NEW HANGAR PER ARCHITECTURAL PLANS.
- 28 NEW HANGAR ACCESS DRIVE A.C. PAVEMENT (CROSS-HATCHED AREA) PER DETAIL 5.
- 29 GARAGE ACCESS POINT.
- 30 NEW 4" WROUGHT IRON FENCE, SEE ARCHITECTURAL PLANS.
- 31 NEW GATE FOR FIRE ACCESS ONLY.



**DP20-XXXX**  
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**SITE PLAN**  
 DEVELOPMENT PACKAGE FOR  
**GATEWAY APARTMENTS**  
 A PORTION OF SECTION 1, T4S, R1E,  
 CLASIM, PIMA COUNTY, AZ

REF NOS.:

NO.	DATE	DESCRIPTION

Scale: \_\_\_\_\_

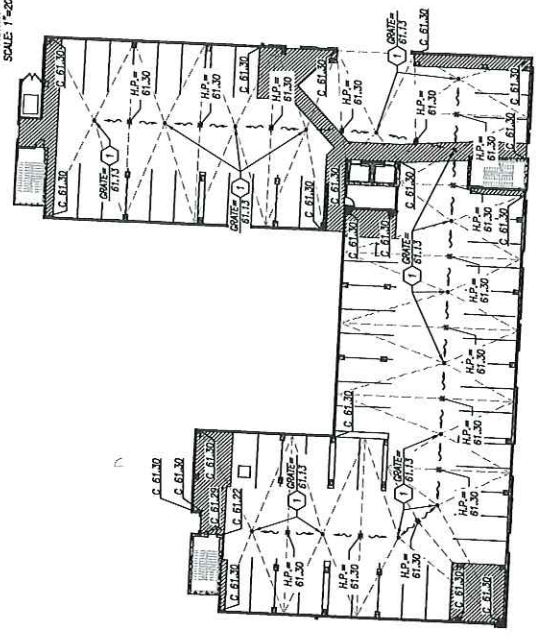
Sheet: 4 of 17

**COT APPROVAL STAMP**

**BOUNDARY CURVE TABLE**

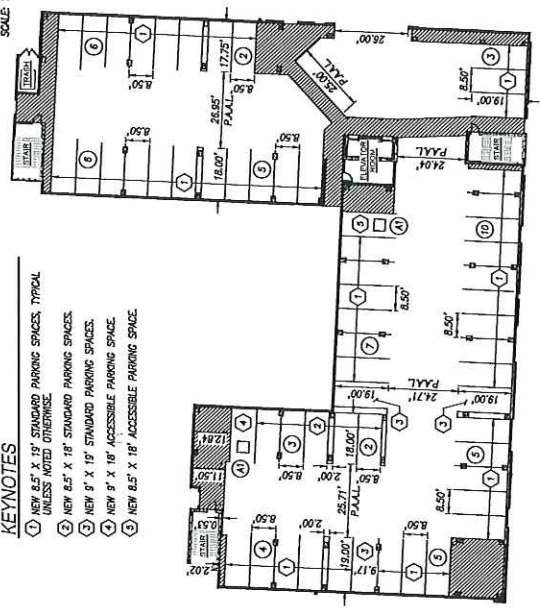
CURVE #	LENGTH	PIVOTS	BEARS





**STREET LEVEL INTERIOR PARKING PLAN**

- KEYNOTES**
- ① NEW 8'5" X 18' STANDARD PARKING SPACES, TYPICAL UNLESS NOTED OTHERWISE.
  - ② NEW 8'5" X 18' STANDARD PARKING SPACES.
  - ③ NEW 9' X 19' STANDARD PARKING SPACES.
  - ④ NEW 9' X 18' ACCESSIBLE PARKING SPACE.
  - ⑤ NEW 8'5" X 18' ACCESSIBLE PARKING SPACE.



**STREET LEVEL INTERIOR GRADING PLAN**

- KEYNOTES**
- ① NEW AREA DRAIN LOCATION. SEE PLUMBING PLAN.
  - ② STANDARD PARKING STALLS = 58 TOTAL
  - ③ ACCESSIBLE PARKING STALLS = 2 TOTAL

STREET LEVEL VEHICLE PARKING PROVIDED

**DP20-XXXX**  
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**PROJECT**  
 BUILDING PARKING PLAN  
 DEVELOPMENT PACKAGE FOR  
 GATEWAY APARTMENTS  
 A PORTION OF SECTION 1, T4S, R13E,  
 GASPRM, PIMA COUNTY, AZ

**Sheet Number**  
**C3.1**

Sheet 5 of 17

C.O.T. APPROVAL STAMP

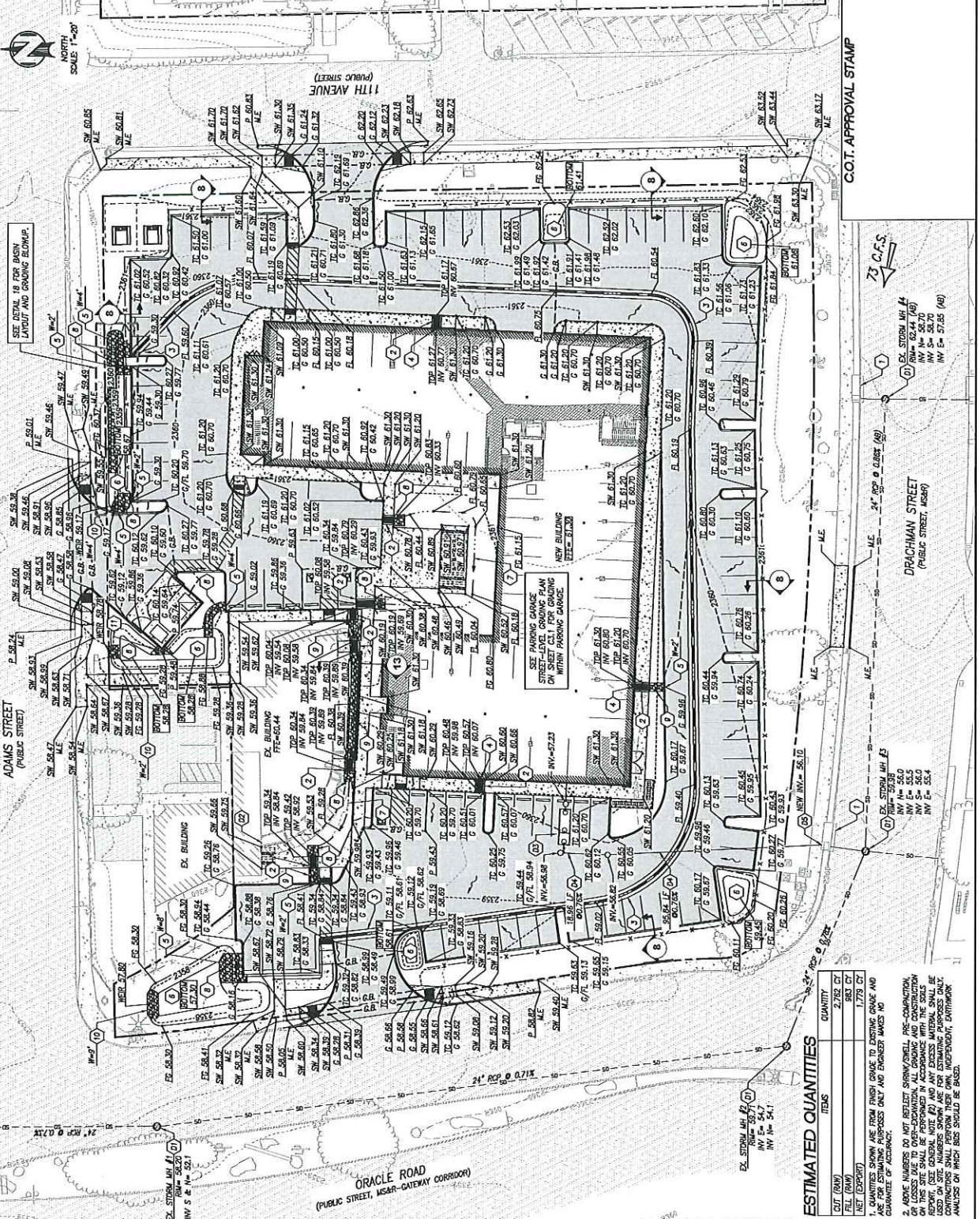


**KEYNOTES**

- 1) EXISTING STORM DRAIN CATCH BASIN TO REMAIN.
- 2) NEW TYPE 2 SUBGRAVIL SCUMPER PER P.A.C. STANDARD DETAIL 200 (WIDTH 4'-2.5').
- 3) NEW CONCRETE VALVE CUTTER PER P.A.C. STANDARD DETAIL 200 WITH 4" SIDE SLOPE.
- 4) NEW ROOF DRAIN DOWNSPOUT, SEE PLUMBING PLANS FOR DETAILS. CONNECT TO SUBGRAVIL SCUMPER PER DETAIL 15.
- 5) CURB OPENING PER DETAIL 4.
- 6) NEW WATER HARVESTING BASIN (6" MAX. PONDING DEPTH 1/4"1" SIDE SLOPE), SEE DETAIL 11.
- 7) NEW EXISTING SWALE PER FLOW LINE (FL) ELEVATIONS SHOWN.
- 8) NEW HAND PLACED RAPPAP PAD PER DETAIL 11.
- 9) NEW RAPPAP SWALE PER DETAIL 16.
- 10) NEW RAPPAP WEIR PER DETAIL 12. WEIR WIDTH AND ELEVATION AS NOTED.
- 11) GRADED RAPPAP SLOPE PROTECTION AROUND CORNER OF DAMPSTER ENCLOSURE PER DETAIL 11 (1'-0" HIGH, 1:1 MAX. SLOPE).

**STORM DRAIN KEYNOTES**

- 1) EXISTING STORM DRAIN MARKED TO REMAIN.
- 2) EXISTING ROOF DRAIN TO REMAIN.
- 3) NEW 6" PVC (RIS-30) STORM DRAIN PIPE.
- 4) NEW OIL/SAND SEPARATOR PER PLUMBING PLANS.
- 5) NEW 6" PVC (RIS-30) STORM DRAIN PIPE.
- 6) CONNECT TO EXISTING CATCH BASIN, CORE INTO BASIN HULL AND GROUT PIPE.



**ESTIMATED QUANTITIES**

ITEMS	QUANTITY
GRV (R/W)	2,183.07
ELL (R/W)	883.07
NET (EXPAND)	1,778.07

1. QUANTITIES SHOWN ARE FROM FINISH GRADE TO EXISTING GRADE AND ARE FOR ESTIMATING PURPOSES ONLY AND ENGINEER MAKES NO GUARANTEE OF ACCURACY.

2. NOTE NUMBERS DO NOT REFLECT SURVEYING PRE-COMPLETION ON THIS SITE SHALL BE PROVIDED IN ACCORDANCE WITH THE SUBMITTAL REPORT. (SEE GENERAL NOTE #2) AND ANY EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE. CONTRACTORS SHALL PERFORM THEIR OWN INSPECTION, SURVEYING, AND ANALYSIS OF WHICH BIDS SHOULD BE BASED.

**DP20-XXXX**  
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Project: **GRADING PLAN**  
 DEVELOPMENT PACKAGE FOR  
**GATEWAY APARTMENTS**  
 A PORTION OF SECTION 1, T4S, R13E,  
 CASARI, PIMA COUNTY, AZ

Sheet: **6** of 17



**UTILITY KEYNOTES**

- (1) SEE PLUMBING PLANS FOR CONTINUATION AND EXACT LOCATION OF CONNECTION TO BUILDING PLUMBING.

**SANITARY SEWER KEYNOTES**

- (1) NEW PUBLIC SEWER MANHOLE PER PUBLIC SEWER PLANS.
- (2) NEW PRIVATE SANITARY SEWER CLEANOUT FOR DETAIL RUMKOLA DETAIL 404 (TYPE 1), RIM AND INVERT ELEVATION AS NOTED.
- (3) NEW 6" PVC (SOR 35) PRIVATE SANITARY SEWER SERVICE LINE LENGTH & SLOPE AS NOTED.

**WATER KEYNOTES**

- (1) EXISTING FIRE HYDRANT TO REMAIN.
- (2) EXISTING WATER METER & BACKFLOW PREVENTORS TO REMAIN.
- (3) EXISTING WATER METER & BACKFLOW PREVENTORS TO BE ABANDONED OR REPAIRED BY TUCSON WATER.
- (4) NEW 1" COP WATER SERVICE LINE AND BACKFLOW PREVENTOR BY TUCSON WATER. CONSULT TUCSON WATER FOR INSTALLATION OF BACKFLOW PREVENTOR. TUCSON WATER WILL PROVIDE BACKFLOW PERMIT.
- (5) NEW DOMESTIC WATER SERVICE LINE TO BUILDING BY TUCSON WATER.
- (6) NEW 6" PVC 6000 FIRE SERVICE LINE. TUCSON WATER WILL DO THE TAP AND NEW FIRE SERVICE LINE TO PROPERTY LINE. TUCSON WATER WILL PROVIDE THE FIRE SERVICE LINE TO BUILDING. SEE FIRE SERVICE NOTE THIS SHEET.
- (7) NEW FIRE DEPARTMENT CONNECTION (FDC). COORDINATE WITH BUILDING PLANS.
- (8) EXISTING ABANDONED WATER SERVICE METER.
- (9) EXISTING IRRIGATION VALVES TO REMAIN.
- (10) NEW 1 1/2" IRRIGATION METER AND BACKFLOW PREVENTOR.
- (11) NEW FIRE HYDRANT AND LATERAL BY TUCSON WATER.

**ELECTRICAL KEYNOTES**

- (1) EXISTING UTILITY POLE AND OVERHEAD UTILITY LINES TO REMAIN.
- (2) EXISTING TRANSFORMER TO REMAIN.
- (3) EXISTING SITE LIGHTING TO REMAIN.
- (4) EXISTING ELECTRICAL BOX TO REMAIN.
- (5) PROPOSED TRANSFORMER LOCATIONS. PAID PER TEP SPECIFICATIONS.

**GAS KEYNOTES**

- (1) EXISTING 2" GAS MAIN TO REMAIN.
- (2) EXISTING GAS METER. SEE PLUMBING PLANS.
- (3) NEW GAS METER. SEE PLUMBING PLANS.
- (4) COORDINATE CONNECTION TO GAS MAIN WITH SOUTHWEST GAS.

**COMMUNICATIONS KEYNOTES**

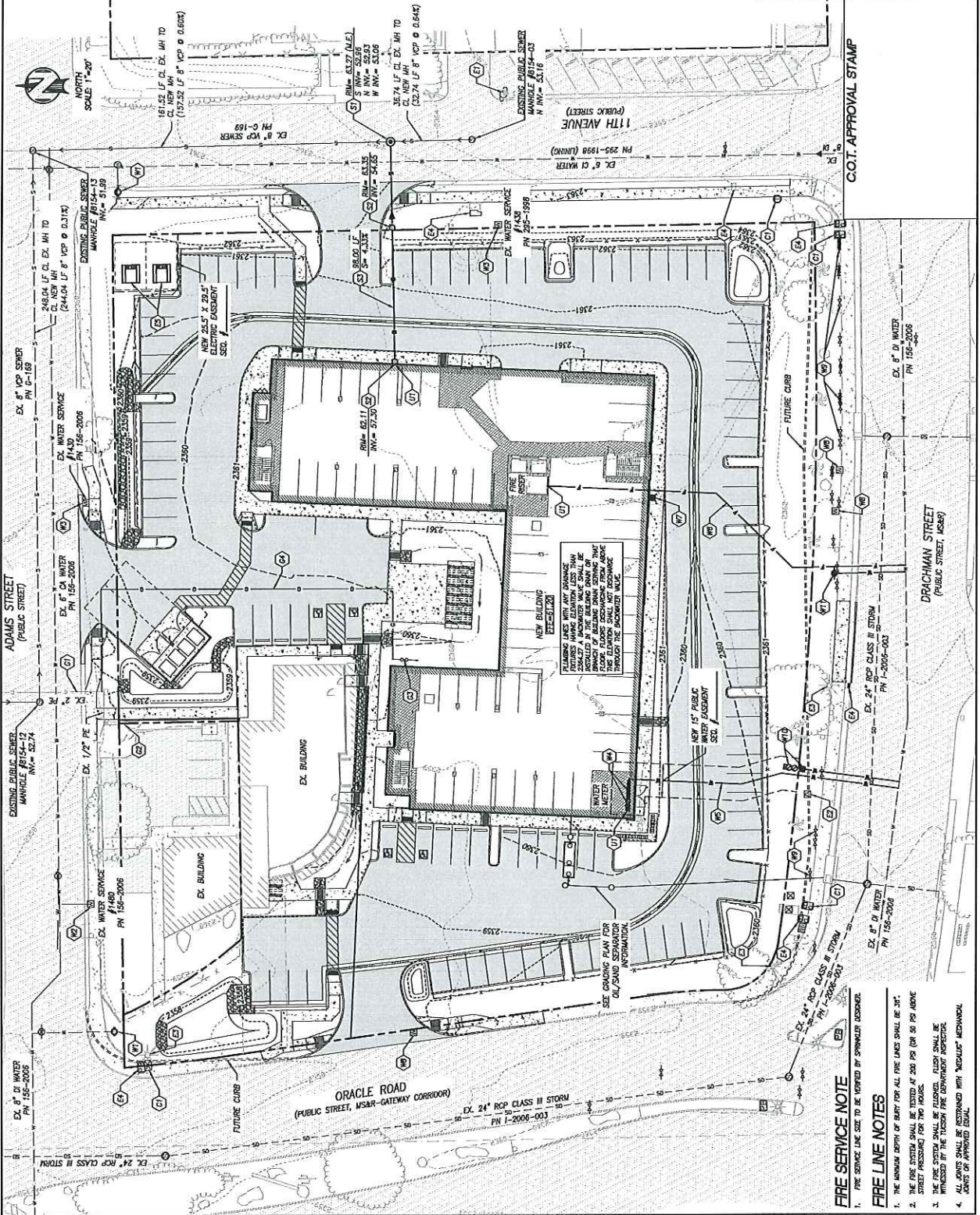
- (1) EXISTING COMMUNICATIONS BOX OR MANHOLE TO REMAIN.

**DP20-XXXX**  
 COT ADMINISTRATIVE ADDRESS:  
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Project: DEVELOPMENT PACKAGE FOR GATEWAY APARTMENTS  
 A PORTION OF SECTION 1.145, RISE, CASRIM, PINA COUNTY, AZ

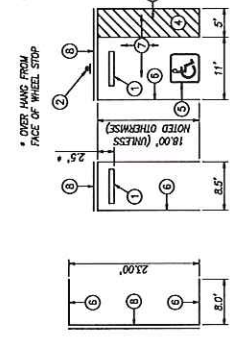
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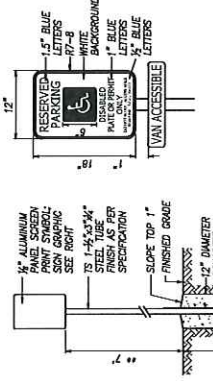
- FIRE SERVICE NOTE**
- FIRE SERVICE LINE SIZE TO BE VERIFIED BY SPRINKLER DESIGNER.
  - THE MINIMUM DEPTH OF BURY FOR ALL FIRE LINES SHALL BE 30".
  - THE FIRE SYSTEM SHALL BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR TWO HOURS.
  - THE FIRE SYSTEM SHALL BE FLASHED. FLASH SHALL BE WITNESSED BY THE TUCSON FIRE DEPARTMENT INSPECTOR.
  - ALL JOINTS SHALL BE RESTRAINED WITH "MEGALUX" MECHANICAL JOINTS OR APPROVED EQUAL.
- FIRE LINE NOTES**

C.O.T. APPROVAL STAMP

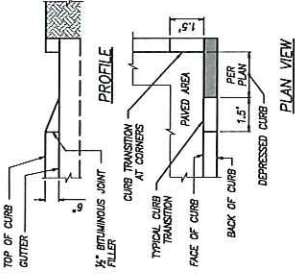
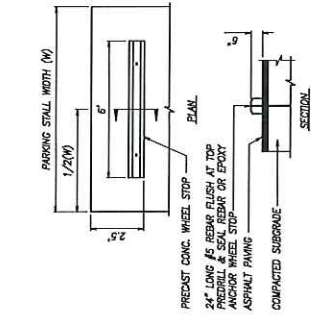




- KEY NOTES**
1. PRECAST CONCRETE WHEEL STOP SHALL BE SHOWN ON PLAN, WHERE APPLICABLE.
  2. ACCESSIBLE PARKING SIGN PER DETAIL 2.
  3. 6" WIDE SOLID WHITE STRIPE.
  4. ACCESSIBLE STRIPE.
  5. INTERNATIONAL DISABLED PAYMENT MARKING.
  6. 4" WIDE SOLID WHITE STRIPE.
  7. SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
  8. CURB WHERE SHOWN ON PLAN.



\*\* SIGNS THAT ARE NOT WITHIN THE PEDESTRIAN CIRCULATION PATH (I.E. LANDSCAPE) CAN BE 5' ABOVE GRADE.

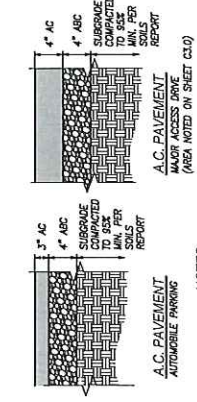


1 TYPICAL PARKING N.T.S.

2 ACCESSIBLE PARKING SIGN N.T.S.

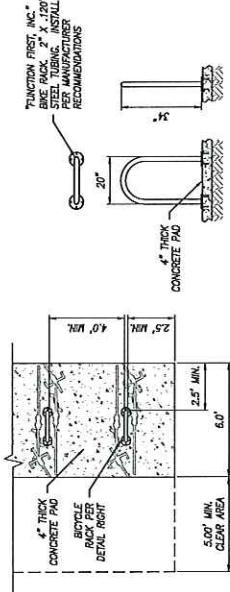
3 WHEEL STOP N.T.S.

4 CURB OPENING N.T.S.



**NOTES**  
1. ALL CURBS ARE TO CONFORM TO RECOMMENDATIONS IN SOILS REPORT.

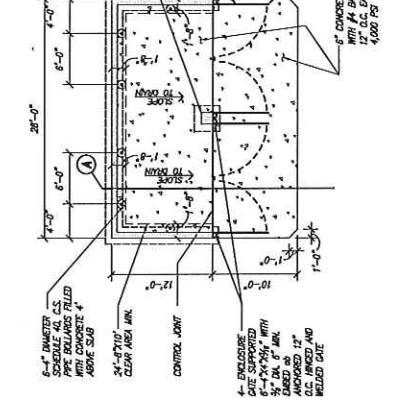
5 PAVEMENT N.T.S.



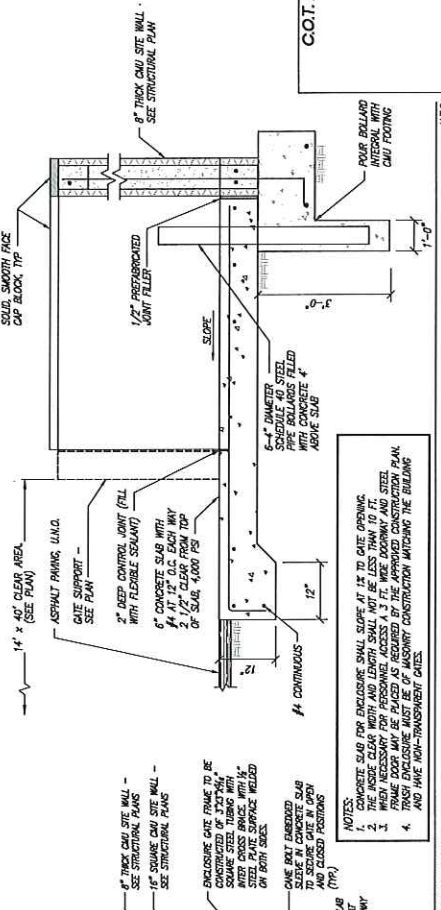
6 BICYCLE RACK N.T.S.

7 MONOLITHIC SIDEWALK & CURB N.T.S.

8 SECTION N.T.S.



9 DUMPSTER ENCLOSURE N.T.S.



**NOTES:**  
1. CURB AND WHEEL STOP ENCLOSURE SHALL BE 1/2\"/>

7 MONOLITHIC SIDEWALK & CURB N.T.S.

8 SECTION N.T.S.

**DP20-XXXX**  
COT ADMINISTRATIVE ADDRESS:  
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**DETAILS**  
DEVELOPMENT PACKAGE FOR  
**GATEWAY APARTMENTS**  
A PORTION OF SECTION 1, T4S, R16E,  
GASPARA, PIMA COUNTY, AZ

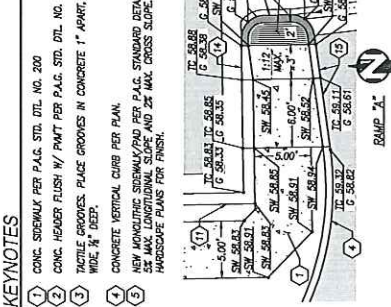
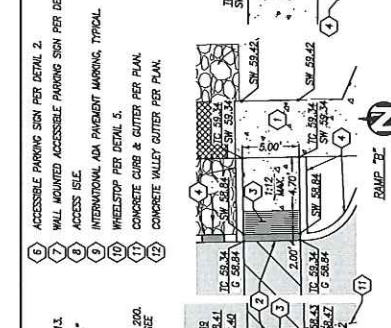
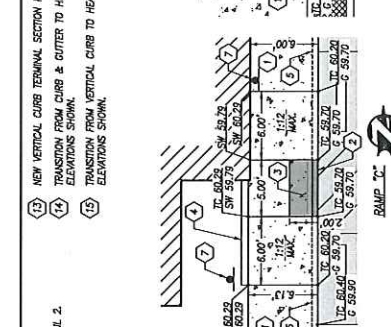
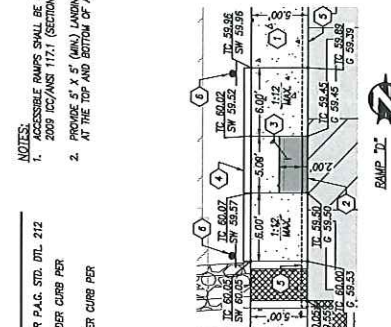
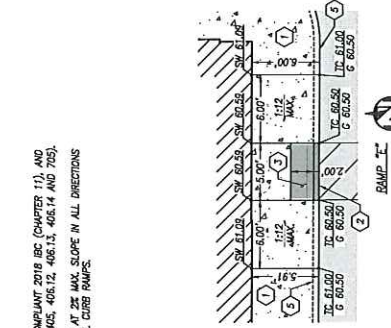
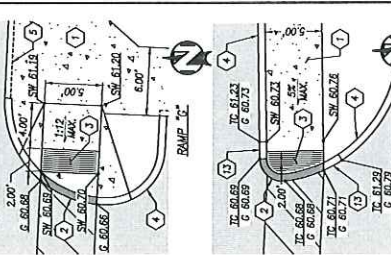
**C6.0**  
Sheet Number

Sheet 8 of 17

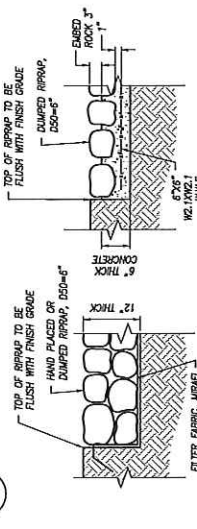
C.O.T. APPROVAL STAMP

**KEYNOTES**

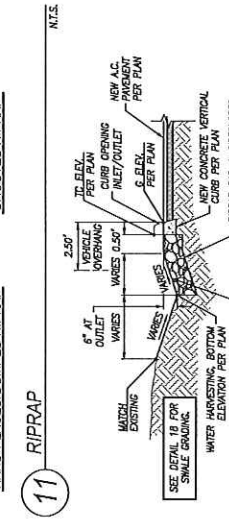
- 1 CONC. SIDEWALK PER P.A.C. STD. DET. NO. 200
- 2 CONC. HEADER FLUSH W/ PAVT PER P.A.C. STD. DET. NO. 213
- 3 TACTILE GROOVES, FLARE GROOVES IN CONCRETE 1" APART, 1/4" WIDE, 1/4" DEEP.
- 4 CONCRETE VERTICAL CURB PER PLAN
- 5 NEW MONOLITHIC SIDEWALK/200 PER P.A.C. STANDARD DETAIL 200. AND 2% MAX. CROSS SLOPE. SEE HARDSHARE PLANS FOR FINISH.
- 6 ACCESSIBLE PARKING SIGN PER DETAIL 2.
- 7 WALL MOUNTED ACCESSIBLE PARKING SIGN PER DETAIL 2.
- 8 ACCESS ISLE
- 9 INTERNATIONAL ADA PAVEMENT MARKING, TYPICAL
- 10 WHEELSTOP PER DETAIL 5.
- 11 CONCRETE CURB & GUTTER PER PLAN.
- 12 CONCRETE VALLEY GUTTER PER PLAN.
- 13 NEW VERTICAL CURB TERMINAL SECTION PER P.A.C. STD. DET. 212
- 14 TRANSITION FROM CURB & GUTTER TO HEADER CURB PER ELEVATIONS SHOWN.
- 15 TRANSITION FROM VERTICAL CURB TO HEADER CURB PER ELEVATIONS SHOWN.



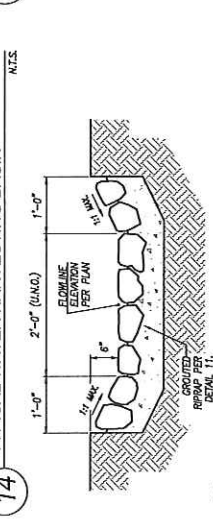
**10 CURB ACCESS RAMPS**



**11 HAND-PLACED/DUMPED RIPRAP**



**12 RIPRAP WEIR**



**13 SECTION**

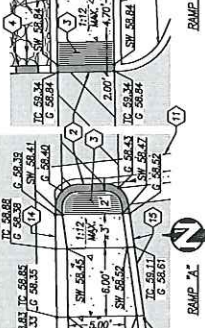
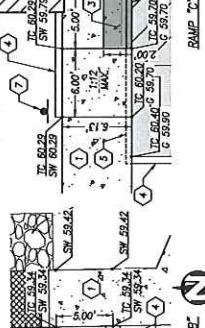
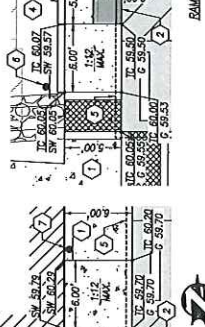
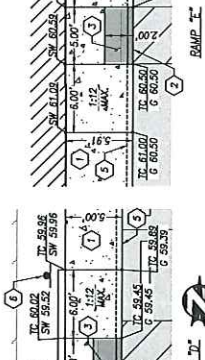


**14 TYPICAL WATER HARVESTING BASIN**

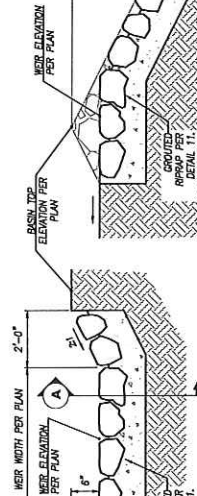


**NOTES**

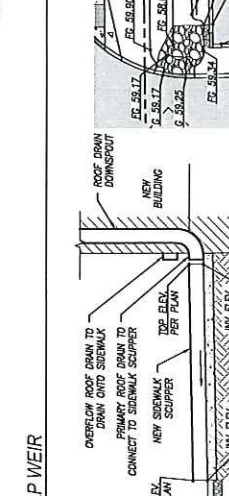
- 1. ACCESSIBLE RAMPS SHALL BE COURTYARD 2016 PER (CHAPTER 11), AND 2003 ICC/ANSI 117.1 (SECTION 405.12, 406.11, 406.14 AND 705).
- 2. PROVIDE 5" x 5" (MIN.) LANDING AT 2% MAX. SLOPE IN ALL DIRECTIONS AT THE TOP AND BOTTOM OF ALL CURB RAMPS.



**15 DOWNSPOUT TO SCUPPER CONNECTION**



**16 RIPRAP SWALE**



**17 SECTION**



**18 SWALE DETAIL**



**DP20-XXXX**  
 COT ADMINISTRATIVE ADDRESS:  
 1410 N. ORACLE RD.  
 TUCSON, AZ 85705

Project No.	20022
Contract No.	AV/AM
Contract Name	AV/AM
Contract Description	AV/AM
Contract Date	03/09/2022
Contract Status	AV/AM
Contract Location	AV/AM
Contract Notes	AV/AM

**GRENIER ENGINEERING, INC.**  
 Structural & Civil Engineering Consultants  
 6000 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715  
 Telephone: (520) 325-7022 - Fax: (520) 325-7050

**DETAILS**

DEVELOPMENT PACKAGE FOR  
**GATEWAY APARTMENTS**  
 A PORTION OF SECTION 1, T44S, R14E,  
 GLENN, PINA COUNTY, AZ

Sheet No. **C6.1**  
 Sheet 9 of 17

**C.O.T. APPROVAL STAMP**

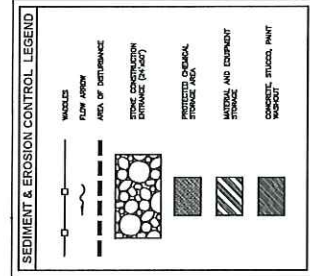




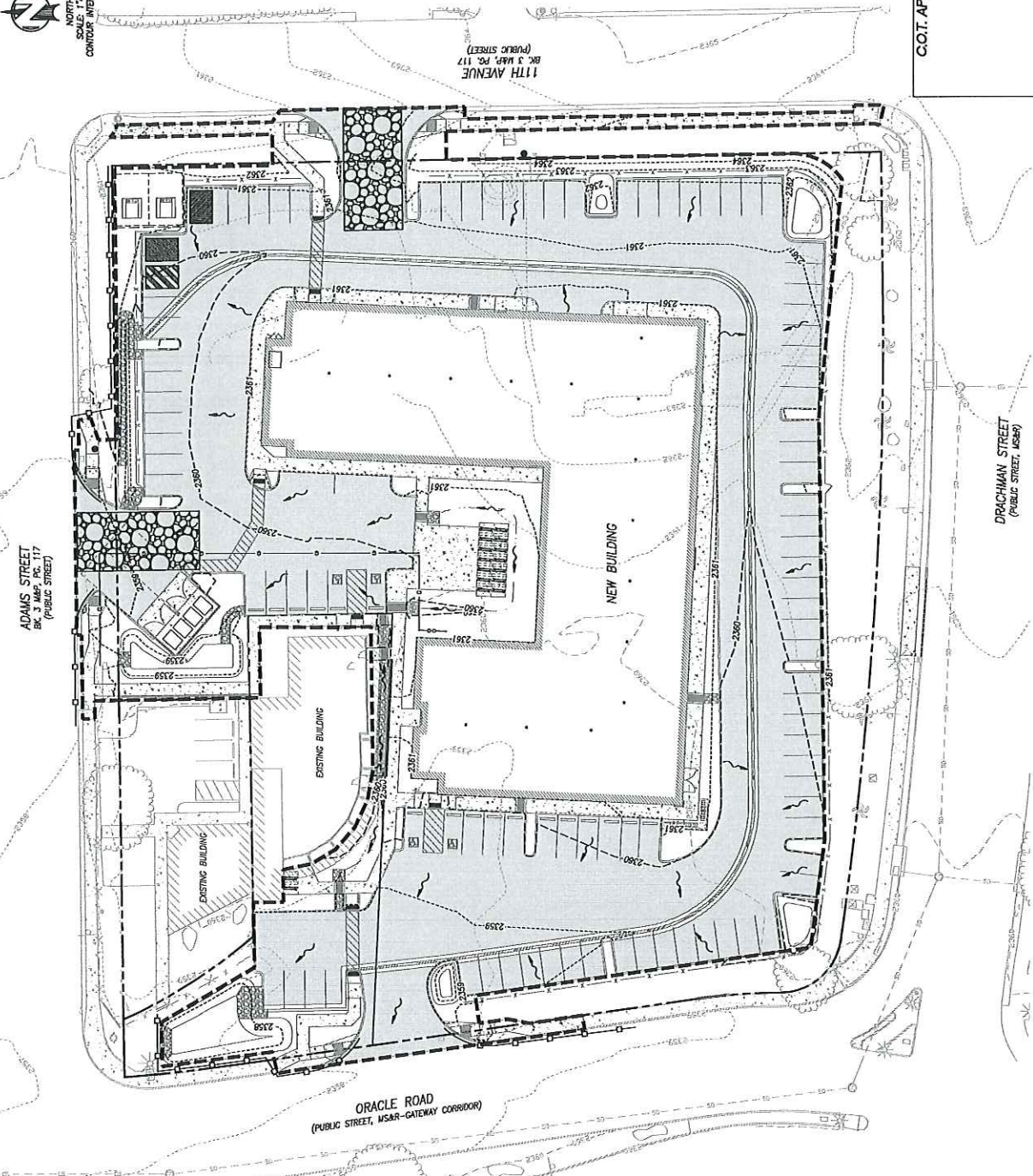








NORTH  
SCALE: 1" = 20'  
CONTOUR INTERVAL: 1'

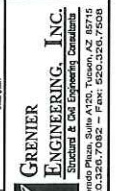


**STORMWATER POLLUTION PREVENTION PLAN NOTES**

1. THE GROSS AREA OF DEVELOPMENT IS 2.39 ACRES. THE AREA OF SOIL DISTURBANCE IS APPROXIMATELY 2.19 ACRES.
2. THE CONTRACTOR SHALL PREPARE A SWPPP REPORT FOR SUBMITTAL TO AEGD (ALONG WITH THE NOI), SAID SWPPP REPORT SHALL REMAIN ON-SITE AT THE CONTRACTOR'S CONSTRUCTION TRAILER AT ALL TIMES AND IS A PART OF THIS DOCUMENT.
3. GRENIER ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE ENFORCEMENT OR OPERATOR COMPLIANCE TO THIS PLAN OR PERMIT CONDITION.
4. THE OPERATOR WILL POST A SIGN AT THE MAIN ENTRANCE TO THE SITE CONTAINING: AEGDES AUTHORIZATION NUMBER, CONSTRUCTION SITE CONTACT NAME AND TELEPHONE NUMBER, BRIEF DESCRIPTION, AND LOCATION OF SWPPP.
5. THIS SITE HAS NO SURFACE WATER BODIES (INCLUDING DRY/PERMANENT WASHES AND WETLANDS).
6. NO DRUMMELS ON THIS SITE. NO DRUMMELS ON ADJACENT PROPERTIES HAVE POTENTIAL TO REENTR STORMWATER FROM THIS SITE.
7. FINAL STABILIZATION HAS NOT YET OCCURRED.
8. THE OPERATOR SHALL REPORT TO AEGD ANY NONCOMPLIANCE (INCLUDING SPILLS) WHICH MAY ENDANGER HUMAN HEALTH OR THE ENVIRONMENT. THE OPERATOR SHALL ORALLY NOTIFY THE OFFICE LISTED BELOW WITHIN 24 HOURS.
9. IN THE EVENT OF A SPILL, THE OPERATOR SHALL IMMEDIATELY CONTACT THE LOCAL FIRE DEPARTMENT AND ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY AND WITHIN 24 HOURS AED AT (602-771-3330).
10. AN INSPECTION OF THE SITE AND AN INSPECTION REPORT WILL BE COMPLETED AT LEAST EVERY 14 DAYS. THE INSPECTION REPORT MUST BE KEPT WITH SWPPP RECORDS.
11. SWPPP DEFICIENCIES MUST BE CORRECTED WITHIN 7 CALENDAR DAYS OF THE INSPECTION DATE.
12. FINAL STABILIZATION OF ALL NON-IMPERVIOUS AREAS WILL CONSIST OF RECOMPOSED GRANITE AND REGULATION PER THE LANDSCAPE PLAN.
13. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY:  
1100 W. WASHINGTON, 5TH FLOOR (S159-1)  
PHOENIX, ARIZONA 85007  
OFFICE: (602) 771-4468  
FAX: (602) 771-4503

**DP20-XXXX**  
COT ADMINISTRATIVE ADDRESS:  
1410 N. ORACLE RD.  
TUCSON, AZ 85705

Sheet No.	1
Scale	
Drawn By	
Checked By	
Issue No.	1
Issue Date	01/09/2020
Issue Description	
Project Name	SWPPP PLAN
Project	DEVELOPMENT PACKAGE FOR GATEWAY APARTMENTS
Sheet Number	C8.0
Project Location	A PORTION OF SECTION 1, T14S, R1E, CASARIN, PIMA COUNTY, AZ



**GRENIER ENGINEERING, INC.**  
Standard & Civil Engineering Consultants  
8300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85716  
Phone: (520)350-7082 - Fax: (520)350-7858

C.O.T. APPROVAL STAMP



### SUBSTANTIAL COMPLETION

1. Owners Representative will determine the work substantially complete in accordance with the conditions of the contract, he will advise the Contractor in writing that the Maintenance Period is to begin.
2. Contractor shall warrant that all plants, will be alive and in good health for a period of one year after the date of completion of the work. The Contractor shall be responsible for the maintenance of the plants during the Maintenance Period. The Contractor shall be responsible for the maintenance of the plants during the Maintenance Period. The Contractor shall be responsible for the maintenance of the plants during the Maintenance Period.
3. At the completion of the work, Contractor to prepare complete operating and maintenance instructions for the irrigation system. Data shall be typewritten and enclosed in a suitable folder along with a CD-ROM copy on electronic storage device. The Contractor shall provide a copy of the information needed to properly operate and maintain the irrigation system including scheduling information, programming.

### MAINTENANCE PERIOD

1. Contractor Maintenance Period shall last for 90 days from date of substantial completion but may be extended if the landscape/irrigation work is not completed by the end of the Maintenance Period. The Contractor shall be responsible for the maintenance of the plants during the Maintenance Period.
2. Contractor shall submit maintenance schedule to Owners Representative for approval. Contractor shall visit the site at least once a week during the maintenance period.
3. Weed, clean up litter, straighten trees and provide insect control during maintenance period.
4. Hand prune shrubs as necessary to shape and form. Do not shear into any shape. Shrubs shall maintain natural form.
5. Repair or replace decomposed mulch/rock mulch as necessary. Repair any erosion of material.
6. Maintain irrigation system in operating condition during maintenance period. Maintain all system components and assure proper watering of all plants. Repair any leaks immediately and replace any defective components as necessary for efficient operation.
7. Contractor shall request a final inspection at the completion of the work. The Contractor shall be responsible for the maintenance of the plants during the Maintenance Period. The Contractor shall be responsible for the maintenance of the plants during the Maintenance Period.
8. Contractor shall submit two copies of typewritten instructions and manufacturers information regarding irrigation system components, prior to expiration of the Maintenance Period, recommending procedures to be followed by the Owner for maintenance of landscape work for one full year.

### ROW STANDARD PLANTING NOTES

1. The contractor shall be responsible for the maintenance of the plants during the Maintenance Period. The Contractor shall be responsible for the maintenance of the plants during the Maintenance Period.
2. It is the owner responsibility to keep vegetation clear of the roadway and keep a 15' high clear zone over the travel lane.
3. Final plant locations must be in compliance with all utility setback requirements.
4. The owner understands that if the City of Tucson Transportation Dept. or any utility company needs to excavate for utility work, the plants and irrigation may be destroyed without replacement or repair.
5. The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
6. The contractor shall provide irrigation equipment that is allowed with the ROW and is on a constant pressure. All other equipment must be on private property, (excluding water meter).
7. Contractor to obtain a Right of Way permit prior to construction within the right-of way.

### LANDSCAPE NOTES

1. Prior to plant pit excavation all plants shall be located in the field with flagging or stakes and approved by Landscape Architect or Owner's Representative.
2. All plants shall be nursery grown unless otherwise noted. Plants shall be healthy, well formed and free of disease. They shall conform in quality and size to the American Nursery Stock and the Arizona Nursery Association Nursery Stock and the Arizona Nursery Association Growers committee recommended tree sizes. Plants shall be adequately watered and delivered. Contractor to assure all plants are adequately watered while on site.
3. Trees shall be staked per detail.
4. All plant pits shall drain at a minimum rate of 6" per 2 hours. Plant pits in caliche shall be as deep as a sufficient depth to meet the 6" per 2 hour minimum.
5. Soil Conditioner/Compost shall meet PAS Standard Specification 805-207 Soil Conditioner. Submit Laboratory analysis to Landscape Architect / Owners Representative for review and approval prior to use.
6. Fertilizer - slow release tablets, Agriform 20-10-5. Fertilizer shall be applied to the soil at the rate of 1 lb per 1000 sq ft. Fertilizer shall be applied to the soil at the rate of 1 lb per 1000 sq ft. Fertilizer shall be applied to the soil at the rate of 1 lb per 1000 sq ft.
7. Plant pit backfill mix shall consist of 85% site soil and 15% soil conditioner/compost. Site soil shall be mixed with 5K (6) pounds of agricultural gypsum and one (1) pound of powdered soil sulfur for each cubic yard of backfill mix. The backfill mix shall be on hand during the time of the plants and trees. (6) 50 lb bags of gypsum and one (1) 50 lb bag of sulfur per 1000 sq ft. Fertilizer shall be delivered to the site in unopened containers, each fully labeled and bearing the name of treatment and warranty and approval by Owner's Representative.
8. Backfill mix shall well worked about the rootball and settled by tamping and watering and be at the required finish grade as shown for water-managing basins.
9. The Contractor shall at all times keep the area of the storage of material and the removal of dirt and debris caused by his work operations, cleaning up of debris, etc. shall be explicitly followed upon completion of work. The Contractor shall be responsible for the maintenance of the plants and trees, etc. by sweeping area and watering the area with water from a pressurized hose.

### INERT GROUND COVERS:

- 1. Decomposed Granite - 1/2" - 1/4" - Apple Brown - 1/4" Depth
- 2. Rock Rip-Rap - 4"-12" - 1/2" - Apple Brown
- 3. Rock shall be angular, fractured rock material
- 4. Pre-emergent herbicide. All landscape areas shall be treated with pre-emergent herbicide. The herbicide shall be applied at all applicable local, state and Federal environmental and labeling laws under no circumstances shall a soil sterilant be used on the site. Submit application to Owners Representative for review and approval prior to application. Apply herbicide per manufacturer's recommendations.
- 5. All decomposed granite and rock rip-rap areas shall be watered settled. Wash off all boulders at completion

### COT GENERAL LANDSCAPE NOTES

- Existing zoning is xx  
The Gross Area of the site is xxxxx S.F. xxx Acres  
The site has been previously developed.
- Depress all landscape areas 4"-6" in depth for passive water harvesting
- Shrubs used to satisfy Landscape Border requirements will not be smaller than 5 gallon size. They will be installed in 5 gallon containers to provide interest and continuous screening as matured.
- All plant backfills will be selected from the approved City of Tucson Plant List
- An automatic drip irrigation system will be installed to irrigate all planting
- Any plant material in areas requiring landscaping that will not be installed within 30 days, with an equivalent size and species within 30 days.
- Landscape maintenance will be provided including watering, pruning, mulching, weeding, and fertilizing. Per the City of Tucson Land Use Code, all required landscaping irrigation and site improvements will be provided and installed in accordance with the City of Tucson Land Use Code, and tree canopy's shall be maintained above 12' height
- SIGHT VISIBILITY TRIANGLES**  
Sight visibility triangles shall be provided within the site visibility triangles shall be placed so as not to interfere with a visibility plane described by the horizontal lines located 30 inches and 75 inches above finish grade. All shrub size and species shall be maintained above 30' and tree canopy's shall be maintained above 12' height
- GENERAL NOTES**
1. Contractor shall visit site and examine existing conditions prior to submitting a bid.
  2. Prior to commencing work on site arrange an on-site meeting with the Owner or his Representative.
  3. Contractor is required to contact Blue Stacks to identify and locate all existing utilities prior to any type of excavation. Contractor shall be responsible for ground utilities or structures shall be repaired at the Contractor's expense.
  4. Submit to Owner's Representative manufacturers or vendors certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with the specified soil amendments.



COT ADMINISTRATIVE ADDRESS:  
N. ORACLE RD.  
TUCSON, AZ 85705

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G.O.T. APPROVAL STAMP



LANDSCAPE COVER SHEET  
DEVELOPMENT PACKAGE FOR  
GATEWAY APARTMENTS  
A PORTION OF SECTION 1, T4S, R16E,  
G13E, PIMA COUNTY, AZ

L1.0  
Sheet 13 of 17







**DESERT ACCENTS**

- Opuntia gomeri "Old Mexico"
- Sphaeralcea Prickly Pear
- Agave parryi
- Parry's Agave

**GROUNDCOVERS**

- Sierra conchata
- Sierra Bold
- Lantana speciosa
- Gold Lantana
- Medallia trilobata
- Yellow Dot

**SHRUBS AND ACCENTS**

- Cholla Wood
- 15' Mida Landscape Border
- Length of street frontage = 295' L.F. - 2,850 S.F.
- 50% Coverage = 1,425 S.F. Required
- 20" High Vegetative Screen Provided
- No. Canopy trees required = 4
- No. shrubs required = 87
- No. shrubs provided = 87

**LANDSCAPE BORDERS**

- 15' Mida Landscape Border
- Length of street frontage = 336' L.F. - 3,160 S.F.
- 50% Coverage = 1,580 S.F. Required
- No. Canopy trees required = 10
- No. Canopy trees provided = 10
- No. shrubs provided = 483

**PARKING LOT TREE REQUIREMENTS**

The canopy trees must be evenly distributed throughout the vehicular use area. Every parking space shall be located within forty (40) feet of the center of a tree trunk.

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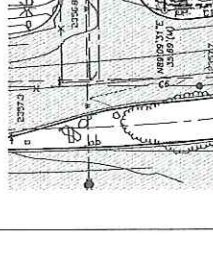
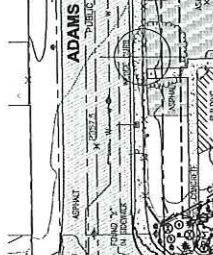
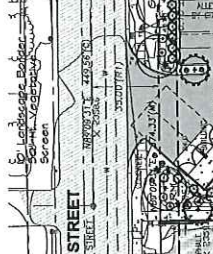
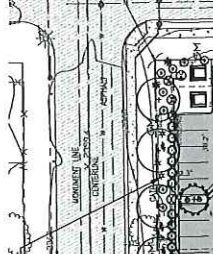
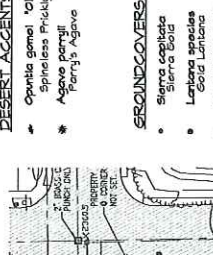
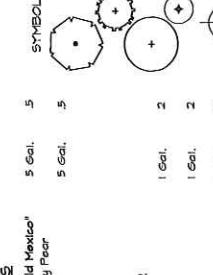
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BOTANICAL NAME	COMMON NAME	SIZE	GPH
Cholla Wood	Cholla Wood	24" Box	5
Cholla Wood	Cholla Wood	5 Gal.	5
Cholla Wood	Cholla Wood	15 Gal.	12
Cholla Wood	Cholla Wood	24" Box	5

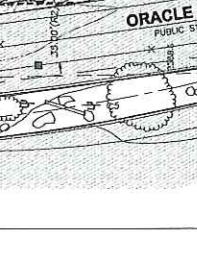
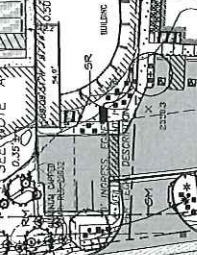
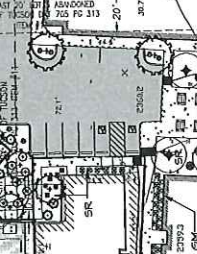
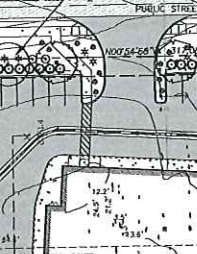
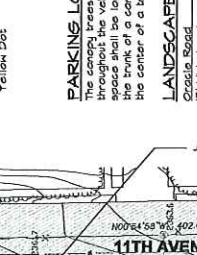


**NATIVE PLANT SUMMARY**

Native Name	Common Name	Quantity	Size	Notes
Prosopis juliflora	Native Mesquite	5	0	1
Cercidium floridum	Blue Palo Verde	1	0	0
Cholla Wood	Cholla Wood	1	0	0

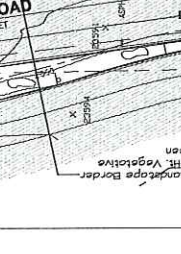
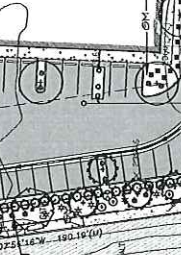
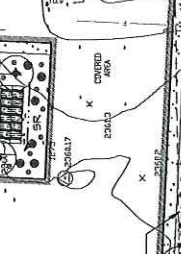
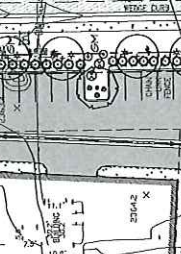
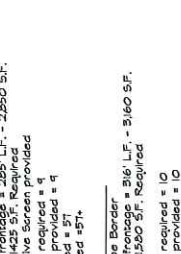
**SHRUBS AND ACCENTS**

Botanical Name	Common Name	Size	GPH
Leucophyllum frutescens	"Compass" 5 Gal.	5 Gal.	2
Ceanothus velutinus	"Blueberry" 5 Gal.	5 Gal.	2
Yucca deltoidea	"Golden Eye" 5 Gal.	5 Gal.	2
Eriophila maculata	"Brexitia" 5 Gal.	5 Gal.	2
Rosa Valentine Bush	"Rosa" 5 Gal.	5 Gal.	2
Salvia clevelandii	"Chaparral Sage" 5 Gal.	5 Gal.	2
Alcea X	"Blue Elf Aloe" 5 Gal.	5 Gal.	1
Praglinia woodii	"Desert Spoon" 5 Gal.	5 Gal.	1
Conoclinium	"Chickadee" 5 Gal.	5 Gal.	1
Hesperaloe parviflora	"Brodiaea" 2.5 Gal.	5 Gal.	5
Muhlenbergia capillaris	"Regal Mist" 1 Gal.	5 Gal.	2
Pedicularis macrocarpa	"Lusty Slipper" 5 Gal.	5 Gal.	2
Cycas revoluta	"Sago Palm" 15 Gal.	5 Gal.	2



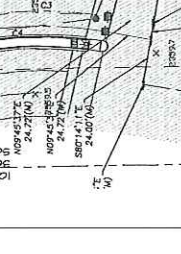
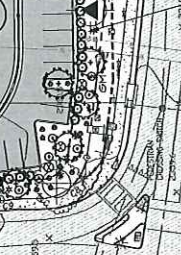
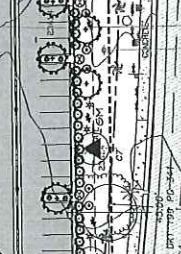
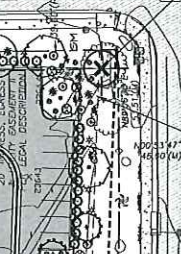
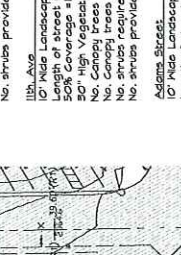
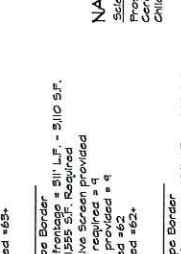
**DESERT ACCENTS**

BOTANICAL NAME	COMMON NAME	SIZE	GPH
Opuntia gomeri	"Old Mexico"	24" Box	5
Sphaeralcea	Prickly Pear	5 Gal.	5
Agave parryi	Parry's Agave	15 Gal.	12
Agave parryi	Parry's Agave	24" Box	5



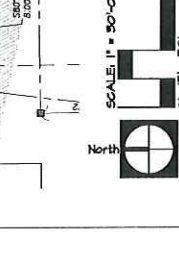
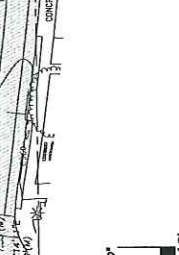
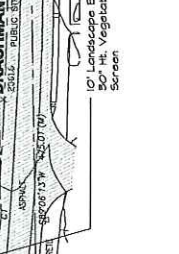
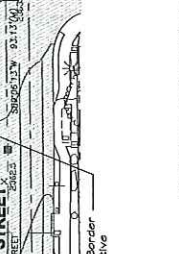
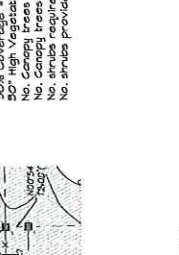
**SHRUBS AND ACCENTS**

Botanical Name	Common Name	Size	GPH
Leucophyllum frutescens	"Compass" 5 Gal.	5 Gal.	2
Ceanothus velutinus	"Blueberry" 5 Gal.	5 Gal.	2
Yucca deltoidea	"Golden Eye" 5 Gal.	5 Gal.	2
Eriophila maculata	"Brexitia" 5 Gal.	5 Gal.	2
Rosa Valentine Bush	"Rosa" 5 Gal.	5 Gal.	2
Salvia clevelandii	"Chaparral Sage" 5 Gal.	5 Gal.	2
Alcea X	"Blue Elf Aloe" 5 Gal.	5 Gal.	1
Praglinia woodii	"Desert Spoon" 5 Gal.	5 Gal.	1
Conoclinium	"Chickadee" 5 Gal.	5 Gal.	1
Hesperaloe parviflora	"Brodiaea" 2.5 Gal.	5 Gal.	5
Muhlenbergia capillaris	"Regal Mist" 1 Gal.	5 Gal.	2
Pedicularis macrocarpa	"Lusty Slipper" 5 Gal.	5 Gal.	2
Cycas revoluta	"Sago Palm" 15 Gal.	5 Gal.	2



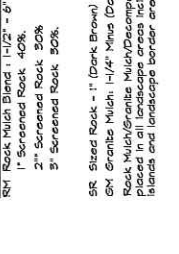
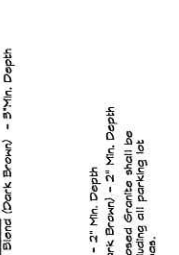
**DESERT ACCENTS**

BOTANICAL NAME	COMMON NAME	SIZE	GPH
Opuntia gomeri	"Old Mexico"	24" Box	5
Sphaeralcea	Prickly Pear	5 Gal.	5
Agave parryi	Parry's Agave	15 Gal.	12
Agave parryi	Parry's Agave	24" Box	5



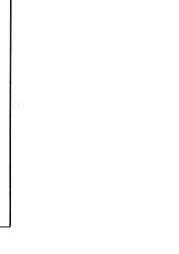
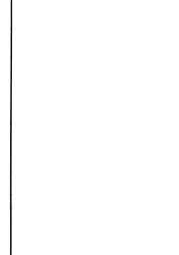
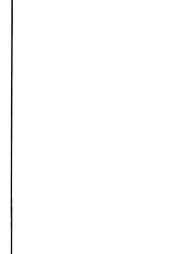
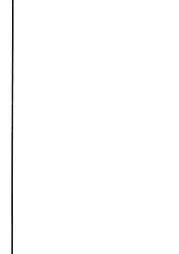
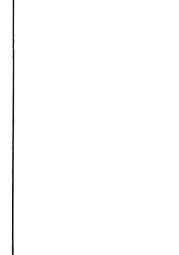
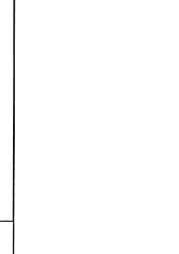
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Salvia clevelandii	"Chaparral Sage" 5 Gal.	5 Gal.	2
Alcea X	"Blue Elf Aloe" 5 Gal.	5 Gal.	1
Praglinia woodii	"Desert Spoon" 5 Gal.	5 Gal.	1
Conoclinium	"Chickadee" 5 Gal.	5 Gal.	1
Hesperaloe parviflora	"Brodiaea" 2.5 Gal.	5 Gal.	5
Muhlenbergia capillaris	"Regal Mist" 1 Gal.	5 Gal.	2
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**DESERT ACCENTS**

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Sphaeralcea	Prickly Pear	5 Gal.	5
Agave parryi	Parry's Agave	15 Gal.	12
Agave parryi	Parry's Agave	24" Box	5



**PARKING LOT TREE REQUIREMENTS**  
The canopy trees must be evenly distributed throughout the vehicular use area. Every parking space shall be located within forty (40) feet of the center of a tree trunk.

**LANDSCAPE BORDERS**  
15' Mida Landscape Border  
Length of street frontage = 295' L.F. - 2,850 S.F.  
50% Coverage = 1,425 S.F. Required  
20" High Vegetative Screen Provided  
No. Canopy trees required = 4  
No. shrubs required = 87  
No. shrubs provided = 87

**LANDSCAPE BORDERS**  
15' Mida Landscape Border  
Length of street frontage = 336' L.F. - 3,160 S.F.  
50% Coverage = 1,580 S.F. Required  
No. Canopy trees required = 10  
No. Canopy trees provided = 10  
No. shrubs provided = 483

**LANDSCAPE BORDERS**  
15' Mida Landscape Border  
Length of street frontage = 336' L.F. - 3,160 S.F.  
50% Coverage = 1,580 S.F. Required  
No. Canopy trees required = 10  
No. Canopy trees provided = 10  
No. shrubs provided = 483

**LANDSCAPE BORDERS**  
15' Mida Landscape Border  
Length of street frontage = 336' L.F. - 3,160 S.F.  
50% Coverage = 1,580 S.F. Required  
No. Canopy trees required = 10  
No. Canopy trees provided = 10  
No. shrubs provided = 483

**LANDSCAPE BORDERS**  
15' Mida Landscape Border  
Length of street frontage = 336' L.F. - 3,160 S.F.  
50% Coverage = 1,580 S.F. Required  
No. Canopy trees required = 10  
No. Canopy trees provided = 10  
No. shrubs provided = 483

**LANDSCAPE BORDERS**  
15' Mida Landscape Border  
Length of street frontage = 336' L.F. - 3,160 S.F.  
50% Coverage = 1,580 S.F. Required  
No. Canopy trees required = 10  
No. Canopy trees provided = 10  
No. shrubs provided = 483

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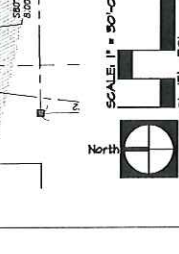
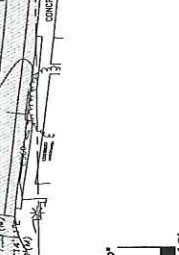
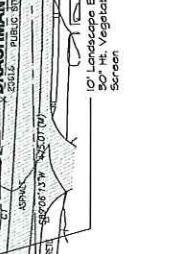
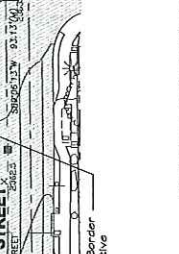
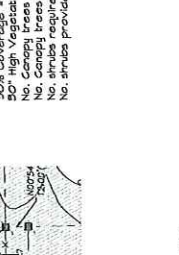
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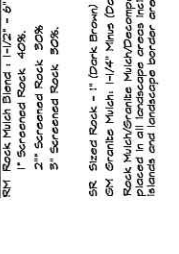
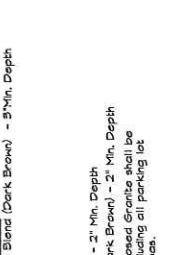
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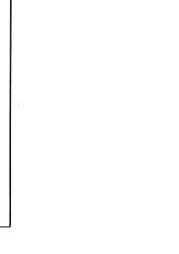
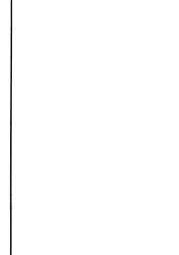
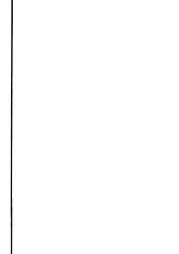
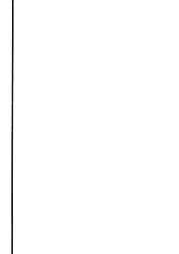
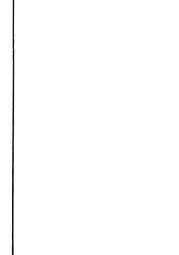
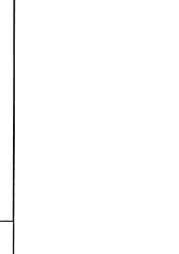
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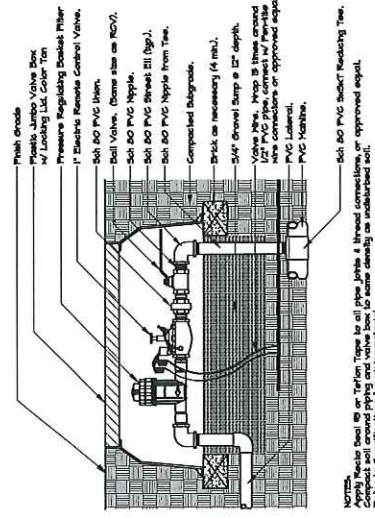


**LANDSCAPE BORDERS**  
15' Mida Landscape Border  
Length of street frontage = 295' L.F. - 2,850 S.F.  
50% Coverage

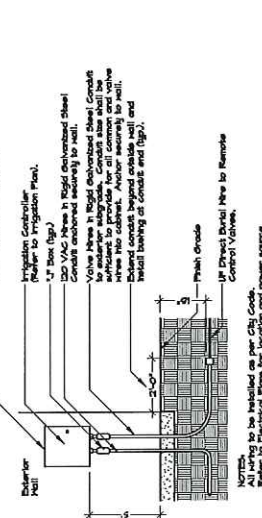




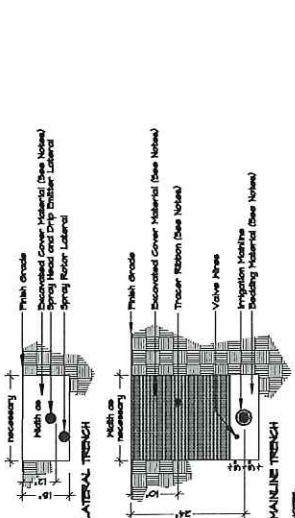




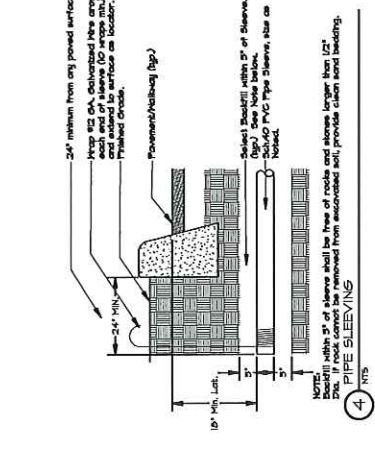
1 REMOTE CONTROL VALVE WITH FILTER - DRIP  
NTS



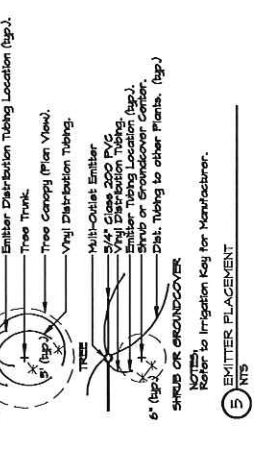
2 WALL-MOUNTED IRRIGATION CONTROLLER  
NTS



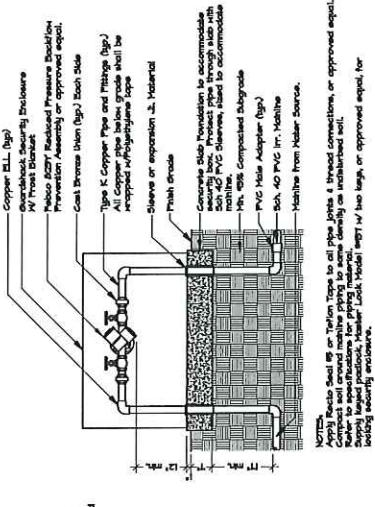
3 TRENCHING DETAIL  
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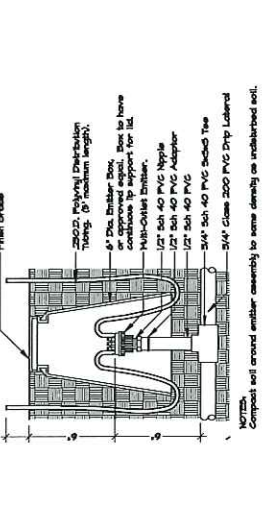
4 PIPE SLEEVING  
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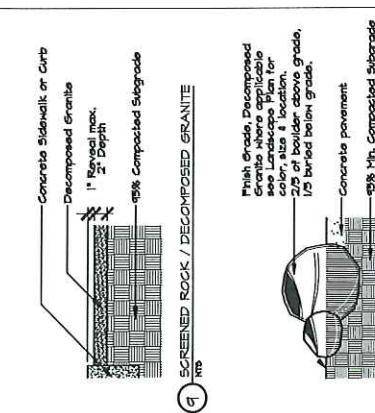
5 EMITTER PLACEMENT  
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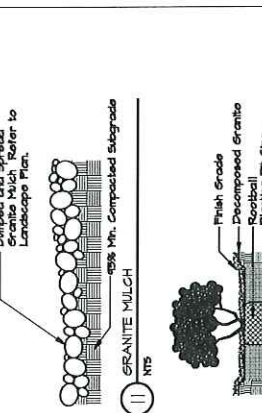
6 REDUCED PRESSURE TYPE BACKFLOW PREVENTER  
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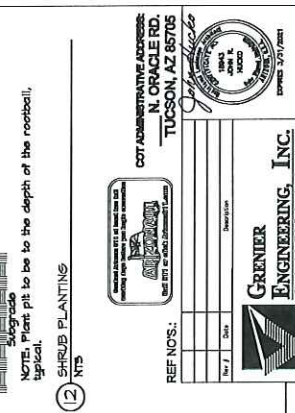
7 EMITTER INSTALLATION  
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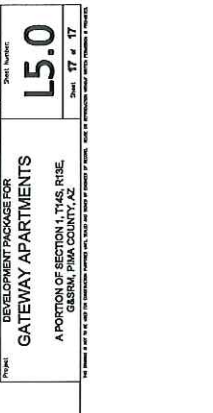
8 SCREENED ROCK / DECOMPOSED GRANITE  
NTS



9 BOULDER PLACEMENT  
NTS



10 GRANITE MULCH  
NTS



11 SHRUB PLANTING  
NTS

C.O.T. APPROVAL STAMP

REF NOS.:

No.	Date	Description

**GRENIER ENGINEERING, INC.**  
 Structural & Civil Engineering Consultants  
 6000 E. El Dorado Plaza, Suite 4100, Tucson, AZ 85718  
 Phone: (520) 326-7700 - Fax: (520) 326-7000  
 Email: info@greinereng.com  
 Date: 9/17/22  
 Scale: N/A  
 Sheet: 17 of 17

**LANDSCAPE AND IRRIGATION DETAILS**  
 DEVELOPMENT PACKAGE FOR  
**GATEWAY APARTMENTS**  
 A PORTION OF SECTION 1, T4AS, R16E, G2E8M, PIMA COUNTY, AZ.

**L5.0**





## PHASE I ENVIRONMENTAL SITE ASSESSMENT

**Commercial Property**

1430 North Oracle Road, 331 West Adams Street  
338 West Drachman Street, 1435 & 1438 North 11<sup>th</sup> Avenue  
Tucson, Arizona 85705  
WT Job No. 2980JC020

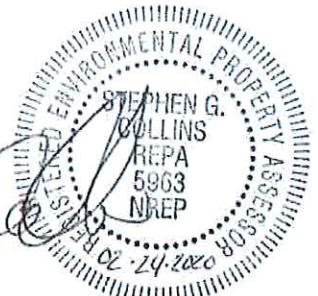
**PREPARED FOR:**

Carhuff+Cueva Architects, LLC  
3149 East Prince Road, #151  
Tucson, Arizona 85716

February 24, 2020

Ayna Kekilova  
Project Manager

Reviewed By: Stephen G. Collins, REPA  
Director of Environmental Services





**Western  
Technologies Inc.**  
The Quality People  
Since 1955

3480 South Dodge Boulevard  
Tucson, Arizona 85713-5435  
(520) 748-2262 • fax 748-0435

February 24, 2020

Carhuff+Cueva Architects, LLC  
3149 East Prince Road, #151  
Tucson, Arizona 85716

Attn: Mr. Vance Goodman

Re: Phase I Environmental Site Assessment  
Commercial Property  
1430 North Oracle Road, 331 West Adams Street,  
338 West Drachman Street, 1435 & 1438 North 11<sup>th</sup> Avenue  
Tucson, Arizona 85705

WT Job No. 2980JC020

Western Technologies Inc. presents this Phase I Environmental Site Assessment of the commercial property at 1430 North Oracle Road, 331 West Adams Street, 338 West Drachman Street, and 1435 & 1438 North 11<sup>th</sup> Avenue in Tucson, Arizona. The results of our assessment, significant findings and conclusions are presented in the enclosed report.

This report completes the agreed scope of services. If you have any questions or if we may be of further assistance to you, please do not hesitate to contact us. Thank you for allowing us to provide these services.

Sincerely,  
**WESTERN TECHNOLOGIES INC.**



Stephen G. Collins, REPA  
Director of Environmental Services

Copies to: Addressee (1)



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## EXECUTIVE SUMMARY

Western Technologies Inc. (WT) completed a Phase I Environmental Site Assessment (ESA) of the commercial property at 1430 North Oracle Road, 331 West Adams Street, 338 West Drachman Street, and 1435 & 1438 North 11<sup>th</sup> Avenue, Tucson, Arizona ("the Property"). The purpose of this ESA was to identify to the extent feasible, pursuant to the processes described herein, Recognized Environmental Conditions (RECs), in connection with the Property.

The Property consisted of five parcels of land totaling 2.11 acres (Pima County assessor's parcel numbers 115-07-251E, -251F, -253B, -257C and -257D). The Property operations at the time of the site reconnaissance consisted of auto maintenance shop, recycling facility and granite supplier.

Based on a review of available historical information, the southwestern portion of the Property (parcel 115-07-257D) was developed with a road, landscaped and parking areas from at least 1941 to 2007; and redeveloped with current storage yard/parking lot by 2008. The remaining portions of the Property were used for auto body and paint shops; used car sales, rental cars, car wash and fueling purposes from 1954 to 2005; and as a recycling facility since 2007.

The north-adjointing property was developed with North Adams Street by 1941 followed by commercial buildings to northwest by 1958, and residential development to the northeast by 2002. The south-, east- and west-adjointing properties were developed with roads followed by commercial buildings by 1941.

### Findings

The Property was used for various auto body and paint shops; used car sales, rental, wash and fueling purposes from at least 1954 to 2005; and as a recycling facility since 2007. Six in-ground hydraulic lifts, one sump, and one former fuel pump with a gasoline UST were on the Property. The historical use of the Property as an automotive repair shop, fueling and recycling facility represents a REC to the Property.

The adjoining properties consisted of commercial facilities. WT did not identify any RECs in connection with the adjoining properties.

The portion of the Property addressed 338 West Drachman Street was listed in ADEQ UST state database as former Roadrunner Car Rental facility with a gasoline "filling station". On January 8, 1992 the UST was removed from the ground. The ADEQ closure letter and records of the soil sampling at the pump island/product line were not available. Based on the lack of the closure letter and no soil sampling information at the pump island/product line, the former UST represents a REC to the Property.

Other facilities listed in the regulatory databases did not represent a REC based on the distance to the Property.

Orphan sites were not identified in the database.

No Controlled RECs were identified in connection to the Property.

No indications of vapor migration on the Property were identified.

WT has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-13 of the commercial property at 1430 North Oracle Road, 331 West Adams Street, 338 West Drachman Street, and 1435 & 1438 North 11<sup>th</sup> Avenue, Tucson, Arizona ("the Property"). Any exceptions to, or deletions from, this practice are described in Section 8 of this report.

This ESA revealed no evidence of RECs currently in connection with the Property, except for the following:

- Historical in-ground hydraulic lifts and a sump in the auto maintenance shop on the portion of the Property addressed 331 West Adams Street
- Historical gasoline UST and a pump on the portion of the Property addressed 1438 North 11<sup>th</sup> Avenue
- Stained soil and oil staining on the concrete pad near the compactor on the portion of the Property addressed 1435 North 11<sup>th</sup> Avenue

WT recommends a soil and a subsurface soil assessment in the vicinity of the identified RECs.

If additional information becomes available or known that may suggest the presence of RECs currently in connection with the Property, contact this firm for potential recommendations.





## PHASE II ENVIRONMENTAL SITE ASSESSMENT

**Commercial Property**

331 West Adams Street, 1435 & 1438 North 11<sup>th</sup> Avenue  
Tucson, Arizona 85705  
WT Job No. 2980JC086

**PREPARED FOR:**

La Frontera Arizona, Inc.  
504 West 29<sup>th</sup> Street  
Tucson, Arizona 85713

August 3, 2020

Ayna Kekilova  
Environmental Project Manager

Stephen G. Collins, REPA  
Director of Environmental Services





**Western  
Technologies Inc.**  
The Quality People  
Since 1955

3480 South Dodge Boulevard  
Tucson, Arizona 85713-5435  
(520) 748-2262 • [wt-us.com](http://wt-us.com)

August 3, 2020

La Frontera Arizona, Inc.  
504 West 29<sup>th</sup> Street  
Tucson, Arizona 85713

Attn: Mr. Michael Prudence, CFO

Re: Phase II Environmental Site Assessment  
Commercial Property  
331 West Adams Street, 1435 & 1438 North 11th Avenue  
Tucson, Arizona 85705

WT Job No. 2980JC086

Western Technologies Inc. (WT) presents this Phase II Environmental Site Assessment (ESA) describing site characterization activities conducted at the above referenced Property. WT was retained and authorized to proceed with these services by La Frontera Arizona, Inc. in accordance with WT Proposal No. 2980PC039, dated June 30, 2020. This report has been prepared for the sole benefit of La Frontera Arizona, Inc. and may not be used or relied upon by any other person or entity without the prior written permission of WT. This report concludes the agreed scope of services.

### **Project Background**

The Property consists of five parcels of land totaling 2.11 acres (Pima County assessor's parcel numbers 115-07-251E, -251F, -253B, -257C and -257D). The Property was used for automobile maintenance/repair, metal recycling, and granite countertop sales.

Based on the results of a Phase I Environmental Site Assessment (ESA) performed by WT (Job No. 2980JC020, dated February 20, 2020), the following Recognized Environmental Conditions were identified:

- Six in-ground hydraulic vehicle lifts in the automobile maintenance shop on the portion of the Property addressed 331 West Adams Street
- An historical gasoline UST system on the portion of the Property addressed 1438 North 11<sup>th</sup> Avenue, and
- Stained soil and oil staining on a concrete pad near a hydraulic compactor on the portion of the Property addressed 1435 North 11<sup>th</sup> Avenue.



### **Purpose**

The purpose of this Phase II ESA is to assess the Property for indications of potential releases associated with the hydraulic vehicle lifts, historical UST system, and stained soil and potential stained soil beneath concrete.

### **SCOPE OF SERVICES**

The scope of services were conducted in general accordance with the applicable provisions of regulatory requirements, and included advancement of 10 soil borings, soil sampling, and analysis, and report preparation. The soil boring locations are shown on Figure 1, Appendix A.

### **Utilities Locate**

Prior to the start of the project, the proposed boring locations were cleared for public underground utilities by Arizona 811 and private utilities contractor Subterra Utility Locating (Subterra).

On July 14, 2020, Subterra performed a geophysical survey on the Property using ground penetrating radar (GPR) and electromagnetic (EM) detection methods to identify potential underground utilities and metallic anomalies.

### **Soil Borings and Sampling**

On July 21, 2020, WT Environmental Project Manager, Ms. Ayna Kekilova, was at the Property to direct and oversee the soil borings and sampling at the locations shown on Figure 1, Appendix A.

The Geomechanics Southwest, Inc. (GSI), a licensed drilling contractor, advanced nine borings using AMS 9410-VTR Dual Purpose Limited Access drill rig, manned by a two-man OSHA HAZWOPER trained drilling crew at the following locations: one soil boring at each of the six hydraulic vehicle lifts (B-1 through B-6), one boring at the dispenser location of the historical UST system (B-8), and 2 soil borings at the soil (B-9) and concrete (B-10) stained areas.

The proposed depth of 12 feet below ground surface (bgs) for the borings B-1 through B-6 was achieved for B-1 only. Borings B-2 through B-6 were advanced until a refusal as shown in Table 1 below.

Boring B-8 was advanced directionally, due to the limited height access under the canopy. The proposed boring depth was extended from 10 to 16 feet bgs with one sample collected at 16 feet bgs. Sample at the mid of the boring was not collected due to lack of sample recovery.

Soil samples were obtained using a 2.375-inch outside diameter sampler lined with a 1.5-inch diameter polyvinyl chloride (PVC) sleeve. The sampler was driven into the ground using the direct push hammer at 4-foot intervals. After retrieving the sampler from the ground, the PVC sleeve containing soil was removed from the sampler. After retrieving the sleeve from the sampler, WT personnel extracted approximately 5 grams of soil from the PVC sleeve for VOC analysis, and placed the sample into methanol-preserved, pre-tared, 40-milliliter glass container provided by the laboratory. The container was immediately capped and sealed with a Teflon-lined septum. Each sample was labeled with the sample identification number, the initials of the person who obtained the sample, the date and time of collection, project number, initials of the person obtaining the sample, and the analyses to be conducted. Each PVC sleeve was labeled with the sample identification number, the initials of the person who obtained the sample, the date and time of collection, and the sample location.

#### **4.0 SOIL SAMPLING**

The soil samples were recorded on a chain-of-custody form which was kept with the samples the entire time between sampling and delivery to the laboratory. The chain-of-custody form included the name and signature of the sample collector, sample identifications, signatures of the persons involved in the chain of possession with dates and time, and the analytical methods to be performed. The samples were stored in a cooler with wet ice, and kept in the possession of WT personnel at all times until relinquished to FedEx courier.

WT used a Photo-Ionization Detector (PID) equipped with a 10.6 electron-volt detector to field screen the soil samples. The PID was calibrated with a 100 part-per-million isobutylene span gas. The PID detects Volatile Organic Compounds (VOCs) in air with reporting limits on the order of 0.2 units [approximately 0.2 parts per million (ppm)]. PID readings ranged from 0.0 parts per million (ppm) at boring B-8 to 13.7 ppm at boring B-5. Soil samples collected at the bottom of the borings were submitted for analysis, as discussed below. The PID readings for each boring are provided in Table 1 below.

Soils samples were analyzed for Total Petroleum Hydrocarbons (TPH DRO) by method 8015AZ, Volatile Organic Compounds (VOCs) by EPA Method 8260B, Polycyclic Aromatic Hydrocarbons (PAHs) by EPA Method 8270C, and the eight RCRA Metals by EPA methods 6010/7470 as listed in Table 1 below.



Table 1. Boring depths, PID readings and analytical tests

Boring ID	Boring/ Sample Depth, ft bgs	PID, ppm	Analytical tests/methods					
			VOCs (8260)	PAH (8270)	RCRA Metals (6010)	TPHDRO 8015AZ	PCBs 8082A	PAHs 8270C
B-1	12	2.4				X		
B-2	9.5	3.1				X		
B-3	11	3.5				X	X	X
B-4	9	1.3				X	X	X
B-5	10	13.7				X	X	X
B-6	10	3.6				X	X	X
B-8	16	0.0	X	X				
B-9	3	1.8	X	X	X	X		
B-10	5	0.4				X		

**Laboratory Analysis**

A total of nine samples were submitted for laboratory analysis. The laboratory report indicated the analytical methods performed, test results, sample collection dates, sample extraction dates, sample analysis dates, and reporting limits for each analytical method. The laboratory report and chain-of-custody documentation for the samples are attached in Appendix B.

**SOIL SAMPLE RESULTS**

Based on the laboratory analytical results, TPH DRO concentrations were detected above 100 mg/kg in four soil samples (B-3-11, B-4-9, B-5-10 and B-6-10). These samples were further analyzed for PAHs and PCBs. Concentrations of PCBs and PAHs did not exceed laboratory detection limits, with the exception of Pyrene in B-6-10.

Metals were detected above laboratory detection limits, but below the State of Arizona Residential Soil Remediation Levels (rSRL) enforced by the Arizona Department of Environmental Quality (ADEQ), in the sample from soil boring B-9 (soil staining). Table 2 below summarizes the results for the detected compounds.

Table 2. Soil Analytical Results

Chemical of concern, mg/kg	C10-C22 Hydrocarbons	C22-C32 Hydrocarbons	Pyrene	Arsenic	Barium	Chromium	Lead
ADEQ rSRL, mg/kg	Not Established	Not Established	2,300	10	15,000	120,000	400
B-1-12	<30	55.1	NA	NA	NA	NA	NA
B-2-9.5	<600	<1,000	NA	NA	NA	NA	NA
B-3-11	43.2	314	<0.006	NA	NA	NA	NA
B-4-9	<600	1,890	<0.006	NA	NA	NA	NA
B-5-10	949	2,710	<0.006	NA	NA	NA	NA
B-6-10	<1,500	4,150	0.0258	NA	NA	NA	NA
B-8-16	NA	NA	<0.006	NA	NA	NA	NA
B-9-3	<30	<50	<0.006	4.33	137	6.13	5.23
B-10-5	<30	<50	NA	NA	NA	NA	NA

NA - Not analyzed

< - Detected below laboratory reported detection limit

## CONCLUSIONS

Based on the scope of services described in this report and subject to the limitations described herein, WT concludes the following:

- Soil contamination exceeding the State of Arizona residential soil remediation levels was not reported.

## RECOMMENDATIONS

Based on the soil sample laboratory results, WT recommends no additional assessment of the Property.

## Limitations

Conditions can exist within structures and below the ground surface that are not apparent visually or disclosed by sampling data. This study is limited to the conditions expressly disclosed in this report, and it does not represent the assessment or absence of any other conditions on or affecting the Property. WT's findings are based on the assumption that the sample location and the resulting data are representative of assessed conditions. WT's interpretation, discussion and opinions of the results obtained from the referenced methods, observed conditions, and tested samples are applicable only to the specifically tested locations at the times stated herein.



The regulatory standards referenced in this report are based on our knowledge of applicable regulatory standards in effect at the time the work was performed. WT cannot anticipate potential future changes to regulatory standards by appropriate governmental agencies.

WT has performed our services in accordance with our contract with our Client, utilizing the ordinary degree of skill and care practiced by other firms providing similar services in the locality of the Property. No other warranty or representation, either expressed or implied, is made.

**Closure**

WT appreciates the opportunity to provide environmental services to Carhuff+Cueva Architects, LLC. Should you have any questions regarding this report, or if you require additional information, please contact us at (520) 748-2262.

Sincerely,  
**WESTERN TECHNOLOGIES INC.**



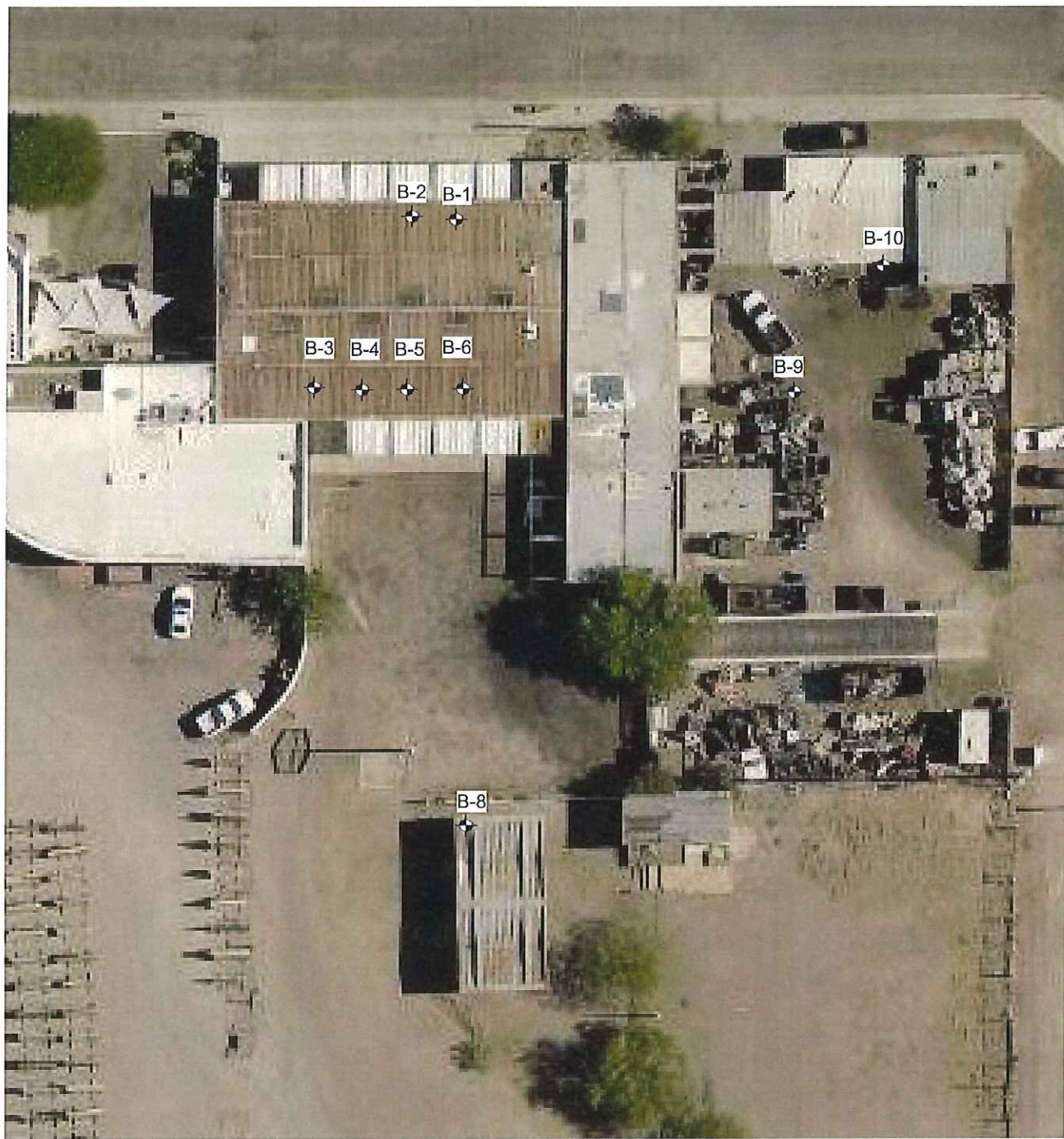
Ayna Kekilova  
Environmental Project Manager



Stephen G. Collins, REPA  
Director of Environmental Services



Attachments: Appendix A: Figure 1: Site Map  
Appendix B: Laboratory Analytical Reports



✦ Approximate Boring Location



NOT TO SCALE, FOR REFERENCE ONLY

*Geotechnical  
Environmental  
Inspections  
Materials*



**Western  
Technologies Inc.**  
The Quality People  
Since 1955

Phase II ESA Commercial Property

1430 North Oracle Road, Tucson, Arizona

WT Job No. 2980JC086

**SITE MAP**

**FIGURE**

**1**





2020

Arizona Department of Housing
Low Income Housing Tax Credit Application

Form 8

Insert at TAB 8

Planning and Zoning Verification

Project Name: Gateway Apartments Date: 3.1.2020

Project Address: 1410-30 N. Oracle Rd.

Applicant Name: Gateway Apartments, LP ("Applicant")

Governmental Unit: City of Tucson

The undersigned certifies that:

- 1) The undersigned is authorized by the Governmental Unit to make representations as to the status of zoning for the property subject to the Governmental Unit's zoning jurisdiction.
2) The current zoning status of the above-named Project is as of the date of this certification, zoned C-3 which is a zoning classification that permits construction of the Project as detailed below without further zoning or variances or use permit approvals.

The proposed multifamily low income housing tax credit rental Project will include:

Number of multi-family units: 120

Number of buildings: 1

Building height (in feet): 68

Size of project site (acres): 2.11

Square footage of commercial space (if applicable):

- 3) Describe any remaining processes to pull permits and begin construction of the Units described above. Approval of a Development Package that meets the requirements of Administrative Manual 2-06, and all applicable development standards along with building permits that meet the requirements of the current International Building Code.

Please enter below the name of the signing official, his/her title, address, telephone number, e-mail address, sign and date:

Name Steve Shields Phone (520) 837-4956
Title Site Section Manager Fax
Address 201 N Stone Ave. E-mail Address
City Tucson State AZ Zip Code 85726 Steve.Shields@tucsonaz.gov

Signature of Authorized Signatory of Local Government Agency

February 24, 2020
Date



**CITY OF TUCSON HISTORIC PRESERVATION OFFICE**  
PLANNING AND DEVELOPMENT SERVICES

October 1, 2020

Glenn Fournier  
Housing and Community Development  
310 N. Commerce Park Loop  
Tucson, AZ 85745

**RE: Gateway Pointe Apartments**  
**1410 N. Oracle Road, Tucson, AZ**  
**Section 106 Review**

Dear Mr. Fournier:

The Historic Preservation Office has reviewed the proposed new construction at the address noted above. The project involves new construction partially within the Miracle Mile National Register Historic District. The proposed building would be located directly south of a contributing structure, the Quebedeaux Pontiac Auto Dealership, constructed in 1954. Designed as a one-story commercial building in the Art Moderne style, the building features an asymmetrical façade with a curved storefront. The southern façade features fins that stand proud of the building.

The site preparation would involve the demolition of seven non-contributing buildings/structures within and adjacent to the district. The new construction would entail a five-story building on a platform. The platform would allow for parking on the ground floor. The new building would be located 16' 1 ¼" from the outer edge of the fin on the historic building, providing a separation between the two. The new construction would also be set behind the front façade of the historic building allowing it to stand proud. It should also be noted that while the majority of the historic district is one story, directly across the street is the Tucson House. The Tucson House is 16-story contributing resource constructed in 1963.

Per the *Programmatic Agreement Among the City of Tucson, the Advisory Council on Historic Preservation, and the Arizona State Historic Preservation Officer* dated January 25, 2002, § IV.B, infill construction requires approval by the Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS). Additionally, per § IV. C when work takes place on property which existing improvements are demolished and new buildings are planned, a minimum of an archaeological records check and survey shall be performed. At this time, the project has not been reviewed by PRS nor has the site been surveyed for archaeological



Page 2  
Gateway Pointe Apartments  
1410 Oracle Road, Tucson, AZ  
October 1, 2020

resources. Once the full construction drawings are complete and submitted for a permit, the plans and the parcel will be reviewed consistent with the Section 106 process.

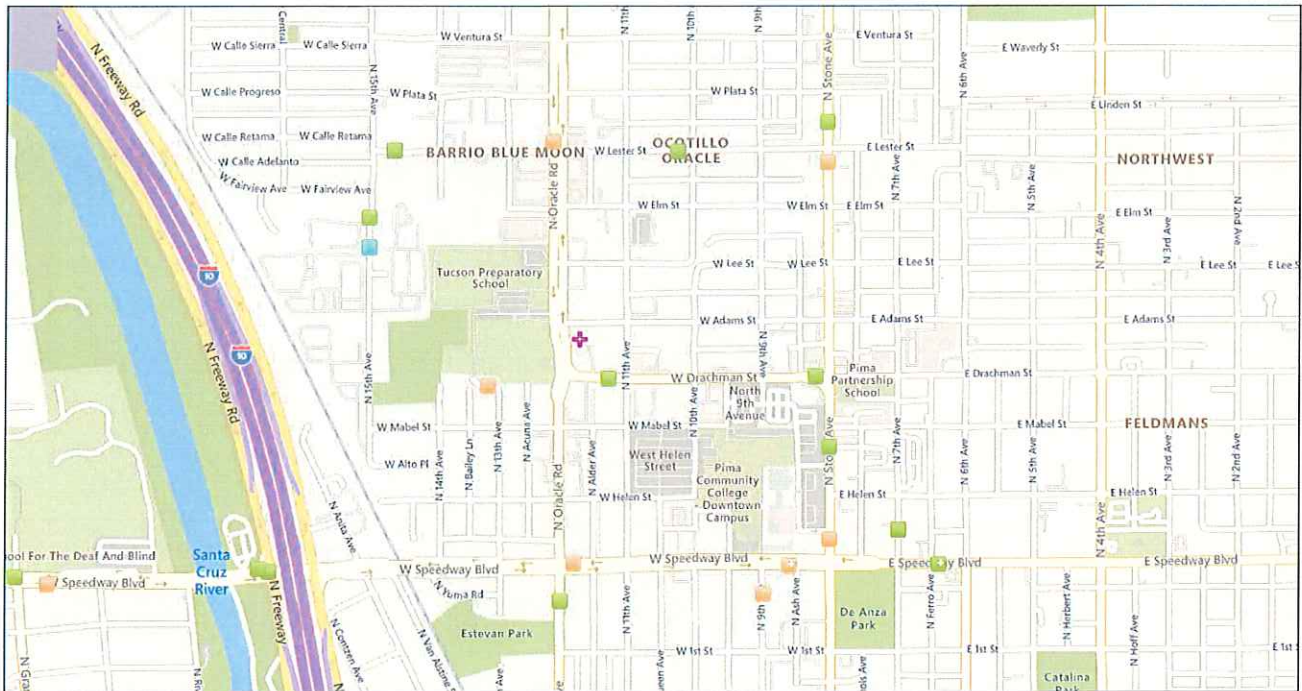
If you have any questions or need additional information, please let me know.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jodie Brown".

Jodie Brown, AICP  
Historic Preservation Officer

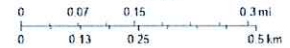
# NEPAssist Report



October 14, 2020

- Toxic Releases (TRI)
- Brownfields (ACRES)
- Hazardous Waste (RCRAInfo)
- Air Pollution (ICIS-AIR)
- Toxic Substances Control Act (TSCA)
- + Search Result (point)

1:8,157



© 2020 Mapbox Corporation © 2020 HERE

Project Location	32.240201,-110.977501
Within 0.5 miles of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a Federal Land?	no
Within 0.5 miles of an impaired stream?	no
Within 0.5 miles of an impaired waterbody?	no
Within 0.5 miles of a waterbody?	no
Within 0.5 miles of a stream?	yes
Within 0.5 miles of an NWI wetland?	Available Online
Within 0.5 miles of a Brownfields site?	yes
Within 0.5 miles of a Superfund site?	no
Within 0.5 miles of a Toxic Release Inventory (TRI) site?	yes
Within 0.5 miles of a water discharger (NPDES)?	no
Within 0.5 miles of a hazardous waste (RCRA) facility?	yes
Within 0.5 miles of an air emission facility?	yes
Within 0.5 miles of a school?	yes