

1. Allow Administrative Special Exception for certain Water Well Upgrades

**UNIFIED DEVELOPMENT CODE  
ARTICLE 4, ZONES**

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**4.8. USE TABLES**

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**4.8.3. PERMITTED USES: RURAL AND SUBURBAN RESIDENTIAL ZONES**

<b>TABLE 4.8-1: PERMITTED USES - RURAL AND SUBURBAN RESIDENTIAL ZONES</b> P = Permitted Use S = Permitted as Special Exception Use [1] Mayor and Council Special Exception Procedure, Section <a href="#">3.4.4</a> [2] Zoning Examiner Special Exception Procedure, Section <a href="#">3.4.3</a> [3] PDSD Special Exception Procedure, Section <a href="#">3.4.2</a>						
LAND USE	RH	SR	SH	RX-1	RX-2	USE SPECIFIC STANDARDS
***						
<b>Utilities Land Use Group With Land Use Class/Type:</b>						
Distribution System						
General		S [2]	S [2]	S [2]	S [2]	SR, SH, RX-1, RX-2: 4.9.11.A. 1, .2, .5, .8, .9, .11, <u>.12</u>
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**4.9.11. UTILITIES USE GROUP**

**A. Distribution System**

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12. The following requires approval in accordance with Section 3.3.4, 100' Notice Procedure. The PDSD Director may forward the request to the Design Review Board (DRB) for design review and recommendation.

a. Water pumping and storage facility upgrades or expansions, provided:

- (1) Existing setbacks are not altered.
- (2) Use Specific Standards 4.9.11.A.5, .9, .11, are met.

132. Transmission lines may be relieved of their requirement to be underground per UDC section 5.3, Scenic Corridor Zone (SCZ) or section 5.5, Gateway Corridor Zone (GCZ) in accordance with UDC section 3.4.3 Zoning Examiner Special Exception Procedure.

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2. Remove the PDSO Director Approval for Wireless Communication Facilities (WCFs) that are co-located

**4.8.3. PERMITTED USES: RURAL AND SUBURBAN RESIDENTIAL ZONES**

TABLE 4.8-1: PERMITTED USES - RURAL AND SUBURBAN RESIDENTIAL ZONES						
P = Permitted Use S = Permitted as Special Exception Use						
[1] Mayor and Council Special Exception Procedure, Section 3.4.4						
[2] Zoning Examiner Special Exception Procedure, Section 3.4.3						
[3] PDSO Special Exception Procedure, Section 3.4.2						
LAND USE	RH	SR	SH	RX-1	RX-2	USE SPECIFIC STANDARDS
Commercial Services Land Use Group With Land Use Class/Type:						
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Communications:						
Wireless Communication	P	P	P	P	P	RH: 4.9.4.1.2, 3, & 4.a or <del>4.b</del> 5.a or 5.b and 4.9.13.1 SR, SH, RX-1, RX-2: 4.9.4.1.2, 3, & 4.a or 5.a or 5.b4.b
Wireless Communication, limited to wireless communication towers and antennas	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	RH: 4.9.13.1 and one of the following groups: <del>S [3] 4.9.4.1.2, 3 &amp; 5.b</del> or S [2] - 4.9.4.1.2, 3 & <del>6</del> 7.a or S [1] - 4.9.4.1.2, 3 & <del>7</del> 8 SR, SH, RX-1, RX-2: <del>S [3] 4.9.4.1.2, 3 &amp; 5.b</del> or S [2] - 4.9.4.1.2, 3 & <del>6</del> 7.a or S [1] - 4.9.4.1.2, 3 & <del>7</del> 8
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**4.8.4. PERMITTED USES: URBAN RESIDENTIAL ZONES**

TABLE 4.8-2: PERMITTED USES - URBAN RESIDENTIAL ZONES						
P = Permitted Use S = Permitted as Special Exception Use						
[1] Mayor and Council Special Exception Procedure, Section 3.4.4						
[2] Zoning Examiner Special Exception Procedure, Section 3.4.3						
[3] PDSO Special Exception Procedure, Section 3.4.2						
LAND USE	R-1	R-2	R-3	MH-1	MH-2	USE SPECIFIC STANDARDS
***						
Commercial Services Land Use Group						
***						
Communications:						
Wireless Communication	P	P	P	P	P	R-1, R-2, R-3, MH-1, MH-2: 4.9.4.1.2, .3, & .4.a or <del>5.a</del> or 5.b4.b

Attachment A – Redline of Proposed UDC Amendments

Wireless Communication, limited to wireless communication towers and antennas	S [see use specific standard s]	S [see use specific standard s]	S [see use specific standard s]	S [see use specific standard s]	S [see use specific standard s]	R-1, R-2, R-3, MH-1, MH-2: <del>S[3] - 4.9.4.1.2, .3 &amp; .5.b or</del> S[2] - 4.9.4.1.2, .3 & <del>.67.a</del> or S[1] - 4.9.4.1.2, .3 & <del>.78</del>
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4.8.5. PERMITTED USES: OFFICE ZONES

TABLE 4.8-3: PERMITTED USES - OFFICE ZONES				
P = Permitted Use S = Permitted as Special Exception Use				
[1] Mayor and Council Special Exception Procedure, Section 3.4.4				
[2] Zoning Examiner Special Exception Procedure, Section 3.4.3				
[3] PDSD Special Exception Procedure, Section 3.4.2				
LAND USE	O-1	O-2	O-3	USE SPECIFIC STANDARDS
***				
Commercial Services Land Use Group With Land Use Class/Type:				
***				
Communications				
Wireless Communication	P	P	P	O-1, O-2: 4.9.13.J and 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b .4.b</del> O-3: 4.9.13.K and 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b .4.b</del>
Wireless Communication, limited to wireless communication towers and antennas	S [see use specific standard]	S [see use specific standard]	S [see use specific standard]	O-1, O-2: 4.9.13.J and one of the following groups: <del>S[3] - 4.9.4.1.2, .3, &amp; .5.b or</del> S[2] - 4.9.4.1.2, .3, & <del>.67.a</del> or S[1] - 4.9.4.1.2, .3, & <del>.78</del> O-3: 4.9.13.K and one of the following groups: <del>S[3] - 4.9.4.1.2, .3, &amp; .5.b or</del> S[2] - 4.9.4.1.2, .3, & <del>.67.a</del> or S[1] - 4.9.4.1.2, .3, & <del>.78</del>
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4.8.6. PERMITTED USES: COMMERCIAL AND MIXED USE ZONES

TABLE 4.8-4: PERMITTED USES - COMMERCIAL AND MIXED USE ZONES						
P = Permitted Use S = Permitted as Special Exception Use						
[1] Mayor and Council Special Exception Procedure, Section 3.4.4						
[2] Zoning Examiner Special Exception Procedure, Section 3.4.3						
[3] PDSD Special Exception Procedure, Section 3.4.2						
LAND USE	C-1	C-2	C-3	OCR-1	OCR-2	USE SPECIFIC STANDARDS
***						
Commercial Services Land Use Group With Land Use Class/Type:						
***						
Communications:						

Attachment A – Redline of Proposed UDC Amendments

Wireless Communication	P	P	P	P	P	C-1: 4.9.13.O and 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b-4.b</del> C-2: 4.9.13.P and one of the following groups: 4.9.4.1.1 & 4.9.13.E or <del>4.9.4.1.2</del> & .3 & .4.a or <del>5.a or 5.b-4.b</del> C-3: 4.9.4.1.1 or 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b-4.b</del> OCR-1, OCR-2: 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b-4.b</del>
Wireless Communication, limited to communication towers and antennas	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	C-1: 4.9.13.O and one of the following groups: S[3] - 4.9.4.1.2, .3, & <del>56.e-b</del> or S[2] - 4.9.4.1.2, .3, <del>67.a</del> or S[1] - 4.9.4.1.2, .3, <del>.78</del> C-2: 4.9.13.P and one of the following groups: S[3] - 4.9.4.1.2, .3, & <del>.56.a or S[3]</del> <del>4.9.4.1.2, .3, &amp; .5.b or</del> S[2] - 4.9.4.1.2, .3, & <del>.67.b</del> or S[1] - 4.9.4.1.2, .3, & <del>.78</del> C-3: S[3] - 4.9.4.1.2, .3, & <del>5.a or S[3]</del> <del>4.9.4.1.2, .3, &amp; .5.b</del> <del>5.a</del> or S[2] - 4.9.4.1.2, .3, & <del>.67.b</del> or S[1] - 4.9.4.1.2, .3, & <del>.78</del> OCR-1, OCR-2: S[3] - 4.9.4.1.2, .3, & <del>.56.a or S[3]</del> <del>4.9.4.1.2, .3, .5.b</del> or S[2] - 4.9.4.1.2, .3, <del>.67.b</del> or S[1] - 4.9.4.1.2, .3, <del>.78</del>
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4.8.7. PERMITTED USES: INDUSTRIAL ZONES

<p><b>TABLE 4.8-5: PERMITTED USES - INDUSTRIAL ZONES *</b></p> <p>P = Permitted Use S = Permitted as Special Exception Use</p> <p>[1] Mayor and Council Special Exception Procedure, Section 3.4.4</p> <p>[2] Zoning Examiner Special Exception Procedure, Section 3.4.3</p> <p>[3] PDSD Special Exception Procedure, Section 3.4.2</p> <p>*Any Land Use Class not permitted or a Special Exception Use in any other zone , or permitted in the I-2 zone , may be permitted in the I-2 zone and shall comply with the dimensional standards determined to be most similar to the proposed use.</p>				
LAND USE	P-I	I-1	I-2	USE SPECIFIC STANDARDS
***				
Commercial Services Land Use Group With Land Use Class/Type:			*	

Attachment A – Redline of Proposed UDC Amendments

Communications:				
Radio or Television Station only	P	P	P	P-I, I-1, I-2: 4.9.4.I.1 and 4.9.13.Q
Wireless Communication	P	P	P	P-I, I-1, I-2: 4.9.13.Q and 4.9.4.I.2, .3, & .4.a or <u>5.a</u> or <u>5.b-4.b</u>
Wireless Communication	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	P-I, I-1, I-2: 4.9.13.Q and one of the following groups: S[3] - 4.9.4.I.2, .3, and <u>.56.a</u> , <u>.5.b</u> or <u>.56.e-b</u> or S[2] - 4.9.4.I.2, .3, & <u>.67.b</u> or S[1] - 4.9.4.I.2, .3, & <u>.78</u>

4.8.8. PERMITTED USES: SPECIAL USE ZONES (1) - OS, IR, P & RV

<p><b>TABLE 4.8-6: PERMITTED USES - SPECIAL USE ZONES (1): OS, IR, P, &amp; RV ZONES</b></p> <p>P = Permitted Use S = Permitted as Special Exception Use</p> <p>[1] Mayor and Council Special Exception Procedure, Section 3.4.4</p> <p>[2] Zoning Examiner Special Exception Procedure, Section 3.4.3</p> <p>[3] PDSD Special Exception Procedure, Section 3.4.2</p>					
<b>LAND USE</b>	<b>OS</b>	<b>IR</b>	<b>P</b>	<b>RV</b>	<b>USE SPECIFIC STANDARDS</b>
***					
Communications:					
Wireless Communication		P			IR: 4.9.13.H and 4.9.4.I.2, .3, .4.a or <u>5.a</u> or <u>5.b-4.b</u>
Wireless Communication, limited to wireless communication towers and antennas		S [see use specific standards]			IR: 4.9.13.H and one of the following groups: <del>S[3] - 4.9.4.I.2, .3 &amp; .5.b</del> or S[2] - 4.9.4.I.2, .3 & <u>.67.a</u> or S[1] - 4.9.4.I.2, .3 & <u>.78</u>
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4.8.9. PERMITTED USES: SPECIAL USE ZONES (2) - NC, RVC, & MU

<p><b>TABLE 4.8-7: PERMITTED USES - SPECIAL USE ZONES (2): NC, RVC, AND MU ZONES</b></p> <p>P = Permitted Use S = Permitted as Special Exception Use</p> <p>[1] Mayor and Council Special Exception Procedure, Section 3.4.4</p> <p>[2] Zoning Examiner Special Exception Procedure, Section 3.4.3</p> <p>[3] PDSD Special Exception Procedure, Section 3.4.2</p>				
<b>LAND USE</b>	<b>NC</b>	<b>RVC</b>	<b>MU</b>	<b>USE SPECIFIC STANDARDS</b>
***				
<b>Commercial Services Land Use Group With Land Use Class/Type:</b>				
***				
Communications:				

Attachment A – Redline of Proposed UDC Amendments

Wireless Communication	P	P	P	NC: 4.9.13.M and 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b-4.b</del> RVC: 4.9.13.N and 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b-4.b</del> MU: 4.9.4.1.2, .3, & .4.a or <del>5.a or 5.b-4.b</del>
Wireless Communication, limited to wireless communication towers and antennas	S [see use specific standards]	S [see use specific standards]	S [see use specific standards]	NC: 4.9.13.M and one of the following groups: <del>S[3] - 4.9.4.1.2, .3, &amp; 5.b; or, S[2] - 4.9.4.1.2, .3, &amp; .67.a; or, S[1] - 4.9.4.1.2, .3, &amp; .78</del> RVC: 4.9.13.N and 4.9.4.1.2, .3, & <del>45.a or 45.b</del> MU: 4.9.5.C.6 and one of the following groups: S[3] - 4.9.4.1.2, .3, & <del>56.a or 5.b; or, S[2] - 4.9.4.1.2, .3, &amp; .67.b; or, S[1] - 4.9.4.1.2, .3, &amp; .78</del>
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4.9.4. COMMERCIAL SERVICES USE GROUP

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I. Communications

1. Limited to a radio or television station, provided the buildings do not occupy more than 30% of the site and are set back at least 50 feet from any adjoining C-1 or more restrictive zoned property.
2. Provider’s Communication Plan. Each wireless communication provider shall provide a plan of its facilities to the City prior to any application for the installation of a tower or antennas. The plan shall cover the entire City and within three miles of the City limits. The plan shall include the following.
  - a. All of the provider’s existing towers and antennas, by size and type, and their coverage areas.
  - b. All presently anticipated future service areas and the types of antennas and heights desired for each of the service areas.
  - c. The various types of antennas and towers used by the provider to furnish service and when they are used. This includes drawings providing the sizes and shapes of the antennas and equipment and written materials describing their application.
  - d. The provider’s policy direction for the mitigation and/or reduction of existing and proposed towers and antennas to avoid the negative proliferation of such facilities.
  - e. The provider’s policy direction on the mitigation and/or the reduction of the negative visual impact created by existing or proposed towers and antennas, including any proposals to conceal or disguise such facilities designed to be architecturally and/or environmentally compatible with their surroundings.
  - f. The provider’s policy direction on collocation of antennas on their own facilities or on ones from other providers or on other structures that provide the verticality required for the antennas. The policy shall also provide that the provider shall not enforce any requirement by an owner of property that would prohibit collocation.
  - g. Designation of an agent of the provider who is authorized to receive communications and notices pursuant to this section.
3. General. The following shall be applicable to all wireless communication requests.
  - a. Noninterference with Public Safety. No wireless communication transmitter, receptor, or other facility shall interfere with police, fire, and emergency public safety communications. The Director of Operations for the City is authorized to determine whether any transmitter, receptor, or other facility has interfered with public safety communications or is reasonably believed to be an imminent threat to public safety communications. Upon making that determination, the Director of Operations shall notify

the Zoning Administrator and the provider responsible for that facility. The Zoning Administrator may obtain a temporary restraining order from the City Court with or without notice to enforce this section, provided a hearing is scheduled within five days of the Court's order.

b. All applications for towers / antennas will be reviewed by the Communications Division of the City of Tucson Operations Department and any other appropriate public safety department to ensure that the proposed installation of the towers / antennas will not interfere with any public safety communications or operations of the City. All applications shall include a certification by a registered or electrical engineer that each proposed antenna or tower will be in compliance with all standards established by the Federal Environmental Protection Agency and Federal Communications Commission (FCC) regarding potential health and safety hazards. Submittal of information and review of the application by the Department of Operations shall be in accordance with all applicable standards.

c. Any antenna or tower for which the use is discontinued for six months or more shall be removed, and the property shall be restored to its condition prior to the location of the antenna or tower , all at the expense of the provider . The City may require financial assurances to ensure compliance with this provision.

d. No new towers shall be permitted within 400 feet of a designated Scenic Route or Gateway Route ; within a designated Historic Preservation Zone (HPZ) or Environmental Resource Zone (ERZ); or on a protected peak or ridge as identified in a Hillside Development Zone (HDZ) except as follows:

(1) Communication towers and antennas shall be permitted on a protected peak or ridge that was used for such facilities prior to March 3, 1997, provided any new antennas and towers do not increase the area already disturbed and the placement of any new towers in such areas is approved as a special exception in accordance with Section 3.5.3, Zoning Examiner Legislative Procedure.

(2) New antennas may be permitted under Section 4.9.4.1.4 and.5 if they also comply with the purposes and review procedures of the overlay zone.

(3) New communication towers may be permitted on Gateway Routes in exceptional circumstances, provided there is no alternative and the placement is approved in accordance with Section 3.5.3, Zoning Examiner Legislative Procedure.

e. The dimensional provisions of Article 6 as applicable to towers and antennas shall be superseded by the provisions of Section 4.9.4.1.5 and by the height and setback provisions of Section 4.9.4.1.5, .6, and .7.

f. All proposed wireless communication towers and antennas shall be in compliance with all Federal Communications Commission (FCC) regulations, including those protecting the public health and those protecting historic districts.

g. Submittal Requirements. The following information is to be submitted with each application for the installation of a tower or antenna.

(1) An updated provider 's Communication Plan, including any proposed changes in the service areas, antennas , towers , or policy direction;

(2) The proposed antennas /tower location, the type of antennas /tower, and the proposed service area ;

(3) A statement of compliance with FCC requirements and specifically the areas listed in Section 3.5.4.20.C.6.;

(4) If the proposed installation involves a new tower , then the following information is required.

(a) The searched area for the proposed location;

(b) All existing structures, buildings , towers , etc., of greater than 20 feet in height located within the searched area; and,

(c) A report on why collocation within the search area is not a viable alternative.

(5) Any technological or engineering requirements which effect or limit the location, height, or construction of the proposed tower / antennas should be included in reports.

4. The following are permitted provided they meet the required Use Specific Standards. The PDSD Director may forward the request to the Design Review Board (DRB) for design review

and recommendation.

a. Wireless communication antennas, provided:

- (1) The antennas are collocated on an existing wireless communication tower;
- (2) The antennas and tower are architecturally and/or environmentally compatible with the surrounding structure(s) and general area;
- (3) The existing tower is set back at least the height of the tower structure from the boundary of any other property zoned residential or office;
- (4) The existing tower may be replaced and/or extended up to six feet in height to allow for the placement and architectural treatment of the new antennas; and,
- (5) The maximum extension of the new antennas and associated attachments shall not exceed 36 inches as measured perpendicular to the tower at the point of attachment.

45. The following requires approval in accordance with Section 3.3.3, PDSB Director Approval Procedure. The PDSB Director may forward the request to the Design Review Board (DRB) for design review and recommendation.

a. Wireless communication antennas, provided:

- (1) The antennas are mounted on the wall or roof of a building, or concealed within an architectural or structural element of the building, not exceeding the permitted height of the building ;
- (2) The antennas and tower, or architectural or structural element, are architecturally and/or environmentally compatible with the building and general area; and,
- (3) Wall or roof mounted antennas are limited to six feet above the building, or to 15 feet if the antennas are mounted on top of the roof, the building is 40 feet high or taller, and no more than six feet of the antennas can be seen from any point on the street which is a distance from the building equal to the height of the building.

b. Wireless communication antennas , provided:

- (1) The antennas are mounted on an existing structure within public right-of-way or public property;
- (2) The antennas are architecturally and/or environmentally compatible with the structure and general area;
- (3) The existing structure may be extended up to ten feet in height to allow for the placement and architectural treatment of the new antennas ; and,
- (4) The new antennas do not substantially increase the visual mass of the existing facility.

56. The following requires approval in accordance with Section 3.3.4, 100' Notice Procedure. The PDSB Director shall forward the request to the Design Review Board (DRB) for design review and recommendation.

a. Wireless communication antennas , provided:

- (1) The antennas are mounted on or within a new tower or structure in a manner that conceals or disguises the antennas or new tower. For purposes of this subsection, painting may be a method of concealing or disguising a tower ;
- (2) The tower, antennas , and structure are architecturally and/or environmentally compatible with the surrounding structure(s) and general area;
- (3) A new tower is set back at least two times the height of the tower structure from the boundary of any other property zoned residential or office; and,
- (4) The tower and antennas are 50 feet or less in height.

~~b. Wireless communication antennas , provided:~~

- ~~(1) The antennas are collocated on an existing wireless communication tower;~~
- ~~(2) The antennas and tower are architecturally and/or environmentally compatible with the surrounding structure(s) and general area;~~
- ~~(3) The existing tower is set back at least the height of the tower structure from the boundary of any other property zoned residential or office;~~
- ~~(4) The existing tower may be replaced and/or extended up to six feet in height to allow for the placement and architectural treatment of the new antennas; and,~~
- ~~(5) The maximum extension of the new antennas and associated attachments shall not exceed 36 inches as measured perpendicular to the tower at the point~~



~~of attachment.~~

- ~~6b.~~ Wireless communication antennas , provided:
- (1) The antennas are mounted on a new tower or an existing structure in a manner that is designed or painted so as to minimize their visual impact;
  - (2) The tower and antenna are architecturally and/or environmentally compatible with the existing structures and general area;
  - (3) The tower is set back a minimum of 500 feet from nonindustrially zoned property except where the nonindustrially zoned property is used as an interstate highway or railroad; and,
  - (4) The tower and antennas are 80 feet or less in height.

~~67.~~ The following requires approval as a special exception in accordance with Section 3.4.3, Zoning Examiner Special Exception Procedure. The Zoning Examiner may forward the request to the Design Review Board (DRB) for design review and recommendation.

- a. Wireless communication antennas , provided:
- (1) The antennas are mounted on a new tower and the tower and antennas are concealed or disguised, or the antennas are collocated on an existing structure;
  - (2) The tower and antennas are architecturally and/or environmentally compatible with the surrounding structure(s) and general area;
  - (3) A new tower is set back at least two times the height of the structure from the boundary of any property zoned residential or office; and,
  - (4) The tower and antennas are 50 feet or less in height.

- b. Wireless communication antennas , provided:
- (1) The antennas are mounted on a new tower and the tower and antennas are concealed or disguised, or the antennas are collocated on an existing structure;
  - (2) The tower and antennas are architecturally and/or environmentally compatible with the surrounding structure(s) and general area;
  - (3) A new tower is set back at least two times the height of the structure from the boundary of any property zoned residential or office; and,
  - (4) The tower and antennas are 80 feet or less in height.

~~78.~~ The following requires approval as a special exception in accordance with Section 3.4.4, Mayor and Council Special Exception Procedure. The Mayor and Council may forward the request to the Design Review Board (DRB) for design review and recommendation.

- a. Wireless communication antennas , provided:
- (1) The tower or antennas are not permitted by other provisions of this section;
  - (2) New towers require a minimum separation of one mile from any existing tower , regardless of ownership, unless documentation establishes that no practical alternative exists;
  - (3) All appropriate measures shall be taken to conceal or disguise the tower and antenna from external view;
  - (4) All appropriate measures shall be taken to reduce the negative proliferation of visible towers and antennas by the collocation of new antennas on existing towers or with the facilities of other providers that are located or planned for development within the proposed service area; and,
  - (5) Notice shall be provided to all agents designated, in accordance with Section 4.9.4.1.2.g, at least 15 days prior to the date of the public hearing before the Zoning Examiner.

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### 3. Require Zoning Examiner Legislative Procedure for Major Change of Condition

**UNIFIED DEVELOPMENT CODE  
ARTICLE 3, GENERAL PROCEDURES  
SECTION 3.5, REZONING (CHANGE OF ZONING)**

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**3.5. REZONING (CHANGE OF ZONING)**

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**3.5.4. CHANGE IN CONDITIONS OF APPROVAL AND COMPLETION OF CONDITIONS**

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**A. Types of Changes**

The three types of changes are as follows:

**1. Major Change**

**a. Density or increase in non-residential floor area condition**

This change involves, 1) if the number of residences increases by 10% or greater; or in any case increases by 50 or more units; or 2) if the non-residential floor area increases by 10% or greater;

**b. Design condition**

This change involves a quantified physical dimension established in a condition to adapt to specific site characteristics or mitigate development impacts on the site and surrounding land uses. Examples of such dimensions include setbacks, heights, landscape buffers, natural areas, or areas to be disturbed, when these are illustrated on the preliminary site plan or stated in a condition;

**c. Use condition**

This change involves an illustration on the preliminary site plan or a change stated in a condition that only a specific set of uses are permitted on the site; or,

d. A change in a preliminary site plan when the building area is substantially reconfigured such that traffic generated by the new layout will increase 10% or greater over the previous layout's proposed traffic generation.

**2. Minor Change**

A change in the rezoning conditions or preliminary site plan that is not a major change or an administrative change.

**3. Administrative Change**

A change in a feature of a preliminary site plan for an approved rezoning when the result is still in substantive compliance with the approved rezoning. Administrative changes are approved by the PDSD Director. The Director shall make a finding that the change will not create a nuisance on adjoining land uses or cause a safety hazard.

**B. Procedures for Changes**

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**2. Major Amendment to Conditions or the Preliminary Site Plan**

a. A request for a major amendment to the conditions of approval or the approved preliminary site plan is subject to either the Zoning Examiner Legislative Procedure, per UDC Section 3.5.3, or requires Mayor and Council approval after at a public

hearing. ~~Notice of such hearing must be given in the same manner as for the procedure adopting the conditions.~~

- ~~b. A neighborhood meeting is required per the requirements of Section 3.2.2.~~
- ~~c. After the required neighborhood meeting the PDSO Director will determine which process the request will follow. The PDSO Director’s determination is not subject to appeal.
 
  - ~~1) The request shall follow the Zoning Examiner Legislative Procedure if the PDSO Director determines, after the neighborhood meeting, that the application presents issues that would be appropriate for review and recommendation from the Zoning Examiner prior to Mayor and Council consideration.~~
  - ~~2) The request is subject only to Mayor and Council approval at a public hearing if the PDSO Director determines that no review by the Zoning Examiner is needed to inform the Mayor and Council’s consideration of the application. The Mayor and Council may proceed to make that decision after a Public Hearing; and also have the option to remand the application to the Zoning Examiner for the Zoning Examiner’s -review and recommendation.~~~~
- ~~d. The same voting requirements as for the original adoption shall apply to the request for a substantial change of conditions.~~

4. Remove Setback Requirements between Townhouse Units

**UNIFIED DEVELOPMENT CODE  
ARTICLE 4, ZONES**

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**4.8. USE TABLES**

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**4.8.4. PERMITTED USES: URBAN RESIDENTIAL ZONES**

TABLE 4.8-2: PERMITTED USES - URBAN RESIDENTIAL ZONES						
P = Permitted Use S = Permitted as Special Exception Use						
[1] Mayor and Council Special Exception Procedure, Section <a href="#">3.4.4</a>						
[2] Zoning Examiner Special Exception Procedure, Section <a href="#">3.4.3</a>						
[3] PDSO Special Exception Procedure, Section <a href="#">3.4.2</a>						
LAND USE	R-1	R-2	R-3	MH-1	MH-2	USE SPECIFIC STANDARDS
***						
<b>Residential Land Use Group With Land Use Class/Type:</b>						
Family Dwelling:						
***						
<u>Single-family, Attached</u>		<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>R-2: 4.9.7.B.6, .9, &amp;.10</u> <u>R-3: 4.9.7.B.6.</u>
***						
<b>Utilities Land Use Group With Land Use Class/Type:</b>						

Attachment A – Redline of Proposed UDC Amendments

Distribution System	S [2]	S [2]	S [2]	S [2]	S [2]	R-1, R-2, R-3, MH-1, MH-2: 4.9.11.A.1, .2, .5, .8, .9, .11, <u>.12</u>
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**4.8.5. PERMITTED USES: OFFICE ZONES**

<b>TABLE 4.8-3: PERMITTED USES – OFFICE ZONES</b> P = Permitted Use S = Permitted as Special Exception Use [1] Mayor and Council Special Exception Procedure, Section <a href="#">3.4.4</a> [2] Zoning Examiner Special Exception Procedure, Section <a href="#">3.4.3</a> [3] PDSD Special Exception Procedure, Section <a href="#">3.4.2</a>						
<b>LAND USE</b>	<b>O-1</b>	<b>O-2</b>	<b>O-3</b>	<b>USE SPECIFIC STANDARDS</b>		
***						
<b>Residential Land Use Group With Land Use Class/Type:</b>						
Family Dwelling:						
***						
Single-family, <u>Attached or Detached</u>	P	P	P			

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**4.8.6. PERMITTED USES: COMMERCIAL AND MIXED USE ZONES**

<b>TABLE 4.8-4: PERMITTED USES – COMMERCIAL AND MIXED USE ZONES</b> P = Permitted Use S = Permitted as Special Exception Use [1] Mayor and Council Special Exception Procedure, Section <a href="#">3.4.4</a> [2] Zoning Examiner Special Exception Procedure, Section <a href="#">3.4.3</a> [3] PDSD Special Exception Procedure, Section <a href="#">3.4.2</a>						
<b>LAND USE</b>	<b>C-1</b>	<b>C-2</b>	<b>C-3</b>	<b>OCR-1</b>	<b>OCR-2</b>	<b>USE SPECIFIC STANDARDS</b>
***						
<b>Residential Land Use Group With Land Use Class/Type:</b>						
Family Dwelling:						
***						
Single-family, <u>Attached or Detached</u>	P	P	P	P	P	
***						

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**4.8.9. PERMITTED USES: SPECIAL USE ZONES (2) – NC, RVC, & MU**

TABLE 4.8-7: PERMITTED USES – SPECIAL USE ZONES (2): NC, RVC, AND MU ZONES				
P = Permitted Use S = Permitted as Special Exception Use [1] Mayor and Council Special Exception Procedure, Section <a href="#">3.4.4</a> [2] Zoning Examiner Special Exception Procedure, Section <a href="#">3.4.3</a> [3] PDSO Special Exception Procedure, Section <a href="#">3.4.2</a>				
LAND USE	NC	RVC	MU	USE SPECIFIC STANDARDS
***				
<b>Residential Land Use Group With Land Use Class/Type:</b>				
Family Dwelling:				
***				
Single-family, <u>Attached or Detached</u>	P		P	

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**6.3. DIMENSIONAL STANDARDS**

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**6.3.4. DIMENSIONAL STANDARDS AND EXCEPTIONS TABLES**

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**TABLE 6.3-2.A: DIMENSIONAL STANDARDS FOR THE R-1, R-2, R-3, MH-1, & MH-2 ZONES**

*Note: Several variables factor into determining a use’s required dimensional standards. See Section 6.3.2, Determining a Use’s Dimensional Standards, for further details.*

Dimensional Standard	Zone				
	R-1	R-2	R-3	MH-1	MH-2
Residential Density (maximum)	SF: 1/7,000 sf SF (2 units): 2/10,000 sf	SF: 1/5,000 sf MF: 15/acre	SF: 1/5,000 sf MF: 36/acre	SF/MH: 1/7,000 sf MF/MH Park: 8/acre	SF/MH: 1/5,000 sf MF & MH Park: 15/acre
Lot Size /Site Area (minimum)	SF (1 unit): 7,000 sf SF (2 units): 10,000 sf Nonres: see Exceptions	5,000 sf	SF: 5,000 sf MF/Nonres: 0	7,000 sf	5,000 sf
Lot Coverage (maximum)	70%	SF: 70% MF: 75% Nonres: see Exceptions	70%	70%	SF, MH, Res. Care Services: 70% MF & MH Park: 75% Nonres: see Exceptions
Height (maximum)	25'	25'	SF, Civic Uses, & Admin/Prof Offices: 25' MF/Nonres: 40'	25'	25'
Perimeter Yard [Standard based on the proposed use’s adjacency to a residential or nonresidential zone or street ]					
Street	Section 6.4.5.C	Section 6.4.5.C	Section 6.4.5.C	Section 6.4.5.C	Section 6.4.5.C

Attachment A – Redline of Proposed UDC Amendments

Res Use Res. Zone	6' or 2/3(H)*	6' or 2/3(H)*	6' or 2/3(H)*	6' or 2/3(H)*	6' or 2/3(H)*
Res Use Nonres Zone	10' or ¾(H)*	10' or ¾(H)*	10' or ¾(H)*	10' or ¾(H)*	10' or ¾(H)*
Nonres Use Res or Nonres Zone	10' or ¾(H)*	10' or ¾(H)*	10' or ¾(H)*	10' or ¾(H)*	10' or ¾(H)*

\* The greater of the two dimensions applies

Key:

(H) = Height of the proposed exterior

building wall MF = Multifamily

Development (Section 6.3.3.C) MH =

Mobile Home Dwelling (Section

6.3.3.A) MH Park = Mobile Home

Park (Section 6.3.3.B) N/A = Not

Applicable

Nonres = Nonresidential (Section 6.3.3.D or .E, whichever is

applicable) Res = Residential (Section 6.3.3.H or .I, whichever

is applicable)

SF = Single-family Use

(Section 6.3.3.J) sf = square

feet = adjacent to

(Am. Ord. 11070, 5/14/2013)

**TABLE 6.3-2.B: EXCEPTIONS TO THE R-1, R-2, R-3, MH-1, & MH-2 DIMENSIONAL STANDARDS**

Zone	Use	Exceptions to the Zone 's Dimensional Standard
R-1	Educational Use: Elementary and Secondary School (P & S)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 15% Nonres Use adjacent to Nonres Zone (min.) = (H)
	Cultural use (S) Parks and Recreation (P) Religious use (P)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	Cultural Use (P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	Day Care, Adult and Child (P & S)	Lot Size (min.) = 7,000
	Renewable Energy Generation (S)	Site Area (min.) = 0 Lot Coverage (max.) = N/A Height (max.) = 16' Nonres Use adjacent to Nonres Zone (min.) = (H)
	Protective Service (P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%

Attachment A – Redline of Proposed UDC Amendments

Zone	Use	Exceptions to the Zone 's Dimensional Standard
R-2	Educational Use: Elementary and Secondary School (P & S)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 15%
	<ul style="list-style-type: none"> <li>• Cultural Use (S)</li> <li>• Parks and Recreation (P)</li> <li>• Religious Use (P)</li> </ul>	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	Cultural Use (P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	Day Care, Adult (P)	Lot Coverage (max.) = N/A
	Day Care, Child – max. 30 children (P)	Lot Size (min.) = 14,000 sf Perimeter Yard (min.) = see Sec. 4.9.4.H.4
	Day Care, Child – unlimited # of children (S)	Lot Size (min.) = see Sec. 4.9.4.H.7 Perimeter Yard (min.) = see Sec. 4.9.4.H.4
	Day Care, Child with extended hours (S)	Lot Size (min.) & Perimeter Yard (min.) = see Sec. 4.9.4.H.9
	Distribution System (S)	Lot Coverage (max.) = N/A Perimeter Yard (min.) (facility, walls and equipment) = 20' from any adjacent residential zone
	Medical Services (S)	Lot Size (min.) = 1.5 acres Lot Coverage (max.) = 70%
	<u>Single-family, Attached (P)</u>	<u>Lot Size (min.) = Equivalent to multi-family density (2,904 sf)</u>
	Residential Care Services, Adult Care Service or Physical and Behavioral Health Services – Max 10 residents	Lot Coverage (max.) = 70%
	<ul style="list-style-type: none"> <li>• Residential Care Services, Adult Care Service or Physical and Behavioral Health Services – Max 15 residents</li> <li>• Residential Care Services: Rehabilitation Service – children's facilities (P)</li> </ul>	Lot Coverage (max.) = N/A Res. Use adjacent to Res. Zone (min.) = 10' or 3/4 (H)
	Residential Care Services, Adult Care Service or Physical and Behavioral Health Services – unlimited number of residents	Lot Size (min.) = 3 acres Lot Coverage (max.) = 50% Perimeter Yard (min.) = 25' from all interior lot lines abutting residential zones
	<ul style="list-style-type: none"> <li>• Residential Care Services: Rehabilitation Service or Shelter Care - Max. 15 residents (S)</li> <li>• Residential Care Services: Shelter Care – victims of domestic violence (P)</li> </ul>	Lot Size (min.) = 20,000 sf
	Residential Care Services: Rehabilitation Service or Shelter Care – unlimited number of residents (S)	Lot Size (min.) = 1.5 acres Lot Coverage (max.) = 60% Perimeter Yard (min.) = 20' from all interior lot lines abutting residential zones
	<ul style="list-style-type: none"> <li>• Cemetery (P)</li> <li>• Communications (P)</li> <li>• Communications, limited to wireless communication towers and antennas (S)</li> <li>• Crop production (P)</li> </ul>	Lot Coverage (max.) = N/A
	Renewable Energy Generation (S)	Site Area (min.) = 0 Lot Coverage (max.) = N/A Height (max.) = 16' Nonres Use adjacent to Nonres Zone (min.) = (H)
	Administrative and Professional Office P - government owned and operated only)	Lot Size (min.) = 43,560 sf Lot Coverage (max.) = 20% Nonres. Use adjacent to Res. Zone (min.) = 2(H) Nonres. Use adjacent to Nonres. Zone (min.) = 0
	Postal Service P - Government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	Protective Service P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%

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Zone	Use	Exceptions to the Zone 's Dimensional Standard
R-3	Educational Use: Elementary and Secondary School (P & S)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 15%
	Cultural Use (S)	Lot Size (min.) = 20,000 sf; Lot Coverage (max.) = 60%
	Day Care: Child – max 100 children (P)	Lot Size (min.) = 10,000 sf Perimeter Yard (min.) = See Sec. 4.9.4.H.4
	Day Care: Child – unlimited number of children (S)	Lot Size (min.) = 200 sf per child multiplied by the maximum enrollment for the which the center is licensed, plus 4,000 sf Perimeter Yard (min.) = See Sec. 4.9.4.H.4
	Day Care: Child – extended hours for any number of children (S)	Lot Size (min.) and Perimeter Yard (min.) = See Sec. 4.9.4.H.9
	Distribution System (S)	Lot Size (min.) = N/A Perimeter Yard (min.) = setback of the facility, including walls or equipment, is 20' from any adjacent residential zone
	<del>Single-family, Attached (P)</del>	<del>Lot Size (min.) = Equivalent to multi-family density (1,210 sf)</del>
	Residential Care Services: Rehabilitation Service – children's facilities (P)	Lot Size (min.) = 0 Res. Use adjacent to Res. or Nonres. Zone (min.) = 10' or 3/4 (H)
	Residential Care Services: Shelter Care – victims of domestic violence (P)	Lot Size (min.) = 0 Building Height (max.) = 40' Res. Use adjacent to Res. or Nonres. Zone (min.) = 10' or 3/4 (H)
	Residential Care Services: Rehabilitation Service or Shelter Care – max 20 residents (S)	Lot Size (min.) = 20,000 sf
	Residential Care Services: Rehabilitation Service or Shelter Care – unlimited number of residents (S)	Lot Size (min.) = 1.5 acres Building Height (max.) = 40' Lot Coverage (max.) = 60% Res. Use adjacent to Res. or Nonres. Zone (min.) = 20' from all interior lot lines abutting residential zones
	<ul style="list-style-type: none"> <li>• Civic Assembly (P - Government owned and operated only)</li> <li>• Cultural Use (S)</li> <li>• Parks and Recreation (P)</li> <li>• Religious Use (P)</li> </ul>	Lot Size (min.) = N/A
	<ul style="list-style-type: none"> <li>• Cemetery (P)</li> <li>• Communications (P)</li> <li>• Communications, limited to wireless communication towers and antennas (S)</li> <li>• Crop Production (P)</li> <li>• Day Care: Adult Day Care (P)</li> <li>• Group Dwelling (P)</li> <li>• Medical Service (S)</li> <li>• Residential Care Services: Adult Care Service or Physical and Behavioral Health Service (P)</li> </ul>	Lot Size (min.) = N/A Nonres Use adjacent to Res Zone (min.) = 1½(H) Nonres Use adjacent to Nonres Zone (min.) = 0
	Renewable Energy Generation (S)	Site Area (min.) = 0 Lot Coverage (max.) = N/A Height (max.) = 16' Nonres Use adjacent to Nonres Zone (min.) = (H)
	Administrative and Professional Office (P - government owned and operated only)	Lot Size (min.) = 72,000 sf Lot Coverage (max.) = 60% Nonres. Use adjacent to Res. Zone (min.) = 2(H) Nonres. Use adjacent to Nonres. Zone (min.) = 0



Attachment C - Redline of Proposed UDC Amendments

Zone	Use	Exceptions to the Zone 's Dimensional Standard
MH-1	Educational Use: Elementary and Secondary School (P & S)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 15%
	<ul style="list-style-type: none"> <li>• Parks and Recreation (P)</li> <li>• Religious Use (P)</li> </ul>	Lot Size (min.) = 20,000 sf
	<u>Single-family, Attached (P)</u>	<u>Lot Size (min.) = Equivalent to multi-family density (5,445 sf)</u>
	Renewable Energy Generation (S)	Site Area (min.) = 0 Lot Coverage (max.) = N/A; Height (max.) = 16' Nonres Use adjacent to Nonres Zone (min.) = (H)
	Communications, limited to wireless communication towers and antennas (S)	Lot Size (min.) = 5,000 sf
	Cultural Use (P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	Protective Service (P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%

Zone	Use	Exceptions to the Zone 's Dimensional Standard
MH-2	<ul style="list-style-type: none"> <li>• Mobile Home Park (P)</li> <li>• Multifamily Development (P)</li> </ul>	Lot Coverage (max.) = 75%
	Educational Use: Elementary and Secondary School (P & S)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 15%
	<ul style="list-style-type: none"> <li>• Parks and Recreation (P)</li> <li>• Religious Use (P)</li> </ul>	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	<u>Single-family, Attached (P)</u>	<u>Lot Size (min.) = Equivalent to multi-family density (2,904 sf)</u>
	Renewable Energy Generation (S)	Site Area (min.) = 0 Lot Coverage (max.) = N/A Height (max.) = 16' Nonres Use adjacent to Nonres Zone (min.) = (H)
	<ul style="list-style-type: none"> <li>• Communications (P)</li> <li>• Communications, limited to wireless communication towers and antennas (S)</li> <li>• Crop Production (P)</li> <li>• Distribution System (S)</li> </ul>	Lot Coverage (max.) = N/A
	Administrative and Professional Office (P - government owned and operated only)	Lot Size (min.) = 43,560 sf Lot Coverage (max.) = 20% Nonres. Use adjacent to Res. Zone (min.) = 2(H) Nonres. Use adjacent to Nonres. Zone (min.) = 0
	Cultural Use (P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
Protective Service (P - government owned and operated only)	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%	

Attachment C - Redline of Proposed UDC Amendments

**TABLE 6.3-3.A: DIMENSIONAL STANDARDS FOR THE O-1, O-2, & O-3 ZONES**

Dimensional Standard	Zone		
	0-1	0-2	0-3
Residential Density (maximum)	8/acre	8/acre	22/acre
Lot Size /Site Area (minimum)	Res: 7,000 sf Nonres: 10,000 sf	Res: 5,000 sf Nonres: 0 sf	Res: 5,000 sf Nonres: 0 sf
Lot Coverage (maximum)	Res: 70% Nonres: N/A	Res: 70% Nonres: N/A	Res: 75% Nonres: N/A
Height (maximum)	Res, Office: 16' Other: 25'	26'	Res: 25' Nonres: 40'
Perimeter Yard [Standard based on the proposed use's adjacency to a residential or nonresidential zone or street ]			
Street	Section 6.4.5.C	Section 6.4.5.C	Section 6.4.5.C
Res Use Zone	10' or ¼(H)*	10' or ¼(H)*	10' or ¼(H)*
Nonres Use Zone	10' or ¼(H)*	10' or ¼(H)*	10' or ¼(H)*

Note: Several variables factor into determining a use's required dimensional standards. See Section 6.3.2, Determining a Use's Dimensional Standards, for further details.

\* The greater of the two

**TABLE 6.3-3.B: EXCEPTIONS TO THE O-1, O-2, & O-3 DIMENSIONAL STANDARDS**

Zone	Use	Exceptions to the Zone 's Dimensional Standards
O-1	<ul style="list-style-type: none"> <li>Communications, limited to wireless communication towers and antennas (S)</li> <li>Residential Care Services: Adult Care Service or Physical and Behavioral Health Service (S)</li> </ul>	Lot Size (min.) = 72,000 sf Lot Coverage (max.) = 15% Nonres Use adjacent to Res Zone (min.) = 1½(H) Nonres Use adjacent to Nonres Zone (min.) = 0'
	<ul style="list-style-type: none"> <li>Cultural Use [S]</li> <li>Distribution System [S]</li> <li>Residential Care Services: Adult Care Service or Physical and Behavioral Health Service (S)</li> </ul>	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	<u>Single-family, Attached (P)</u>	<u>Lot Size (min.) = Equivalent to multi-family density (5.445 sf)</u>
	Renewable Energy Production (S)	Site Area (min.) = 0 Height (max.) = 16' Nonres Use adjacent to Nonres Zone (min.) = (H)

Attachment C - Redline of Proposed UDC Amendments

	Residential Care Services: Rehabilitation Service or Shelter Care (S)	Lot Size (min.) = 72,000 sf Lot Coverage (max.) = 15% Nonres Use adjacent to Res Zone (min.) = 1½(H) Nonres Use adjacent to Nonres Zone (min.) = 0
--	---	---

Zone	Use	Exceptions to the Zone 's Dimensional Standards
O-2	<ul style="list-style-type: none"> <li>Civic Assembly (P)</li> <li>Communications, limited to wireless communication towers and antennas (S)</li> <li>Cultural Use (P)</li> <li>Educational Use: Elementary and Secondary School (P &amp; S)</li> <li>Educational Use: Postsecondary Inst. (P)</li> <li>Religious Use (P)</li> </ul>	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 15%
	<ul style="list-style-type: none"> <li>Cultural Use (S)</li> <li>Residential Care Services: Rehabilitation Service or Shelter Care (S)</li> </ul>	Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60%
	Day Care: Child Care (P & S)	Lot Size (min.) = 14,000 sf Lot Coverage (max.) = 80%
	Day Care: Child Care (S)	Lot Size (min.) = 2.5 acres Lot Coverage (max.) = 60%
	Renewable Energy Production (S)	Height (max.) = 16' Nonres Use adjacent to Nonres Zone (min.) = (H)
	Cultural Use (P - government owned and operated only)	Lot size (min.) = 20,000 sf Lot Coverage (max.) = 15%
	O-3	Family Dwelling in the Rio Nuevo District (P)
Cemetery (P)		Lot Size (min.) = 10 acres Lot Coverage (max.) = 15% Nonres Use adjacent to Res Zone (min.) = 1½(H) Nonres Use adjacent to Nonres Zone (min.) = 0
Communications, limited to wireless communication towers and antennas (S)		Lot Size (min.) = 72,000 sf Lot Coverage (max.) = 15% Height (max.) = 25' Nonres Use adjacent to Res Zone (min.) = 1½(H) Nonres Use adjacent to Nonres Zone (min.) = 0
<ul style="list-style-type: none"> <li>Cultural Use (S)</li> <li>Distribution System (S)</li> </ul>		Lot Size (min.) = 20,000 sf Lot Coverage (max.) = 60% Height (max.) = 25'
Day Care: Child care (2 uses with different use-specific standards)		Lot Size (min.) = 10,000 sf Lot Coverage (max.) = 50% Height (max.) = 25'

Attachment C - Redline of Proposed UDC Amendments

<ul style="list-style-type: none"> <li>• Civic Assembly (P)</li> <li>• Educational Use: Elementary and Secondary School (P &amp; S)</li> <li>• Educational Use: Postsecondary Inst. (P)</li> <li>• Parks and Recreation (P)</li> <li>• Religious Use (P)</li> </ul>	Lot Coverage (max.) = 70%
Day Care: Child Care (S)	Lot Coverage (max.) = 60% Height (max.) = 25'
<u>Single-family, Attached (P)</u>	<u>Lot Size (min.) = Equivalent to permitted density (1,980 sf)</u>
<ul style="list-style-type: none"> <li>• Administrative and Professional Office (P)</li> <li>• Communications (P)</li> <li>• Day Care: Adult Day Care (P)</li> <li>• Residential Care Services: Adult Care Service or Physical and Behavioral Health Service (P - 2 uses with different use-specific standards)</li> <li>• Medical Service - Extended Health Care, Major, or Outpatient (P)</li> <li>• Residential Care Services: Rehabilitation Service - children's facility (P)</li> <li>• Residential Care Services: Rehabilitation Service or Shelter Care (P &amp; S)</li> </ul>	Nonres Use adjacent to Res Zone (min.) = 1½(H) Nonres Use adjacent to Nonres Zone (min.) = 0

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**11.3. DEFINITIONS OF LAND USE GROUPS, CLASSES, AND TYPES**

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**11.3.7. RESIDENTIAL USE GROUP**

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**A. Family Dwelling**

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**4. Single-Family Dwelling, Attached**

A dwelling unit attached on a horizontal plane to one or more dwelling units by structural elements common to the attached units. Each dwelling unit is located on its own individual lot or separated by a line denoting a separate ownership of each unit. The structural elements include common wall construction, roof, or other similar improvement. Elements such as trellises, beams, and patio walls are not included. The interior perimeter yard between units in a unified development may be reduced to 0 (zero) feet. Single-family dwelling, attached is not shown as a permitted use in any zone (Sections 4.8.3 through 4.8.8, Permitted Uses); however, the use may be developed upon approval a perimeter yard modification in accordance with Section 3.11.1, Design Development Option, for up to two units, and Section 8.7.3, Flexible Lot Development, for projects of more than two units.

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5. Reduce Parking Requirements for Small Multi-family Residential

**UNIFIED DEVELOPMENT CODE  
ARTICLE 7, DIMENSIONAL STANDARDS AND MEASUREMENTS**

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**7.4. MOTOR VEHICLE AND BICYCLE PARKING**

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**7.4.4 REQUIRED NUMBER OF MOTOR VEHICLE PARKING SPACES**

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**Minimum Number of Motor Vehicle Parking Spaces Required**

The minimum number of required motor vehicle parking spaces is provided below in [Table 7.4.4-1](#).

<b>TABLE 7.4.4-1: MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED</b>	
<b>Land Use Group/Class</b>	<b>Motor Vehicle Parking Required</b>
<b>RESIDENTIAL USE GROUP</b>	
Family Dwelling; Mobile Home Dwelling	The number of parking spaces required is based on the following:
Single-Family and Mobile Home Dwellings	2 spaces per dwelling unit plus visitor parking required at a ratio of 0.25 space per unit. Exception. <del>Single-family dwellings</del> Residential development in the R-1 zone must comply with Section <a href="#">4.9.7.B.7</a>
<u>Any Single-Family, Mobile Home, or Multifamily Development on a single site with 2-5 units</u>	<u>1 space per dwelling unit. Exception. Residential development in the R-1 zone must comply with Section 4.9.7.B.7</u>

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#### 7.4.6 MOTOR VEHICLE USE AREA DESIGN CRITERIA

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### 7. Surfacing Requirements

1. All vehicular use areas must be surfaced with one of the following materials.

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d. Alternative surfacing as determined appropriate by the ~~PDSD~~ City Engineer. Exception: Vehicular use areas for ~~Residential Care Services with four or fewer spaces provided, single-family residential development, mobile home dwellings, duplexes on individual lots with four or fewer spaces provided residential development with four or fewer spaces provided~~, and vehicle storage are exempt from the surfacing requirements.

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### K. Use of Street or Alley for Maneuvering Area

A street or alley can not be used for maneuvering directly into or from any parking space located wholly or partially outside the public right-of-way, except as follows:

1. The following uses are permitted to use a street or alley for access and maneuvering:
  - a. Residential uses (including, but not limited to, single-family dwellings, mobile home dwellings, duplexes on individual lots, multifamily development, and Residential Care Services) that ~~require provide~~ four or fewer off-street motor vehicle parking spaces;
  - b. Home occupations; or,
  - c. Non-residential uses within contributing properties to a National Register Historic District.

\*\*\*

#### 7.4.10 PARKING DESIGN MODIFICATION REQUEST (PDMR)

\*\*\*

### C. Review and Approval Procedures

1. Applications must include property ownership information, a site plan, and other information deemed by the PDSD Director as necessary to evaluate the request.
2. ~~Except as provided herein, r~~Review of PDMR requests is processed in accordance with Section 3.3.3, *PDSD Director Approval Procedure*.

~~a. Exception~~

~~Review of modification requests to the number of motor vehicle and bicycle parking spaces is in accordance with the Section 3.3.4, 100' Notice Procedure. The Design Review Board (DRB) reviews the request and provides the PDS Director with a recommendation.~~

\*\*\*

#### D. Findings for Approval

\*\*\*

8. A modification may be granted for decreasing the required motor vehicle parking by ~~20%~~10% or less, but in no case more than five spaces. The modification in off-street motor vehicle parking spaces is for the purpose of improving the site design in a manner which will further the intent of the PDMR. This includes improvements such as, but not limited to, enhancement of landscaping, pedestrian facilities, or bicycle provisions beyond the requirements of the UDC.

\*\*\*

10. The modification does not decrease the parking area access lane or driveway dimension by more than 5% of the minimum width required.

##### a. Exceptions:

~~(1.) In instances when the access is a fire lane, t~~The width of a parking area access lane or driveway may not be reduced. ~~when it is a fire lane.~~

~~(2.) The parking area access lane or driveway may be decreased by more than 5% for residential development of 5 units or less and with approval of Tucson Fire.~~

\*\*\*

6. Allow Accessory Structures in front yards for shade and carports

### UNIFIED DEVELOPMENT CODE ARTICLE 6, DIMENSIONAL STANDARDS AND MEASUREMENTS

\*\*\*

#### 6.4. RULES OF MEASUREMENT AND EXCEPTIONS TO DIMENSIONAL STANDARDS

\*\*\*

##### 6.4.5. PERIMETER YARDS

#### D. Exceptions

\*\*\*

### 3. Structures within Front Yards

- (1) ~~a. Architectural features that are part of a solar energy system shade structures or carports~~ may project up to ~~four~~ 10 feet into required perimeter yards. Such architectural features include, but are not limited to, overhangs, moveable insulating walls and roofs, detached solar collectors, reflectors, and piping.

\*\*\*

## 6.6. ACCESSORY USES, BUILDINGS, AND STRUCTURES

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### 6.6.3. RESIDENTIAL USES

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- C. Detached accessory buildings, including accessory dwelling units, are not permitted in the buildable area extending the full width of the lot between the principal building and the front street lot line, except for shade structures or carports not over 400 square feet in floor area, terraces and steps not over three feet high above the natural grade, paved areas, and fences or walls; ~~Detached shade structures and carports shall not exceed more than 400 square feet;~~

\*\*\*

## 7. Standardize Building Setbacks on Major Streets and Routes

### UNIFIED DEVELOPMENT CODE ARTICLE 6, DIMENSIONAL STANDARDS AND MEASUREMENTS

\*\*\*

## 6.4. RULES OF MEASUREMENT AND EXCEPTIONS TO DIMENSIONAL STANDARDS

\*\*\*

### 6.4.5. PERIMETER YARDS

\*\*\*

#### C. Street Perimeter Yard

The street perimeter yard width is determined as provided below or unless special zoning requirements dictate a greater distance or different point of measurement.



## Attachment C - Redline of Proposed UDC Amendments

### 1. Established Areas Residential Development

~~a. Within established areas, For single-family and duplex development, the minimum required front street perimeter yard is 20 feet or one and one-half the height of the proposed wall (H), measured from the street property line, whichever is greater, up to a maximum of 90 feet.~~

~~a.~~

b. Where a lot abuts more than one street, the owner chooses which street lot line is the front lot line. From other than the front lot line, the street perimeter yard is ten feet, as measured from the street property line. For carports and garages which face the street, the minimum required street perimeter yard is 20 feet regardless of the street.

c. For carports and garages in single-family and duplex development, the structural setback may be modified in accordance with Section 3.11.1, Design Development Option as follows:

(1) For garages, a minimum of 18 feet (the length of a standard parking space) must be provided in front of the garage door so that a full 18-foot parking space is available for parking on site.

(2) For carports, if the distance between the back of street curb and the carport is eight feet or less, a minimum of one-foot must be provided.

d. For residential development occurring as part of a unified subdivision, reduced setbacks are permitted as designated on the approved tentative plat. The minimum required front street perimeter yard is 5 feet. Carports and garages are permitted as follows:

(1) If accessed from the side perimeter yard or perpendicular to the street, the minimum distance from street property line is 5 feet, or

(2) If accessed from the front or parallel to the street, the minimum distance from street property line is 18 feet, or

(3) If accessed from the front or parallel to a street with an ADT of 140 or less, the distance from the back of curb to the garage or carport may be 8 feet or less. The garage or carport must be setback a minimum of one foot from the property line.

### 2. Developing Areas Nonresidential Development

~~a. Within developing areas, For nonresidential and multifamily development abutting an Arterial or Collector Street the minimum required front street perimeter yard is determined by the type of building proposed and the projected average daily traffic (ADT) of the street and is required as follows: 10 feet, as measured from the existing or future property line as determined by the adopted Major Streets and Routes Plan, whichever is greater.~~

b. For nonresidential and multifamily development abutting a Local Street: the minimum required street perimeter yard is twenty feet, as measured from the street property line.

**~~a. All Buildings Except Carports and Garages in Single-Family and Duplex Development~~**

~~A minimum perimeter yard is required between a building and an adjacent street as determined in Table 6.4.5.C-1, except setbacks for carports and garages in single-family and duplex development, which are determined in Section 6.4.5.C.2.b, Carports and Garages in Single-Family and Duplex Development. The setback is based on the projected street ADT. Of the two or more setback distances listed in Table 6.4.5.C-1 for each ADT range, the building setback which provides the greatest distance from the street is required. (See Illustration 6.4.5-D.)~~

**TABLE 6.4.5.C-1**

**PERIMETER YARD BY STREET ADT<sup>1</sup>**

<b>ADT of 140 or less</b>	<b>ADT over 140 but less than 1,000</b>	<b>ADT of 1,000 or greater</b>
5 feet <sup>2</sup> or 1/2 H <sup>2</sup> or 1 foot <sup>3</sup>	21 feet <sup>4</sup> or H <sup>4</sup>	21 feet <sup>2</sup> or H <sup>2</sup>

~~H = The height of the proposed exterior building wall.~~

<sup>1</sup>~~In all circumstances, the greater setback resulting from the alternate measurement is required.~~

<sup>2</sup>~~The setback is measured from the back of existing curb or future curb location.~~

<sup>3</sup>~~The setback is measured from the property line or from the nearest edge of the sidewalk or future sidewalk location.~~

<sup>4</sup>~~The setback is measured from the outside edge of the nearest adjacent travel lane.~~

**~~b. Carports and Garages in Single-Family and Duplex Development~~**

~~For carports, garages, or similar parking structures in single-family or duplex residential development on individual lots, a minimum perimeter yard is required using one of the following alternatives: (See Figure 6.4.5-E.)~~

~~(1) A minimum setback of 19 feet from the back of sidewalk to allow sufficient space for a motor vehicle to be parked in front of the carport or garage is required as follows:~~

~~(a) Eighteen feet (the length of a standard parking space) must be provided in front of the carport or garage and measured so that the full 18-foot parking space is available for parking on-site; and,~~

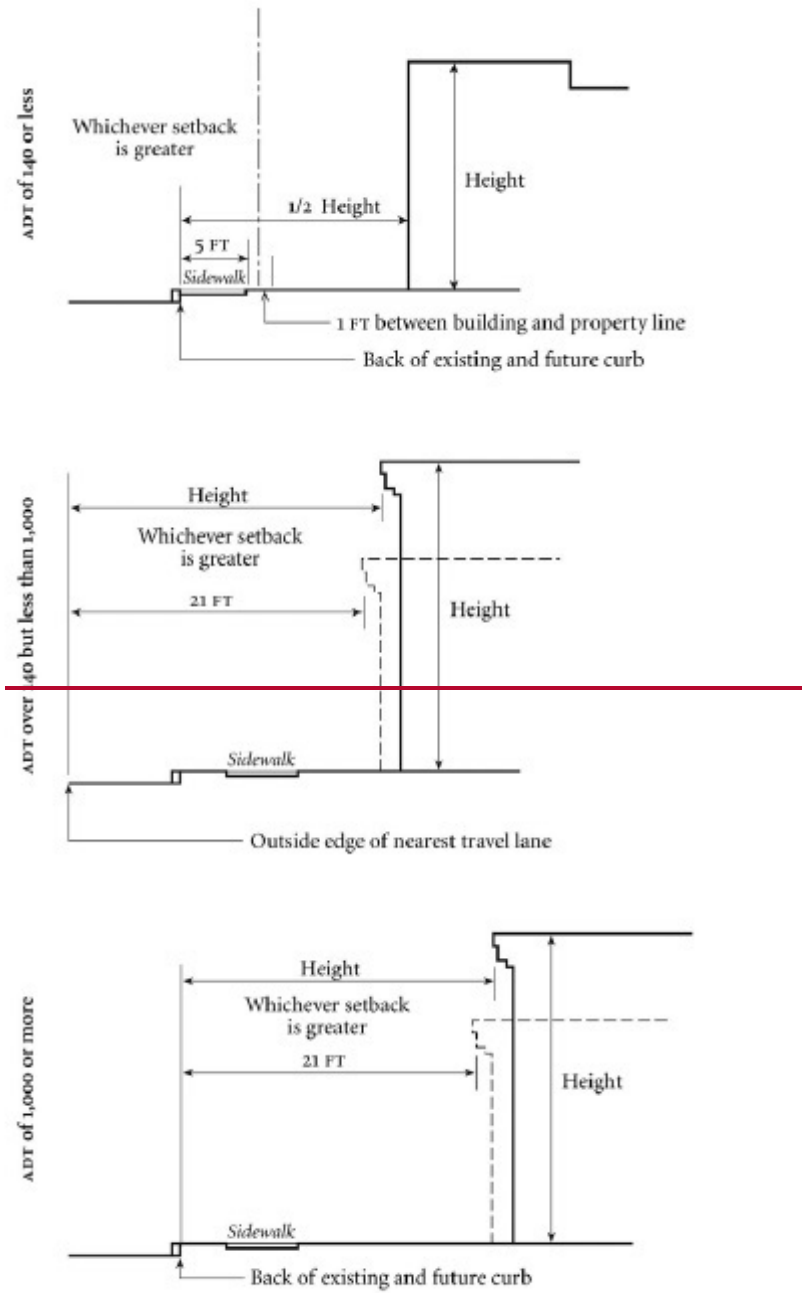
~~(b) The 18-foot parking space shall be no closer than one foot from back of sidewalk of the street from which access is gained.~~

~~(c) Modifications to the structural setback and parking space length requirements of this section for carports only in single-family and duplex development may be granted in accordance with Section 3.11.1, Design Development Option.~~

## Attachment C - Redline of Proposed UDC Amendments

- ~~(2) A minimum setback of one foot from the back of sidewalk of the street from which access is gained, is required if all of the following apply:~~
- ~~(a) The street from which access is provided has a projected ADT of 140 vehicle trips or less;~~
  - ~~(b) The setback is measured so that the parking structure and the parking space within that structure are located completely on site and do not encroach into the one-foot setback; and,~~
  - ~~(c) The distance between the street pavement edge and the parking structure is eight feet or less. The purpose of this requirement is to discourage motor vehicle tandem parking that would block the pedestrian area or overhang onto the roadway.~~
    - ~~d. When the setback is measured from the nearest edge of sidewalk, back of sidewalk, or future sidewalk, and there is no existing or proposed sidewalk, the nearest edge of the pedestrian and utility area adjacent to the street's roadway is used as the point of measurement for the setback. The location and width requirements for pedestrian and utility areas are found in the Section 7, *Pedestrian Access*, of the Technical Standards Manual.~~
    - ~~d. Developing area setbacks shall not be less than the minimum width of the landscaping requirements of Section 7.6.4.C, *Landscape Borders*.~~

Attachment C - Redline of Proposed UDC Amendments



**Figure 6.4.5-D: Building Setbacks in Developing Areas**

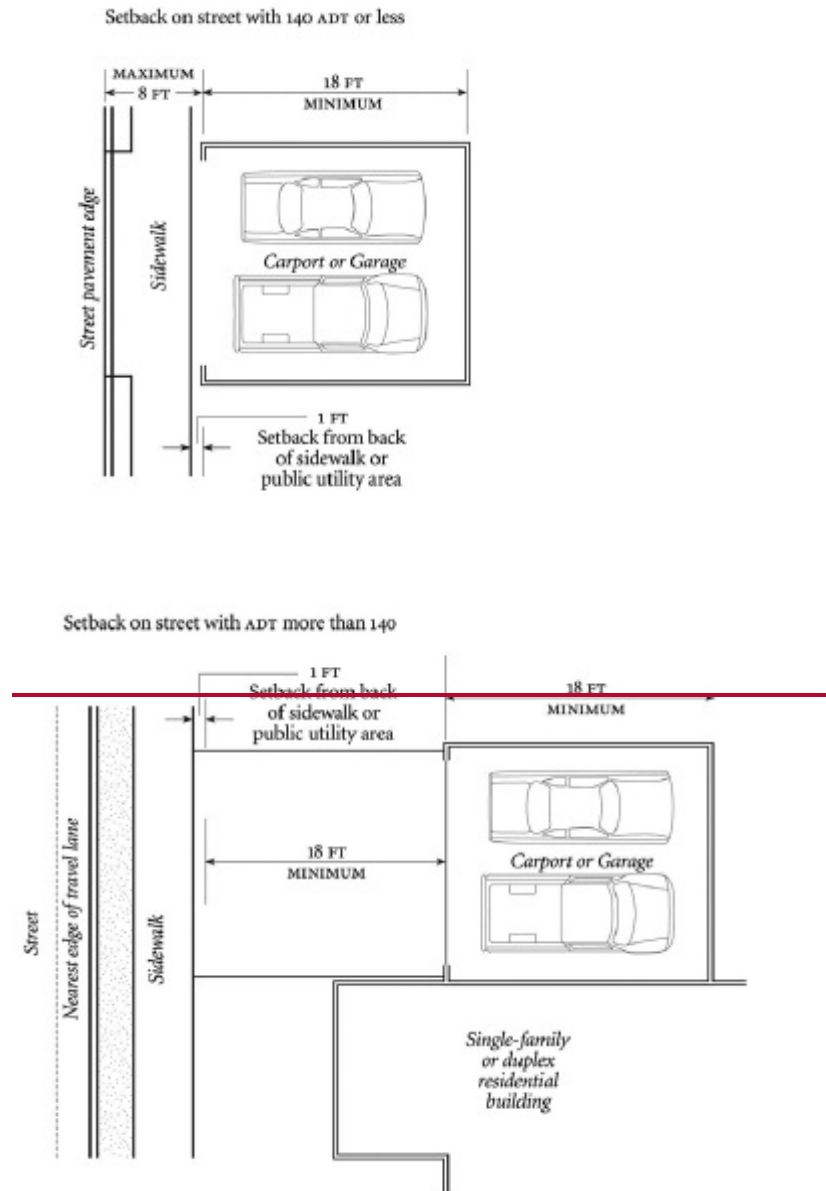


Figure 6.4.5-ED: Carport and Garage Setback for Single-Family and Duplex Development *in Developing Areas*

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8. Correct Minor Code Errors

**UNIFIED DEVELOPMENT CODE  
ARTICLE 3, GENERAL PROCEDURES**

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**3.2. GENERAL REQUIREMENTS**

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**3.2.3. APPLICATION REQUIREMENTS**

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TABLE 3.2-1 PUBLIC NOTICE AND PROCEDURAL REQUIREMENTS											
Procedure	Section	Pre-Application Conference	Neighborhood Meeting	NOTICE**						Decision Maker	Appeal
				Mailing/Distance*	Posted	Published	Neighborhood Association/ Distance	Application Acceptance	Notice of Decision		
***											
ZONING COMPLIANCE REVIEW											
5100' Notice	<a href="#">3.3.4.E</a>			R/100'			R/NA of the site	R	R	PDSD Director	B/A
3400' Notice	<a href="#">3.3.5</a>	R	R	R/400'			R/1 mile	R	R	PDSD Director	M/C
***											

**ARTICLE 4, ZONES  
SECTION 4.8, USE TABLES**

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**4.8. USE TABLES**

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**4.8.3. PERMITTED USES: RURAL AND SUBURBAN RESIDENTIAL ZONES**

TABLE 4.8-1: PERMITTED USES - RURAL AND SUBURBAN RESIDENTIAL ZONES						
P = Permitted Use S = Permitted as Special Exception Use [1] Mayor and Council Special Exception Procedure, Section <a href="#">3.4.4</a> [2] Zoning Examiner Special Exception Procedure, Section <a href="#">3.4.3</a> [3] PDSD Special Exception Procedure, Section <a href="#">3.4.2</a>						
LAND USE	RH	SR	SH	RX-1	RX-2	USE SPECIFIC STANDARDS

Attachment C - Redline of Proposed UDC Amendments

***					
<b>Civic Land Use Group With Land Use Class/Type:</b>					
***					
Protective Service (government owned and operated only)	<u>P</u>	P	P	P	SH, RX-1, RX-2: 4.9.13.F
***					

**4.8.7. PERMITTED USES: INDUSTRIAL ZONES**

<p><b>TABLE 4.8-5: PERMITTED USES - INDUSTRIAL ZONES *</b>  <b>P = Permitted Use S = Permitted as Special Exception Use</b>  <b>[1] Mayor and Council Special Exception Procedure, Section <a href="#">3.4.4</a></b>  <b>[2] Zoning Examiner Special Exception Procedure, Section <a href="#">3.4.3</a></b>  <b>[3] PDSD Special Exception Procedure, Section <a href="#">3.4.2</a></b>  <b>*Any Land Use Class not permitted or a Special Exception Use in any other zone, or permitted in the I-2 zone, may be permitted in the I-2 zone and shall comply with the dimensional standards determined to be most similar to the proposed use.</b></p>				
<b>LAND USE</b>	<b>P- I</b>	<b>I- 1</b>	<b>I- 2</b>	<b>USE SPECIFIC STANDARDS</b>
***				
<b>Residential Land Use Group With Land Use Class/Type:</b>			*	
***				
Residential Care Services:				
***				
Shelter Care, Victims of Domestic Violence	P	P		P-I: 4.9.7.J.1, 3.c, & .4 and 4.9.13.Q I-1: 4.9.7.J.1, 3.c, <del>&amp;.4, &amp;.11</del> and 4.9.13.Q

\*\*\*

**4.9. USE-SPECIFIC STANDARDS**

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**4.9.7. RESIDENTIAL GROUP**

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**D. Home Occupations are permitted as Accessory Land Uses to Mobile Home Dwelling or Family Dwelling as follows:**

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2. The following uses within the specified zones are required to comply as follows:

- a. Home Occupation: Day Care is permitted in SR, SH, RX-1, RX-2, R-1, R-2, R-3, MH-1, MH-2, O-1, O-2, O-3, NC, and C-1 subject to: 4.9.7.E.1, .2, .3, .5, .6, .7, .9, .10, .11, ~~.12~~, & .13 and F.

\*\*\*

**F. Home Occupation, Day Care: Permitted in Office, Residential, NC and C-1 zones:**

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6. The day care use shall be approved and licensed by the Arizona Department of Health Services (ADHS), if required by ADHS, prior to final approval.

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**UNIFIED DEVELOPMENT CODE  
ARTICLE 6, DIMENSIONAL STANDARDS AND MEASUREMENTS**

\*\*\*

**6.3. DIMENSIONAL STANDARDS**

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**6.3.4 DIMENSIONAL STANDARD AND EXCEPTIONS TABLES**

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**TABLE 6.3-5.A: DIMENSIONAL STANDARDS FOR THE P-I, I-~~2~~1, & I-2 ZONES**

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