

Casita Rosa ADU at 514 W 17th St
BHHZAB Review
May 2025

Project Description

This project for review is the construction of new detached Accessory Dwelling Unit on a lot with a Contributing Structure of the Barrio Historico Historic Zone.

Variance Requests

A variance is requested from Tucson UDC 6.6.3.C to build this detached ADU between the principal building and front street lot line. Unlike most contributing structures in the development zone, the principal dwelling was built with a zero back yard setback, making the front yard the only buildable area for accessory structures. Confirm that the principal structure will retain contributing status with a detached ADU in the front yard.

Dependant on the BHHZAB’s evaluation, a variance or DDO may be needed from Tucson UDC 6.6.2.I to build a wall in the perimeter yard higher than six feet, in order for the ADU to be more historically compatible in mass, proportion, and rhythm with the neighboring contributing structures with similar setbacks.

Design Narrative

This detached ADU continues the line of zero front yard setback dwellings along 17th Street built in the more cost-effective, eclectic neighborhood character of Barrio El Hoyo. Each facet of the design draws precedent from neighboring structures along 17th and Carrillo St with regards to proportion, mass, size, exterior finish, exterior color, opening arrangement, window type, window mullion pattern, roof type, roof drainage, and landscaping.



Development Zone

Tucson UDC 11.4.5 Definitions - D

“Where the subject lot is located adjacent to a historic zone boundary , the development zone includes that lot, all lots located within the same block , and those lots facing the same street as the subject lot within one block in either direction, except such portions of the zone that fall outside the boundary of the HPZ, NPZ, or the RNA.”

The Development Zone for this subject lot is the block of structures bounded by West 17th Street, South Samaniego Avenue, and West Carrillo Street. The block contains 17 contributing structures, three non-contributing structures, and two empty lots.



Development Zone definition diagram



Barrio El Hoyo National Register Historic District Map with project's Development Zone overlay



STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 084 Survey Area Barrio El Hoyo

Historic Name(s)
(Enter the name(s), if any, that best reflects the property's historic importance)

Address 514 W. 17th St.

City or Town Tucson [] vicinity County Pima Tax Parcel No. 117-19-0670

Township 14 S Range 13 E Section 13 Quarters NW¼ SW¼ Acreage <1.0

Block 4 Lot(s) 7 Plat (Addition) Elysian Grove Year of Plat (Addition) 1921

UTM reference: Zone Easting Northing

USGS 7.5' quadrangle map: Tucson 1996

ARCHITECT [x] not determined [] known Source

BUILDER [x] not determined [] known Source

CONSTRUCTION DATE 1923 [x] [] estimated Source county assessor's records known

STRUCTURAL CONDITION

[x] Good (well maintained; no serious problems apparent)

[] Fair (some problems apparent) Describe:

[] Poor (major problems; imminent threat) Describe:

[] Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

single dwelling

Sources county assessor's records, city directories

PHOTO INFORMATION

Date of photo February 2007

View/Direction (looking towards) NNW

Negative No. Roll A4/Frame 26



514 W. 17th St.

SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation.

Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Describe any historic events/trends associated with the property

The historic context of the property is the development of a suburban barrio in Tucson during the first half of the 20th century, as exemplified in El Hoyo; within this context, the property is associated with the initial phase of development in the neighborhood from ca. 1910 until the Depression.

B. PERSONS List and describe persons with an important association with the building.

None.

C. ARCHITECTURE. Style Sonoran Tradition [] no style

Stories 1 [] Basement Roof form hipped

Describe other character-defining features of its massing, size, scale

The dwelling consists of a compact block with an integral porch on the corner and a rear wing; it is modest in size and scale, like its like its neighbors.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. [x] Original site [] Moved: date original site

DESIGN. Describe alterations from the original design, including dates

None.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) adobe brick Walls (sheathing) stucco
Windows wood Describe window structure double-hung sash
Roof standing seam metal Foundation stone masonry and concrete

SETTING. Describe the natural and/or built environment around the property

The dwelling is located in the rear half of the lot, down slope from street grade.

How has the environment changed since the property was constructed?

No significant changes.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction

The dwelling's construction, using traditional, inexpensive materials, is typical of the neighborhood.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

[] Individually listed; [] Contributor [] Noncontributor to Historic District
Date listed: [] Determined eligible by Keeper of National Register (date)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property [] is [x] is not eligible individually.

Property [x] is [] is not eligible as a contributor to a listed or potential historic district.

[] More information needed to evaluate.

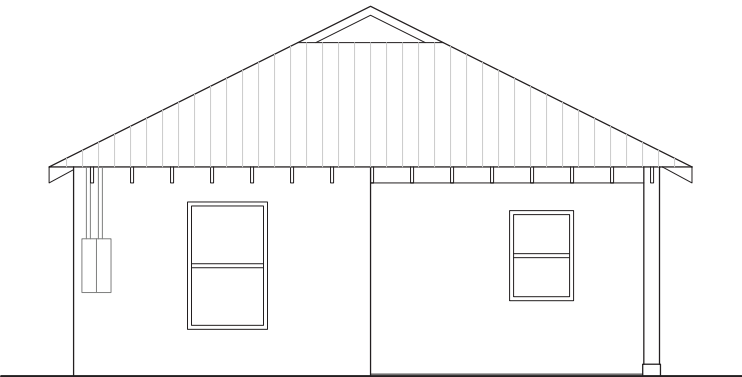
If not considered eligible, state reason:

FORM COMPLETED BY

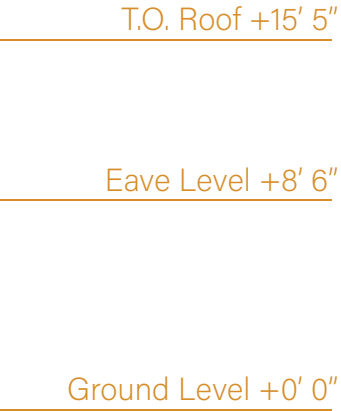
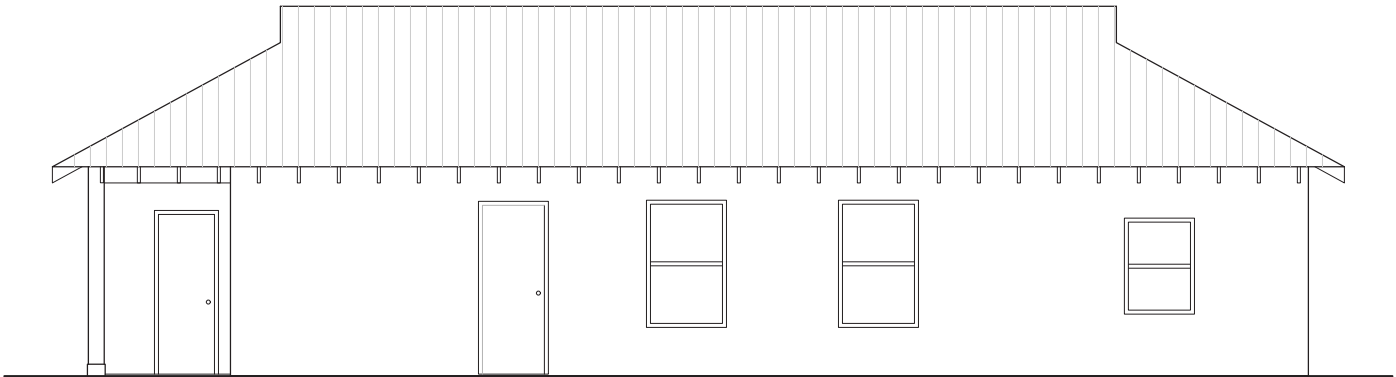
Name and Affiliation: Morgan Rieder, Historical Architect, William Self Associates, Inc.

Date: 04/03/07

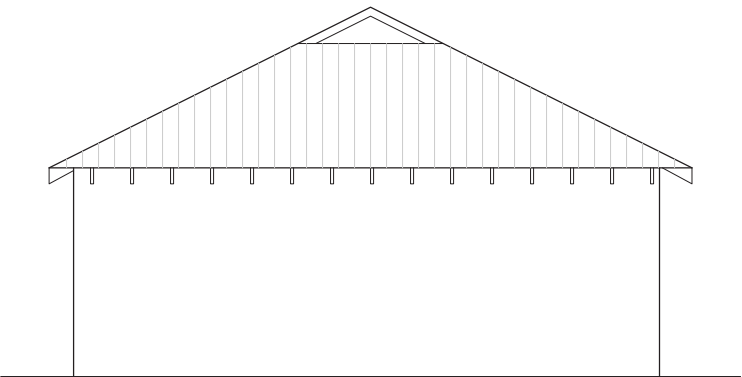
south (front) elevation



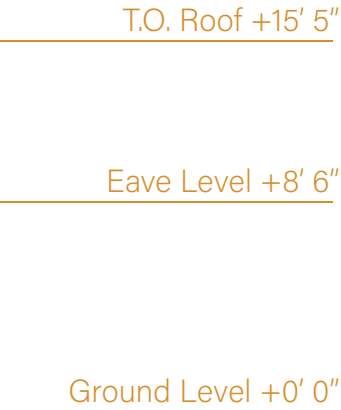
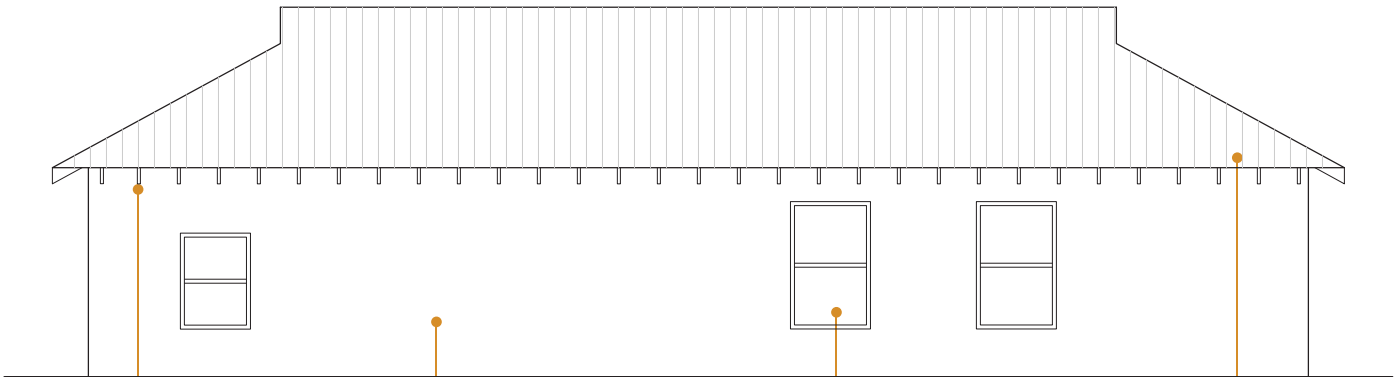
east elevation



north elevation



west elevation



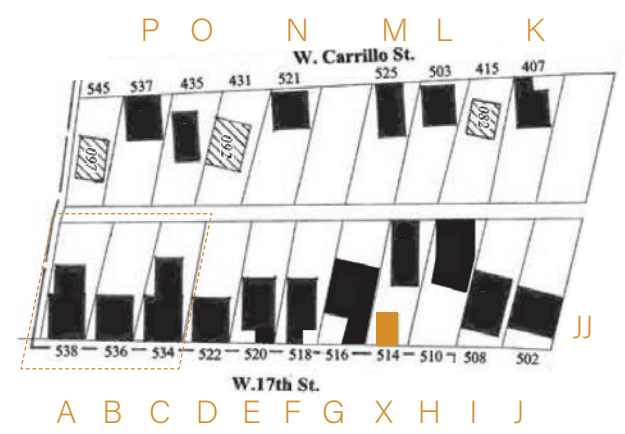
wood gable ends,
painted white

pink stucco smooth
finish, typical

wood double hung window
painted white, typical

standing seam
metal roof





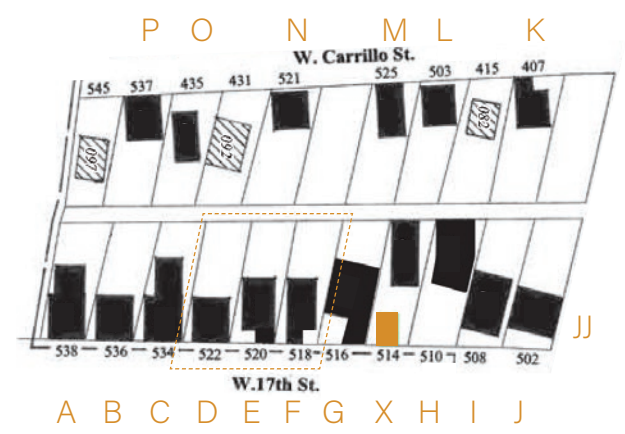
A: 538 W 17th St



B: 536 W 17th St



C: 534 W 17th St
*Window material precedent
*Window mullion precedent



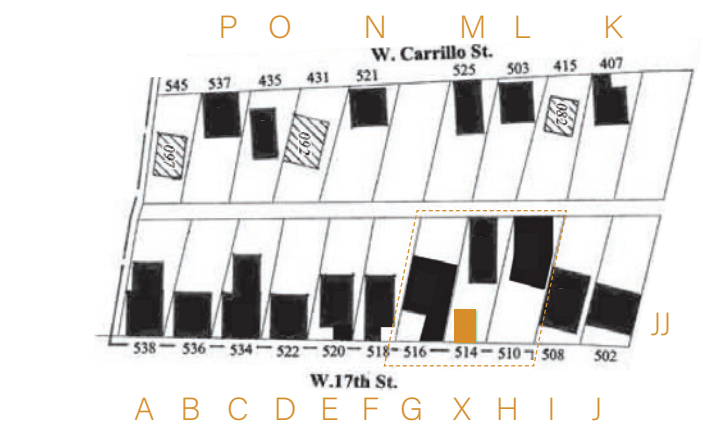
D: 522 W 17th St



E: 520 W 17th St
*Opening placement precedent
*Window proportion precedent
*Proportion of front facade precedent
*Parapet roof precedent



F: 518 W 17th St
*Opening placement precedent
*Proportion of front facade precedent
*Parapet roof precedent



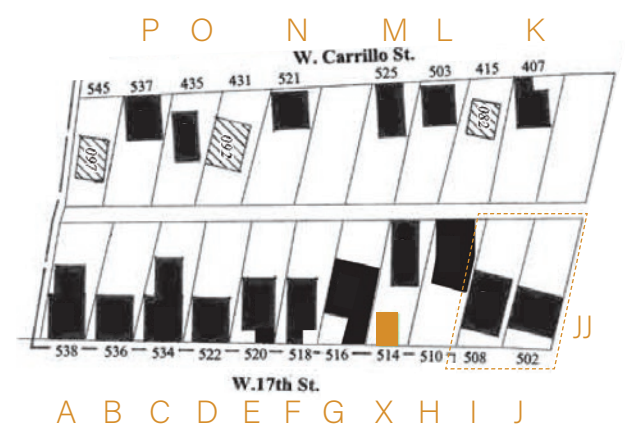
G: 516 W 17th St
*Window proportion precedent
*Parapet roof precedent
*Relationship to topography precedent
*Roof drainage precedent



X: 514 W 17th St
*Opening placement precedent



H: 510 W 17th St



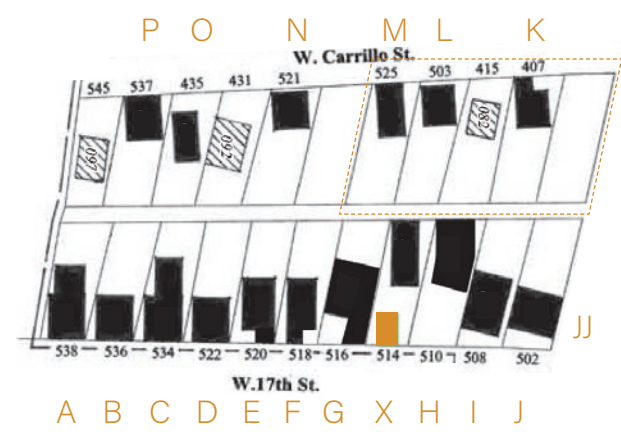
I: 508 W 17th St



J: 502 W 17th St



JJ: 502 W 17th St - Side
*Relationship to topography precedent



K: 407 W Carrillo St

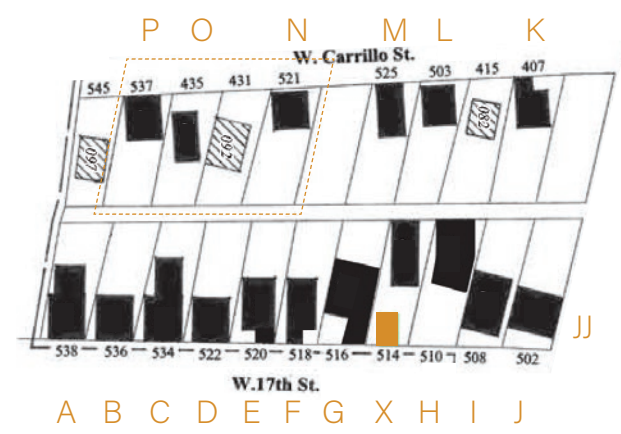


L: 503 W Carrillo St
*Height precedent



M: 525 W Carrillo St

Development Zone Images



N: 521 W Carrillo St



O: 435 W Carrillo St



P: 537 W Carrillo St

ADU Location and Variance Request

Tucson UDC 6.6.3.C:

“Detached accessory buildings, including accessory dwelling units, are not permitted in the buildable area extending the full width of the lot between the principal building and the front street lot line”

Variance requested to build this detached ADU between the principal building and front street lot line. This lot has no backyard, so the front yard is the only buildable area for accessory structures.

From the southeast corner of the lot, over 80% of the existing historic structure’s front facade is visible. Along the entire six feet of east side setback, at least 60% of the existing historic structure’s front facade will be visible.

Setback Compatibility

This project follows the prevailing setbacks of contributing structures in its Development Zone.

DZ Prevailing Front Yard Setback: 0’ 0”

Project Front Yard Setback: 0’ 0”

DZ Prevailing Side Yard Setback: Varies (0’ 0” - 8’ 0”)

Project Side Yard Setback: Varies (6’ 0” - 14’ 0”)

Height Compatibility

Tucson UDC 5.8.9.B

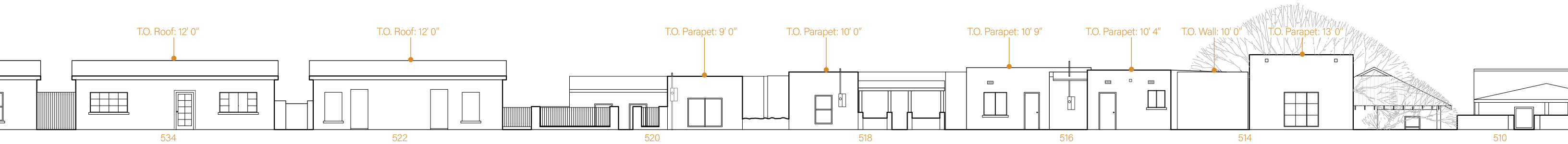
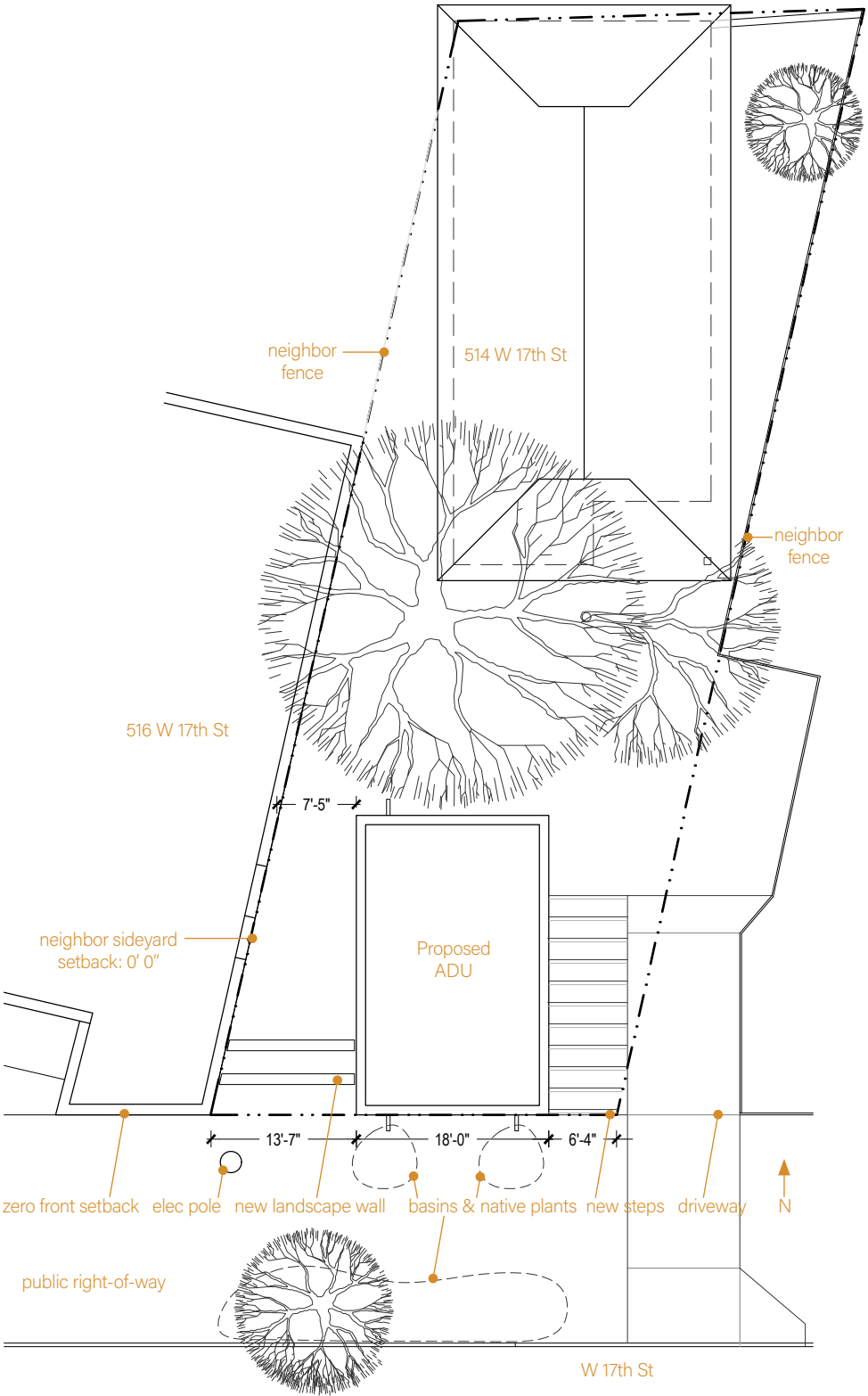
“The height of proposed accessory structures is compared to other accessory structure heights in the development zone, except in the case of Accessory Dwelling Units, where height is compared to the height of other principal structures in the development zone.”

Tucson UDC 6.4.4.A.1 Measurement of HPZ Building Height

“Building height is the vertical distance measured between the highest part of a structure and the finished grade at the midpoint of the front facade of the principal structure, excluding chimneys, mechanical equipment, and other miscellaneous additions.”

The proposed ADU height of 13’ 0” matches the height of an existing contributing structure within its Development Zone at 503 W Carrillo St, and is similar to a general height of 12’ 0” among contributing structures in the development zone, such as at 435 and 537 W Carillo St, as well as 538, 536, 534, and 532 W 17th St.

The entry level of the primary structure has been measured on-site as 4’ 2” lower than current grade at the front lot line. The interior of the lot shall be graded as required to achieve an entry level to the new structure of 4’ 6” lower than grade at the front lot line, with appropriate drainage from the structure.



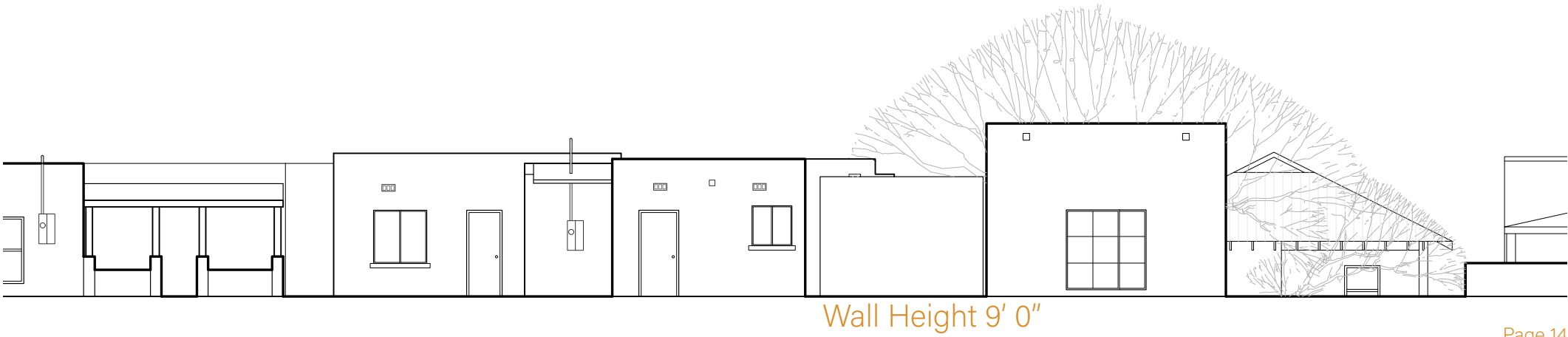
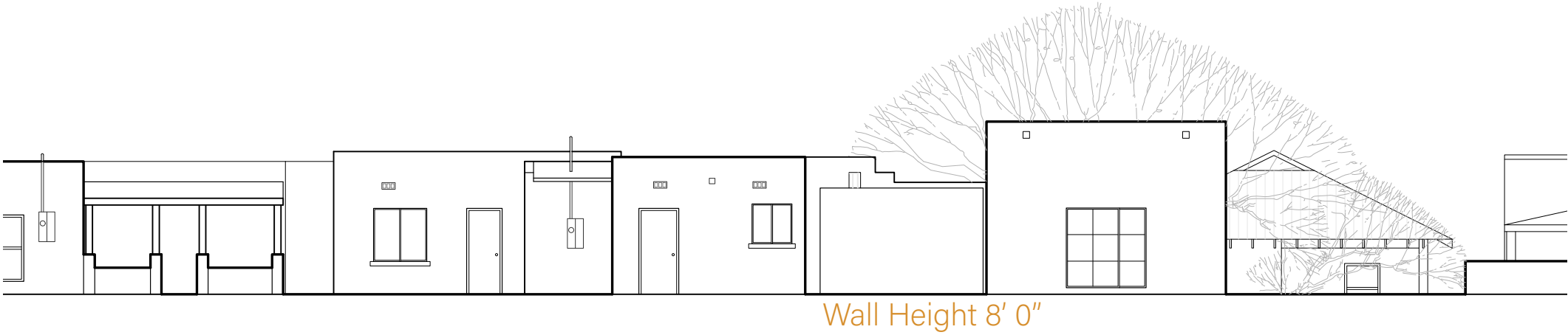
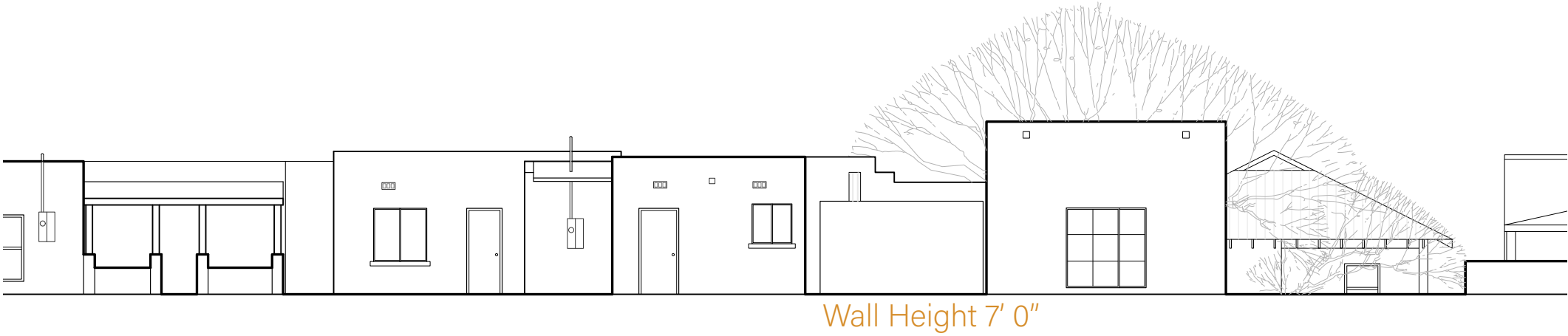
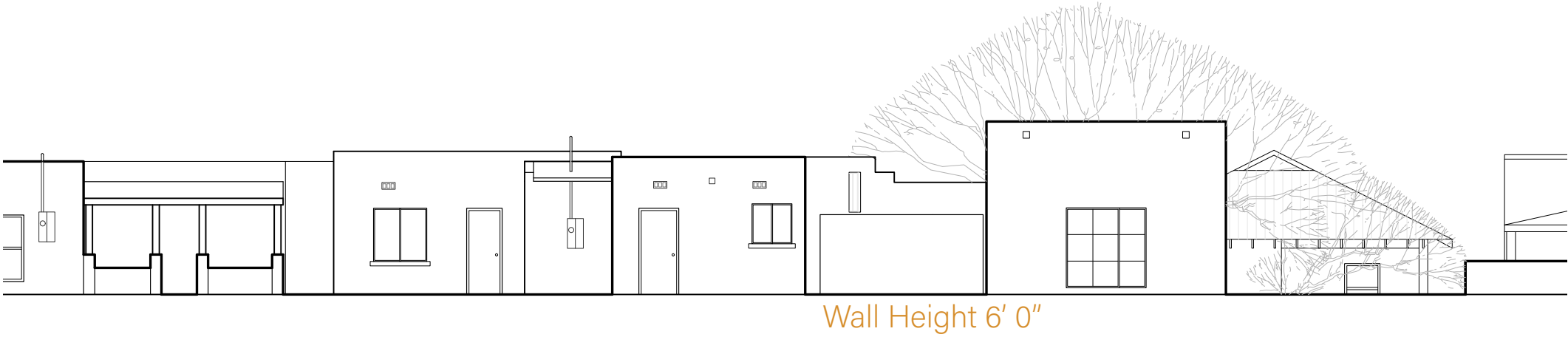
Landscape Wall and possible DDO or Variance Request

Tucson UDC 6.6.2.I:

“The maximum height of a wall or fence within a perimeter yard shall be six feet; however, the wall or fence may be higher than six feet, but no higher than ten feet, if: . . . ”

The unique condition of the front yard ADU brings the unique condition of knitting the ADU into the streetscape. Because the ADU has the same front yard setback as its historically contributing western neighbors, it should reference their rhythm, mass, and proportion to be historically compatible. The three adjacent neighbors are all composed as two masses, one at the front yard lot line, and one set back. With the ADU at the front yard lot line, a mass is needed between the ADU and 510 W 17th St, set back and of similar height and proportion to the neighboring masses. A landscape wall is thus proposed. The proposed wall is to be of a height compatible to the neighborhood.

The BHHZAB is to decide which, if any, of the five height options drawn in this presentation are compatible. The 6’ 0” option is acceptable according to code, the 7’ 0” and 8’ 0” option would require a DDO, and the 9’ 0” option, as well as the 10’ 0” drawn on the previous page, would require a variance.



Exterior Elevations

Rhythm precedents

Proportion of window: 516 W 17th St
520 W 17th St
537 W Carrillo St

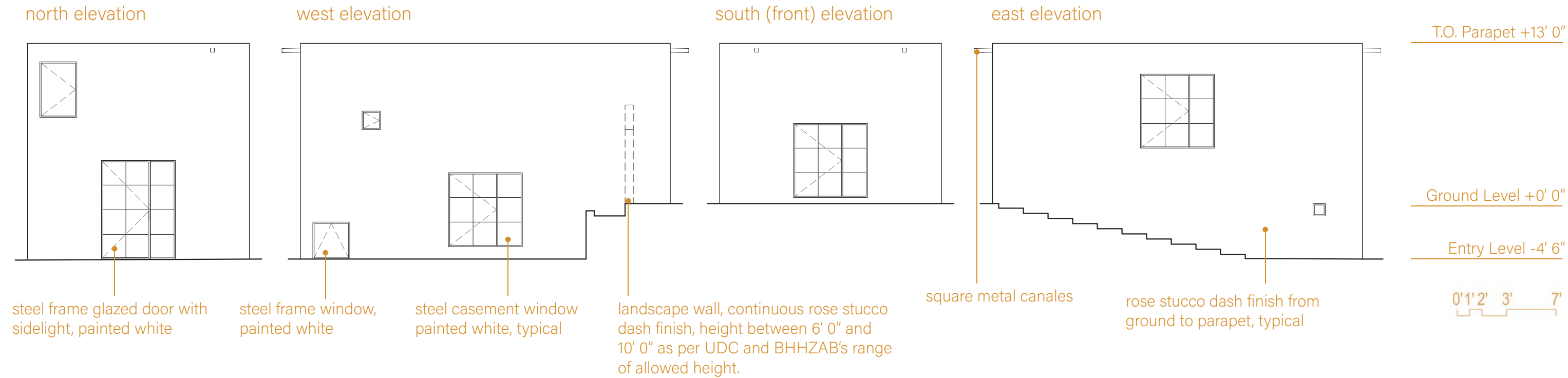
Proportion of front facade: 518 W 17th St
520 W 17th St

Window placement: 514 W 17th St
518 W 17th St
520 W 17th St

Window Mullions: 534 W 17th St
400 W Simpson St

Window Material: 534 W 17th St
400 W Simpson St

Height: 503 W Carrillo St



Window/Door Material

The project has wide openings spanning more than five feet, that have precedent within the development zone at 520 and 534 W 17th St [1], as well as one of El Hoyo’s landmark buildings at 400 W Simpson St [2,3]. These openings are infilled with steel casement windows. The front door will also be designed in the style of a steel casement window. Steel casement windows for this project will be one way to distinguish the new ADU from the contributing principal dwelling, and will be made by Doug Thompson, a Tucsonense blacksmith who has crafted steel casement windows for the City of Tucson that comply with historic guidelines and accommodate double-paned glazing [4].

Window/Door Mullions

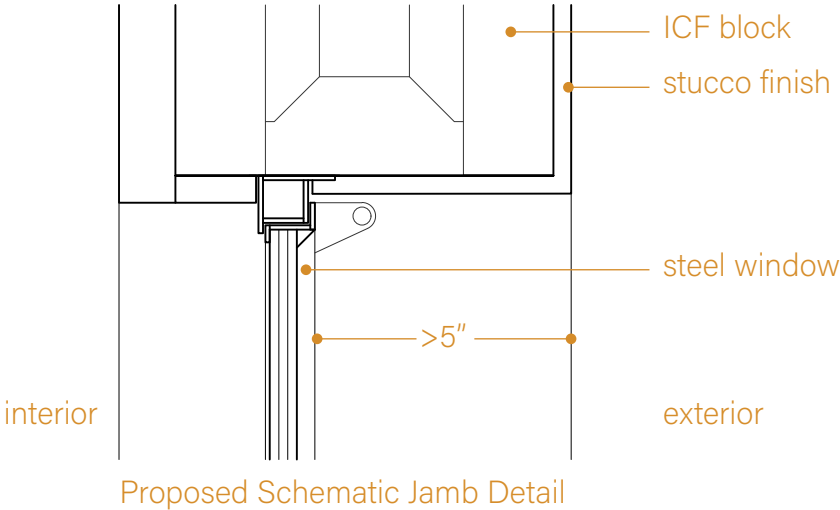
The gridded mullion pattern the elevations show will be similar to and distinct from the precedent historic windows.

Window/Door Finish

The steel frame will be painted, as seen at 534 W 17th and 400 W Simpson [1, 2]. Color to be white, similar to the principal dwelling.

Window/Door Installed Depth

Average development zone depth of window from front facade is 5” [1]. Proposed detail achieves compatible depth.



[1] 534 W 17th - window depth detail

[2] 400 W Simpson - casement detail



[3] 400 W Simpson - hinge & exterior seal



[4] Doug Thompson - hinge & exterior seal

Exterior Texture

The principal dwelling has a smooth stucco finish [1]. The proposed ADU will have a stucco texture similar to and distinct from the principal dwelling and the adjacent contributing structure at 516 W 17th St [2]. The new landscape wall's stucco texture will match the ADU.

Exterior Color

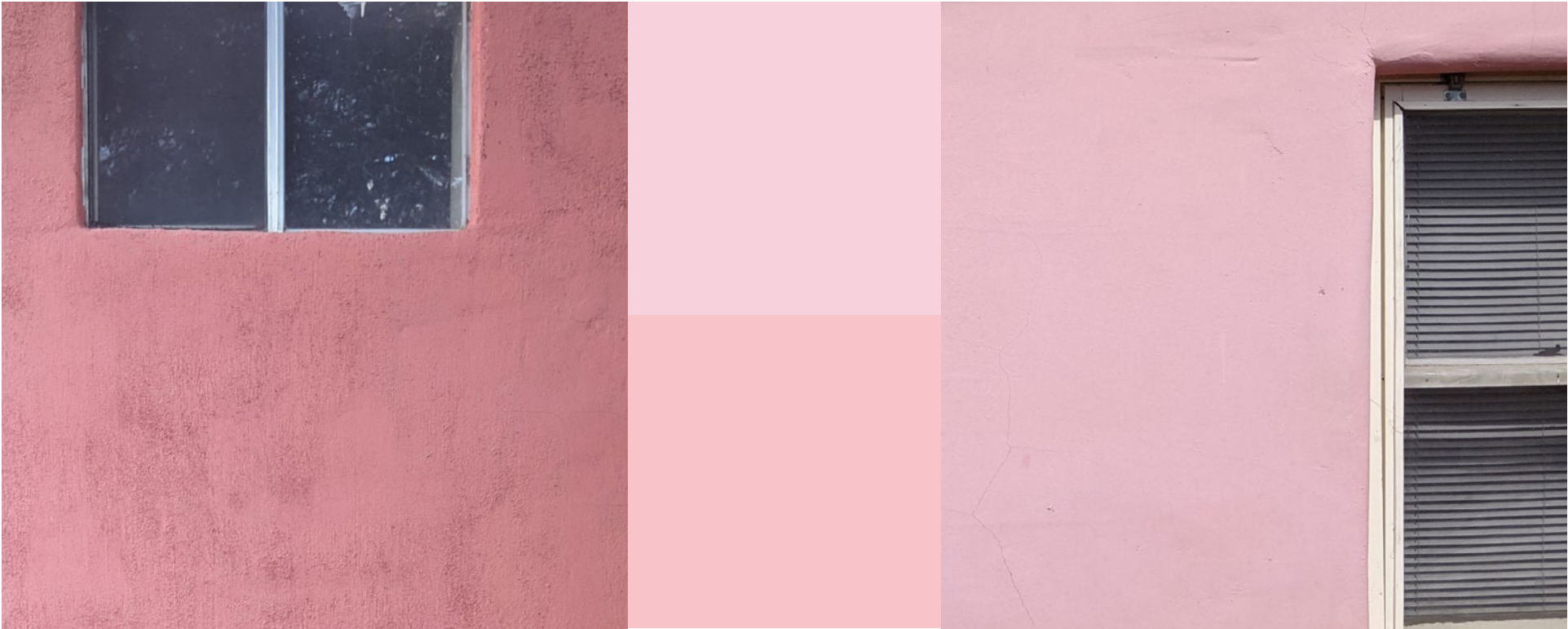
The principal dwelling's stucco is colored pink [1]. The proposed ADU will have a rose color similar to and distinct from the principal dwelling [3]. The new landscape wall will have a rose color similar to and distinct from the principal dwelling and ADU [3].

Topography

The exterior stucco will cover the structure from grade to the parapet, the prevailing strategy in the Development Zone, with 502 and 516 W 17th St [4] having a similar relationship between the structure and topography.

Roof Drains

Canales, which have many precedents in Barrio Viejo, will drain the flat roof into the public right of way between the property line and W 17th St, as well as into the interior of the lot. The preferred canales are square like the canales of the neighbor at 516 W 17th St [5].



[2] 516 W 17th St - Exterior Stucco

[3] Approx. proposed roses

[1] 514 W 17th St - Exterior Stucco



[5] 516 W 17th St - Square Canale



[4] 516 W 17th St - East Facade and Topography



View looking northwest from W 17th St, current (above) and with the proposed ADU (below)

Thank You