



CITY OF
TUCSON

DRB-22-08 DDO-22-37
(T22SA00231)

Case Number DP22-0040

Date Accepted _____

DESIGN DEVELOPMENT OPTION (DDO) APPLICATION For Landscaping/Screening Substitutions

This application must be filed at Planning and Development Services Department, Public Works Building, 3rd Floor, 201 North Stone Avenue, Tucson, Arizona. Call 837-4979 to schedule a submittal appointment. To be accepted for processing, the application must be complete, accurate, and legible and must be accompanied by the appropriate plans, documentation, and fees. Incomplete applications will not be accepted. Please make your check payable to the "City of Tucson."

PROPERTY INFORMATION

Project Address 3309 S. 12th Ave Tucson, AZ 85713 DP# 22-0040

Zone C-3 Proposed Use (Please be specific.) Auto Repair and Body Shop.

Number of Existing Buildings 1 Number of Stories 1 Height of Structure(s) 19

Size of Property 0.16 acres or 7,064 square feet.

Property Tax Code(s) 119034290

Property Legal Description SUNSET VILLA LOT 6 EXC W 20' BLK 34 APN 119-03-4290 SUNSET VILLA LOTS 7 & 8 EXC W 20' BLK 34 APN 119-03-430A

Mailing Address: Planning & Development Services Department
P. O. Box 27210
Tucson, AZ 85726-7210
Phone: (520) 837-4979
DSD_Zoning_Administration@tucsonaz.gov

Location: Public Works Building
201 N. Stone Ave

APPLICANT INFORMATION

APPLICANT/AGENT Name Robert Page, Architect

Address 4115 W. Grante Dells Ct.

Tucson AZ 85745

Phone 520.906.4872 FAX

OWNER Name Affluence Properties LLC

Address 3309 S. 12th Ave.

Tucson AZ 85713

Phone 520.882.0052 FAX

ARCHITECT/
ENGINEER Name Eric Barrett ARC Studios Inc., Landscape Architect

Address 3117 E. Flower St.

Tucson, AZ 85716

Phone 520.882.9655 FAX

SIGNATURE OF OWNER

Owner _____

Date _____

SIGNATURE OF APPLICANT (if not owner)

 _____

2022.06.14

Applicant

Date

If you have already applied for any related processes, please list the case numbers (variance, HPZ, NPZ, rezoning, etc.)

MODIFICATION REQUESTED

Check the items that apply and indicate what is proposed instead, explaining why each request is being made. (Use additional sheets if necessary.)

Street Landscape Border 5' street border with existing developments. Proposed to place within right of way.
additional vegetation, cmu wall and vines and additional landscape on site.

Interior Landscape Border (tree requirement) Provided however 10' is now required with current interpretation
Provide additional non-required under-story vegetation.

Street Frontage Screening _____

Interior Perimeter Screening Utilize proposed building wall as screen and under-story planting

Vehicular Use Area Trees _____

Other Landscaping or Screening Requirements _____

Explain how these DDOs will improve the design of the project. (Use additional sheets if necessary.)

Provide additional vegetation to soften site hardscape and reduce heat gain on building facades. Reduce site run off and potable water demand.

PROJECT DESCRIPTION AND APPLICANT'S DDO REQUEST

Use the space below to adequately describe the project in your own words. State what is required and what is proposed/provided for each DDO requested, the reason(s) for the modification, why the modification would be compatible with the neighborhood and state if this is to abate a pending zoning violation and/or court order. Please note that your application will be evaluated based on compliance with the attached DDO "Findings for Approval" per UDC Section 3.11.1.D Please type (preferred) or write legibly in black ink.

We are currently proposing an expansion to an existing paint and body shop located at 3309. S. 12th Ave in Tucson, AZ. The UDC requires a 1 1/2 X H or 19 x 1.5 = 28.5 ft setback for this expansion. The existing building we would like to expand also has a building height of 19 ft and the existing building setback is 1 1/2 feet along the same property line. We would like to propose a 6.5 ft setback in lieu of the 28.5 ft required. To mitigate the reduced setback the proposed landscape border between the R zone and C zone, we are increasing the interior landscape border from 4 ft to 6.5 ft. In addition to the trees required within this border we propose to include understory planting to soften the transition from commercial to residential. In addition to the added landscape border between properties with added understory we would also increase the required street border from 5 ft to 10 ft which would also soften the building elevation along 43rd St and improve the transition from R zoning to C zoning.

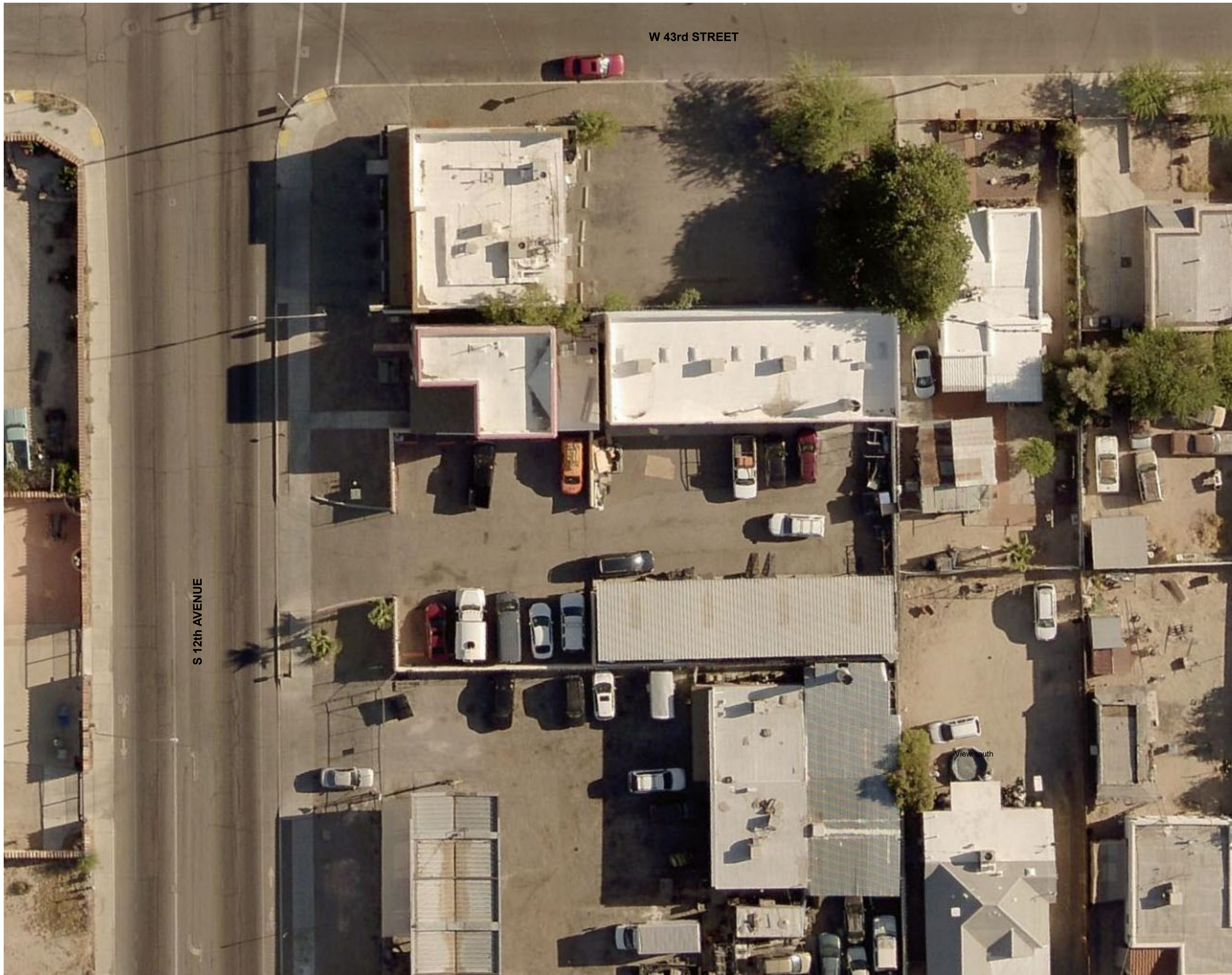
The adjacent landowner to the east has been contacted and shown the proposed site plan and landscape plans indicating the new structure and landscape borders. They have no objections to the expansion and have sign a site plan stating their approval.

Per City Staff Street border of 5' is required along with water harvesting. The 10' Interior border is required however, with request for reduced building set back, propose to place area shortage of interior border along 43rd ave.

Request to provide the provide enhanced 5' street landscape border within the right of way with minor collection area for water harvesting. The street and interior borders include additional under-story vegetation and vines on walls to soften structures, reduce site heat gain and provide variation of foliage and floral color and textures for seasonal interest. Existing parking area trees added with minor depression to collect natural rainfall with natural up-right growth patterns to reduce overall maintenance.

DDO CASE NUMBER: DDO-

ACTIVITY NO:



Aerial, Pima Map Guides January 22



View looking South



View looking East



View looking West

DEVELOPMENT DATA

OWNER: AFFLUENCE PROPERTIES LLC
3309 S. 12TH AVENUE
TUCSON, AZ 85713-5911
520-

ADDRESS: 3309 S. 12TH AVENUE

ZONING: C-3 COMMERCIAL

EXISTING USE: COMMERCIAL SERVICES INCLUDING FOOD SERVICE WITH ALCOHOLIC BEVERAGE, ADMIN OFFICE, TRADE SERVICE & REPAIR MAJOR (4.9.4X1) AND PERSONAL SERVICE

PROPOSED USE: COMMERCIAL SERVICES INCLUDING ADMIN OFFICE, TRADE SERVICE & REPAIR MAJOR (4.9.4X1) AND PERSONAL SERVICE

SITE AREA: 22,777 SF OR 0.523 ACRES

TYPE OF CONSTRUCTION: TYPE II-B, SPRINKLERED

LAND USE SITE CODE CALCULATIONS

| | |
|----------------------------|------------|
| BUILDING AREA | |
| EXISTING PERSONAL SERVICES | 1,960 S.F. |
| EXISTING OFFICE | 1,882 S.F. |
| EXISTING PAINT & BODY | 2,200 S.F. |
| TOTAL EXISTING | 6,042 S.F. |
| PAINT & BODY EXPANSION | 1,277 S.F. |
| TOTAL (NEW) | 7,319 S.F. |

PERCENTAGE OF EXPANSION 1,277/6,042 = 21.0%

VEHICULAR PARKING REQUIREMENTS

REQUIRED: 1 PER 300 S.F.

7,319 S.F./300 = 24 SPACES / 24 SPACES PROVIDED

1 ACCESSIBLE HC SPACES / 1 SPACES PROVIDED

1 VAN ACCESSIBLE HC SPACES / 1 VAN SPACES PROVIDED

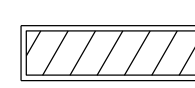
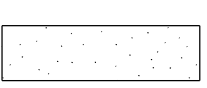
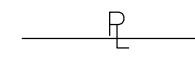

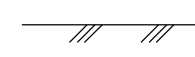

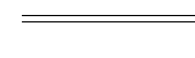

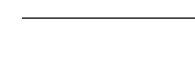
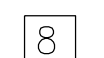
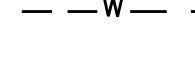
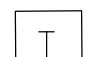
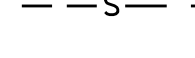
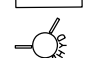
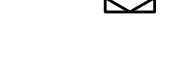

LOADING ZONE REQUIREMENTS: PER UDC TABLE 7.5.5-A, NOT REQUIRED

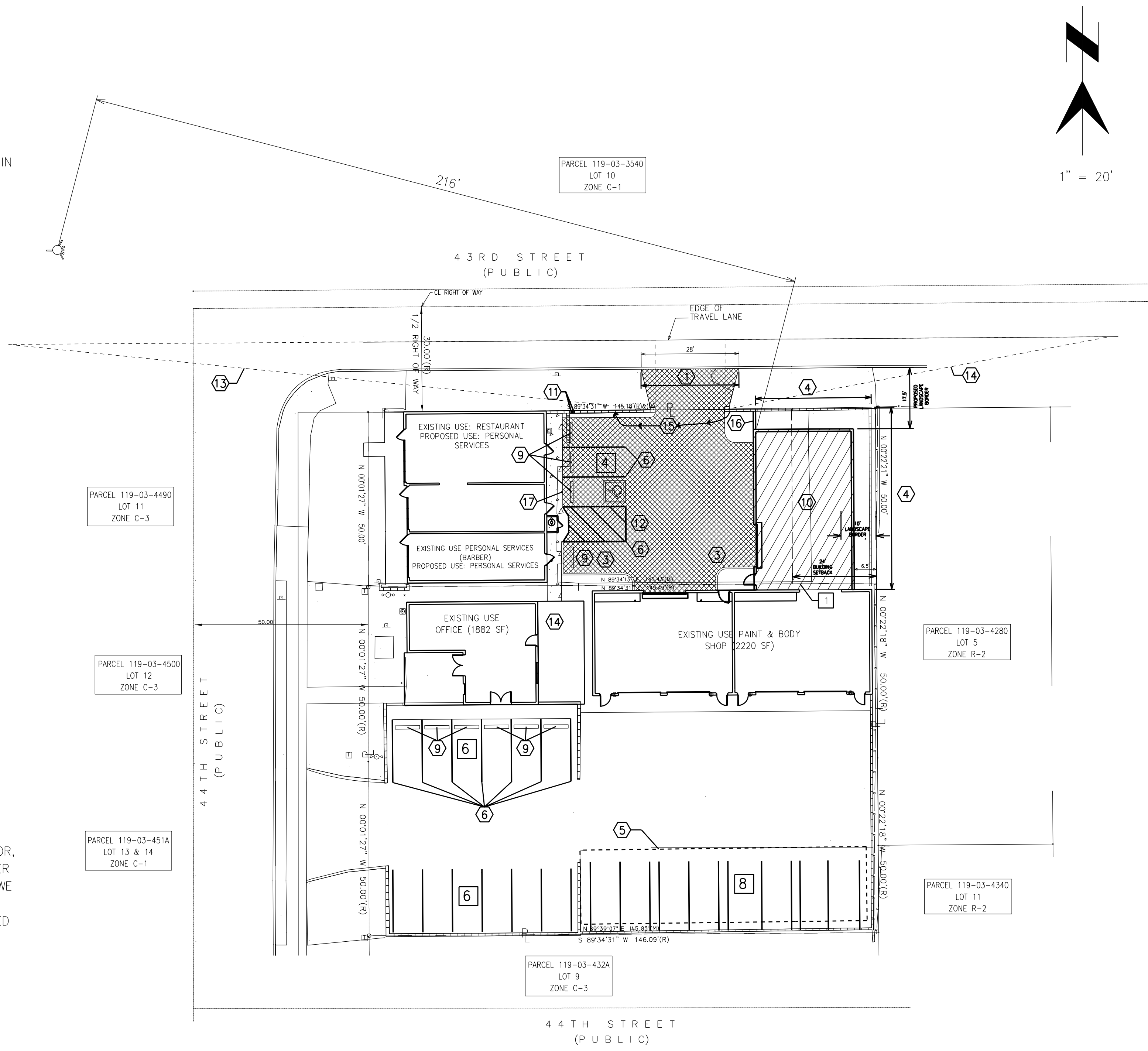
BUILDING HEIGHT: 14 TO 16 FT

SETBACKS: ADJ C-1 ZONING 0 FT SETBACK
NON RES. TO RES. 1.5H OR 16 X 1.5 = 24 FT

THIS PROJECT WILL REQUIRE A DESIGN DEVELOPMENT OPTION (DDO) FOR INTERIOR, LANDSCAPE BORDERS AND BUILDING SETBACK. THE ADJACENT PROPERTY OWNER HAS BEEN CONTACTED AND HAS NO OBJECTION TO THE PROPERTY SETBACK. WE PROPOSE TO SUBSTITUTE AN ADDITIONAL 7 FT OF LANDSCAPING TO THE NORTH PROPERTY STREET BORDER IN LIEU OF THE REDUCED INTERIOR BORDER REQUIRED ALONG THE EAST PROPERTY LINE.

LEGEND

| | | | |
|---|-------------------------|---|----------------------------------|
|  | NEW BUILDING |  | EXISTING ASPHALT PAVING |
|  | PROPERTY LINE |  | EXIST SEWER MANHOLE |
|  | EDGE OF PAVEMENT |  | EXIST POLE LIGHT |
|  | CONCRETE CURB |  | ACCESSIBLE PARKING SPACE |
|  | PAINT STRIPE |  | NO. OF PARKING SPACES |
|  | EXIST WATER LINE |  | EXIST TRASH / RECYCLING DUMPSTER |
|  | EXIST SEWER LINE |  | EXIST FIRE HYDRANT |
|  | EXIST ELEC JUNCTION BOX |  | NEW ASPHALT PAVING (8) |



SITE PLAN

RECORD DATA KEYNOTES

1 EXISTING LOT LINE (TO BE REMOVED BY LOT COMBINATION)

KEYNOTES

- 1 SAWCUT AT 1' MINIMUM AND REMOVE EXIST CURB AND PAVEMENT AS NECESSARY. TRIM, TACK, AND JOIN NEW PAVEMENT TO EXISTING PAVEMENT
- 2 NOT USED
- 3 NEW CONCRETE CURB PER PAG STANDARD DETAIL 209 (HEIGHT VARIES - SEE GRADING PLAN)
- 4 EXISTING MASONRY WALL TO BE REMOVED (PARTIAL)
- 5 EXISTING CANOPY TO REMAIN
- 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK TRAFFIC RATED (TYP)
- 7 NEW ROOF DRAIN DOWNSPOUT PER BUILDING PLANS
- 8 ASPHALT PAVING - 2.5" AC ON 4" ABC (TYP)
- 9 NEW PRECAST CONCRETE SAFETY CURB/WHEEL STOPS
- 10 NEW BUILDING 1,277 SF, HEIGHT = 16'- 0"
- 11 DRAINAGE OPENING IN WALL (6" DIA)(2 TOTAL)
- 12 ADA PARKING SPACE (VAN ACCESSIBLE)
- 13 SITE VISIBILITY TRIANGLE (20' X 185')
- 14 SITE VISIBILITY TRIANGLE (20' X 110')
- 15 RELOCATE SLIDING GATE, HARDWARE AND TRACK TO WEST SIDE
- 16 NEW 6" HIGH MASONRY WALL PER PAG STANDARD DETAIL 109
- 17 NEW ADA PARKING SIGN

GENERAL NOTES

- 1. PROTECT EXISTING PAVEMENT, SIDEWALKS, CURBS & OTHER EXISTING IMPROVEMENTS WHICH ARE SHOWN TO REMAIN.
- 2. CONSTRUCTION FEATURES AND LOCATIONS OF UTILITIES ARE FROM AVAILABLE RECORDS. FIELD VERIFY/BLUESTAKE PRIOR TO COMMENCING OPERATIONS.

LEGAL DESCRIPTION

LOTS 7 AND 8 OF BLOCK 34 OF SUNSET VILLA ADDITION, A SUBDIVISION OF PIMA COUNTY, ARIZONA RECORDED IN BOOK 5 AT PAGE 71 OF PIMA COUNTY, MAPS AND PLATS, PIMA COUNTY, ARIZONA, SECTION 25, TOWNSHIP 14 SOUTH, RANGE 13 EAST OF THE GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA.



09-56-29
SITE ADDRESS
3309 S. 12TH AVENUE
TUCSON, ARIZONA 85713

| CK BY | DESCRIPTION | REV | DATE |
|-------|-------------|-----|------|
| | | 1 | |
| | | 2 | |
| | | 3 | |
| | | 4 | |
| | | 5 | |
| | | 6 | |
| | | 7 | |
| | | 8 | |
| | | 9 | |

5 STAR COLLISION PAINT & BODY SHOP

SITE PLAN

SUNSET VILLA LOT 6 EXC W 20'
BLK 34 APN 119-03-4290

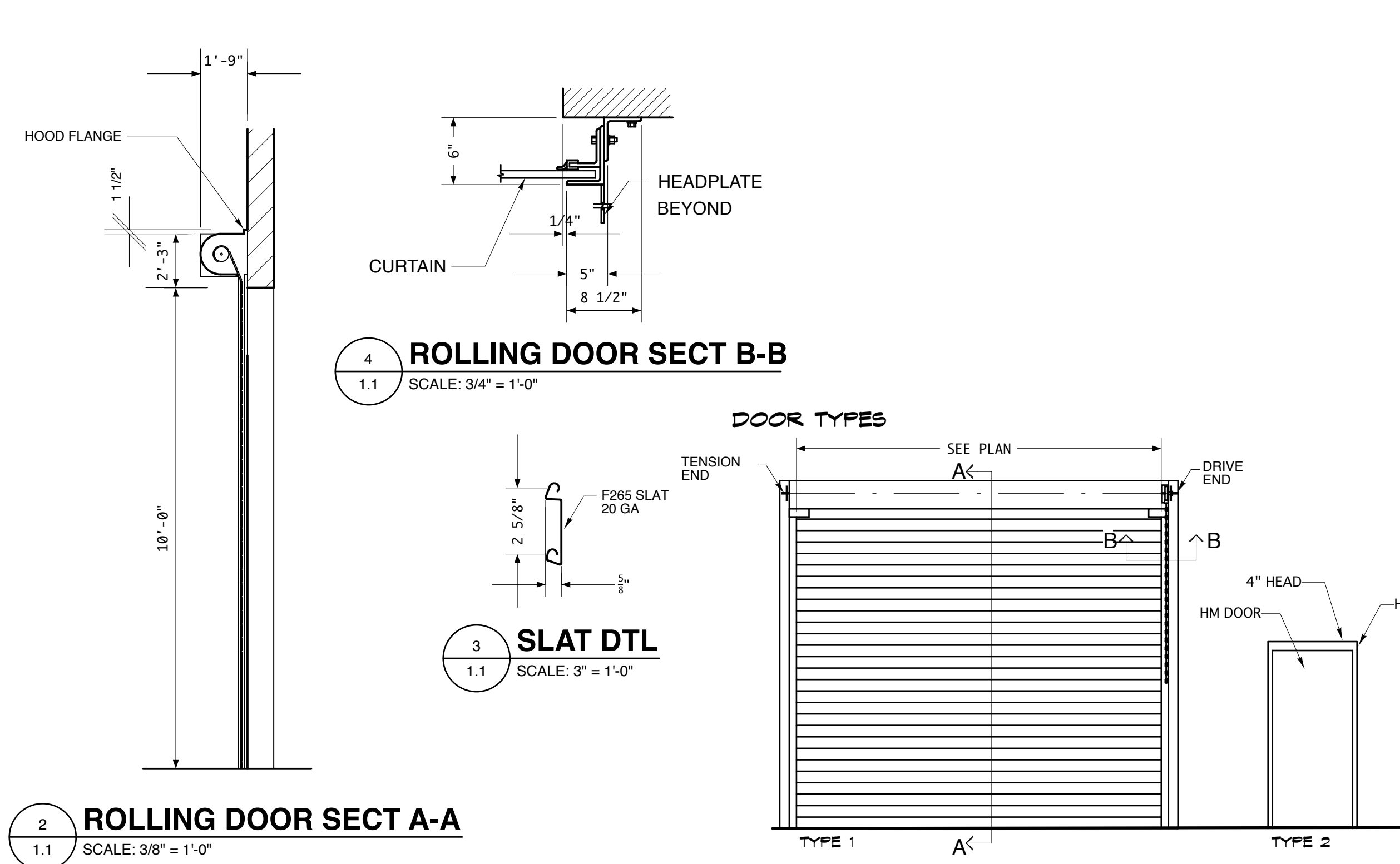
SUNSET VILLA LOTS 7 & 8 EXC W 20'
BLK 34 APN 119-03-430A

CIVILDESIGNGROUP
6117 E. Sparkle Spur Place
Tucson, AZ 85739
Phone: (520) 230-0086

Kevin S. Perko
Professional Engineer
39619
Kevin S. Perko
Professional Engineer
5/16/2022
ARIZONA U.S.A.

DESIGN BY: KSP
DRAWN BY: KSP
CHK'D BY: KSP
DATE: JAN 2022
SCALE: AS NOTED
JOB NO: 2022.01
DRAWING NO: C3
3 OF 11

COMMENTS: DP22-00XX



| DOOR # | DOOR SIZE | DOOR TYPE | THICK NESS | CONST. | FINISH | GLASS | RATING | FRAME | HRDW | REMARKS |
|--------|-----------------|-----------|------------|---------|--------|-------|--------|-------|------|---------|
| 102A | 12'-0" X 10'-0" | 1 | 1 1/8" | GAL. ST | PAINT | | | ST | | 2 |
| 102B | 3'-0" X 7'-0" | 2 | 1 3/4" | HM | PAINT | | | HM | 1 | 1 |
| 103A | 12'-0" X 10'-0" | 1 | 1 1/8" | GAL. ST | PAINT | | | ST | | 2 |

ABBREVIATIONS:
 HM = HOLLOW METAL
 GAL. ST. = GALVANIZED STEEL
 ST = STEEL
 -- = NOT APPLICABLE

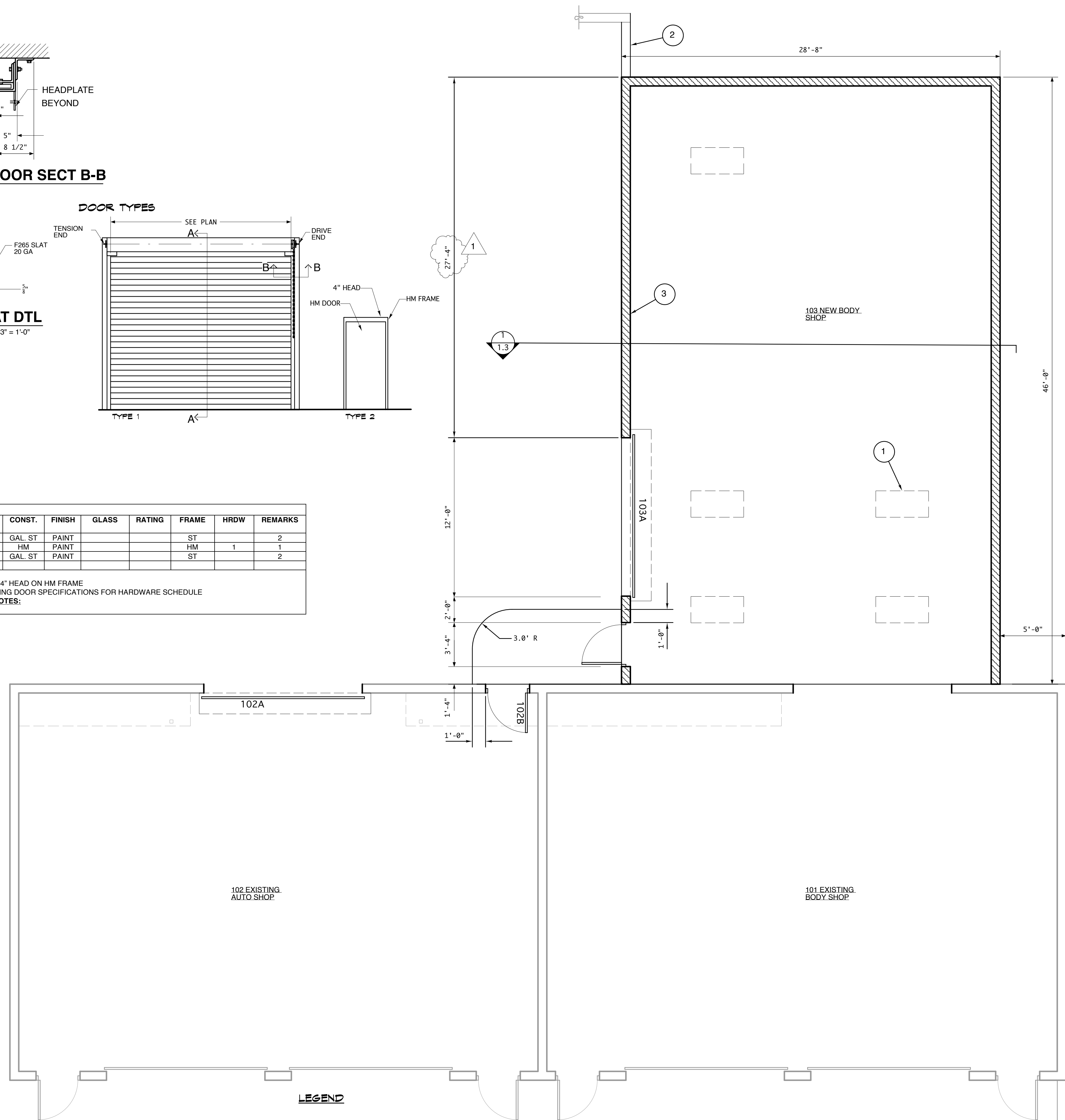
NOTES:
 1. PROVIDE 4" HEAD ON HM FRAME
 2. SEE COILING DOOR SPECIFICATIONS FOR HARDWARE SCHEDULE

GENERAL NOTES:

DOOR HARDWARE

TYPE 1 1 1/2 PR BB HINGES NRP
 DEAD BOLT W/ THUMB LATCH
 KEYED LOCKSET LEVER HANDLE
 CLOSER
 WEATHERSTRIP, THRESHOLD, & SWEEP

HARDWARE FINISHES MATCH EXISTING



LEGEND

EXISTING CONSTRUCTION TO REMAIN.
 NEW 8" CMU WALL. SEE STRUCTURAL PLANS

FLOOR PLAN

1.1 SCALE: 1/8" = 1'-0"

SECTION 02282 - TERMITE CONTROL

A. PROJECT INCLUDES

- SOIL TREATMENT FOR TERMITE CONTROL FOR SLAB-ON-GRADE STRUCTURES.

B. PRODUCTS

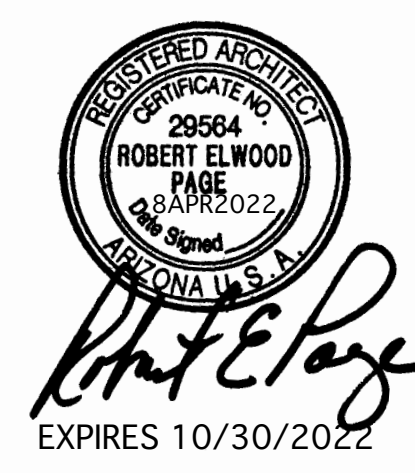
- SOIL TREATMENT MATERIALS WHICH BEAR FEDERAL REGISTRATION NUMBER OF U.S. ENVIRONMENTAL PROTECTION AGENCY AND ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
 - CHLOROPYRIFOS (TRADE NAME DURSBAN TC), 1.0 PERCENT IN WATER EMULSION.
 - PERMATHRIN (TRADE NAME DRAGNET, TORPEDO), 0.5 PERCENT IN WATER EMULSION.

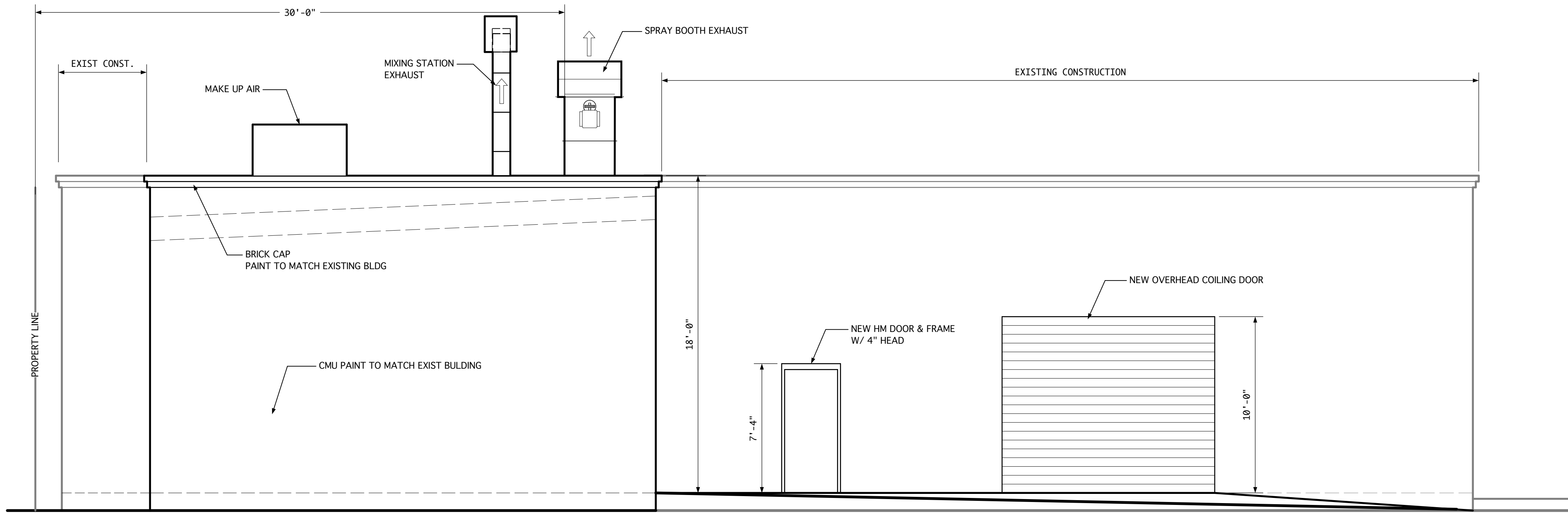
END OF SECTION

FLOOR PLAN KEYNOTES:

- 2 X 4 SKYLIGHT TYP OF 5.
- EXTEND 6" HIGH CMU WALL TO EXISTING CMU WALL.
- PAINT ALL UNFINISHED INTERIOR SURFACES.

| | |
|--|-----------------|
| 4/8/22 | COT PLAN REVIEW |
| REVISIONS | |
| 5 STAR COLLISION BODY SHOP ADDITION | |
| 8809 S. 12TH AVE TUCSON, AZ | |
| FLOOR PLAN | 1.1 |
| JAN 11, 2022 | 2026 |
| ROBERT PAGE, Architect 2102 N. COUNTRY CLUB RD. #4 TUCSON, AZ 85716 520 629-9152 FAX 520 798-9341 | |

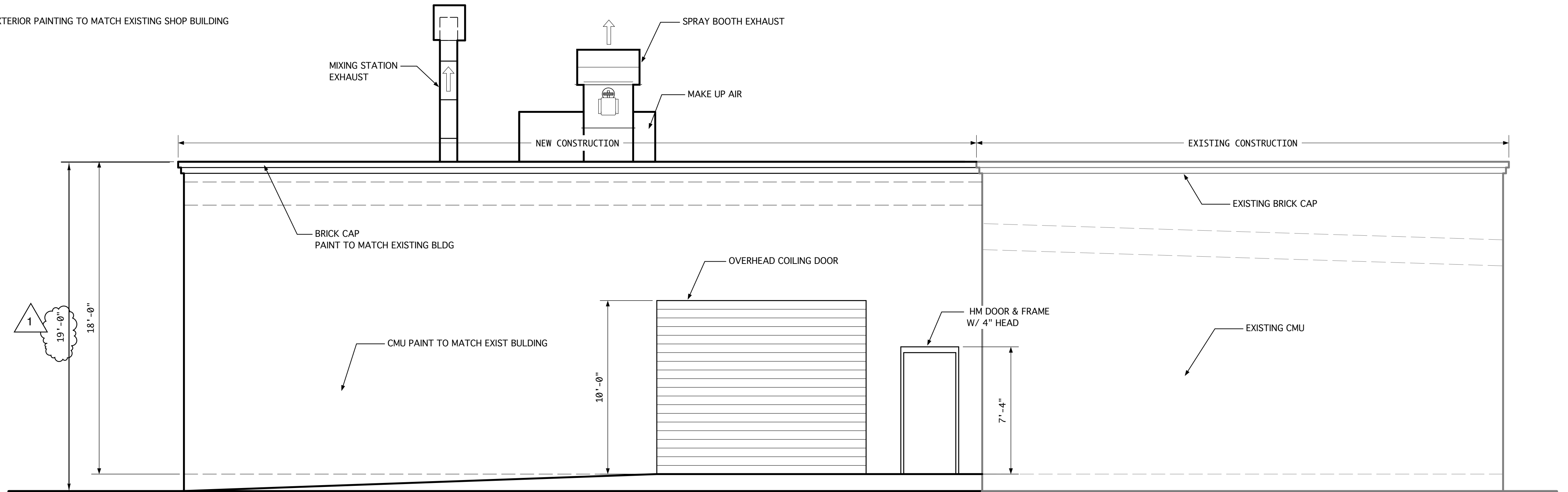




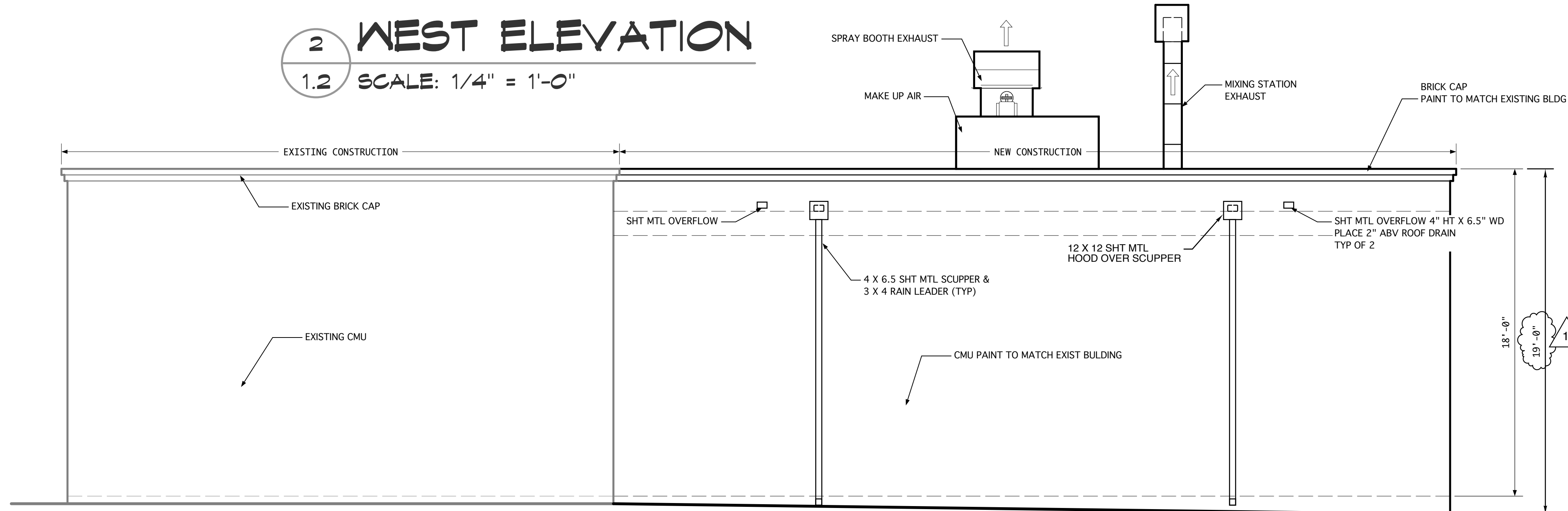
1 **NORTH ELEVATION**
 1.2 SCALE: 1/4" = 1'-0"

NOTE: ALL EXTERIOR PAINTING TO MATCH EXISTING SHOP BUILDING

R/U VALUES
 ROOF: BUR R-38
 WALLS: 2 X 6 W/ID FRAME R-19 BATT
 1" RIGID R-5 TOTAL R-24
 GLAZING U=0.32
 WINDOWS U=0.40 SHGC 0.25
 DOORS SOLID PANEL U= 0.17
 FULL LIGHT U= 0.30 SHGC 0.25



2 **WEST ELEVATION**
 1.2 SCALE: 1/4" = 1'-0"



3 **EAST ELEVATION**
 1.2 SCALE: 1/4" = 1'-0"

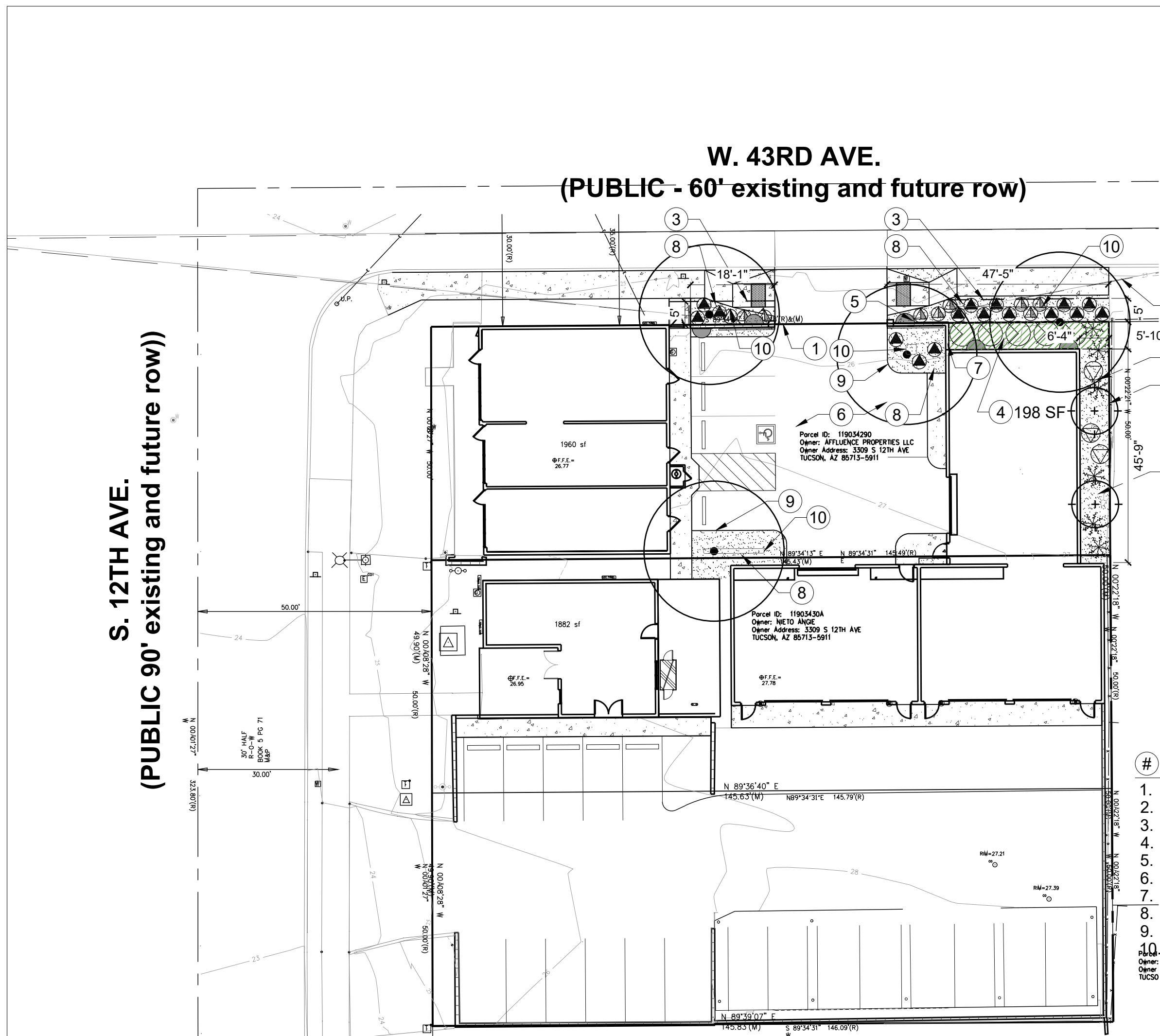
| | | |
|-----------|--------|-----------------|
| 1 | 4/8/22 | COT PLAN REVIEW |
| REVISIONS | | |

**5 STAR COLLISION
 BODY SHOP ADDITION**
 8809 S. 12TH AVE
 TUCSON, AZ

| | |
|--------------|------|
| ELEVATIONS | 1.2 |
| JAN 11, 2022 | 2026 |

ROBERT PAGE Architect
 2102 N. COUNTRY CLUB RD. #4
 TUCSON, AZ 85716
 520 629-4152
 FAX 520 798-8841





LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

| Trees | Size | Qty |
|--------------------------------------|--------------|-----|
| Celtis reticulata | 24" box | 4 |
| netleaf hackberry | 1.5" caliper | |
| Sophora secundiflora | 24" box | 2 |
| texas mountain laurel | 1.0" caliper | |
| Shrubs / Ground Covers | Size | Qty |
| Ruellia peninsularis | 5 gallon | 5 |
| desert ruellia | | |
| Calliandra californica | 5 gallon | 3 |
| baja fairy duster | | |
| Ericameria laricifolia 'Butterbloom' | 5 gallon | 16 |
| butterbloom turpentine bush | | |
| Cacti / Succulents | Size | Qty |
| Dasylium wheeleri | 5 gallon | 6 |
| desert spoon | | |
| Yucca rupicola | 5 gallon | 9 |
| twisted leaf yucca | | |
| Vines | Size | Qty |
| Parthenocissus 'Hacienda Creeper' | 5 gallon | 5 |
| hacienda creeper | | |

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.
 Decorative rock 01
 type: screened rock
 size: 1/2"
 color: santa fe gold - pioneer materials
 depth: 2"
 notes: install in all landscape planting areas as indicated on plans

LANDSCAPE/ WATER HARVESTING KEY NOTES

- Property line
- Sight visibility triangle
- Street landscape border
- Interior landscape border
- Existing fence/wall
- Pavement - refer to civil
- Screen wall - refer to civil
- Decorative rock typ. - all landscape areas
- 6" Curb
- Landscaping low point water harvesting 6" min.

LANDSCAPE BORDER REQUIREMENTS

| East | West |
|--|------------------------------|
| 10' interior border @ 45'-9" (area = 517 SF) | no landscape border required |
| trees required 2 | no landscape border required |
| trees provided within border 2 | no landscape border required |
| landscape area provided 290 SF | no landscape border required |
| landscape area shortage 168 SF | no landscape border required |
| vegetative ground cover required 0 sf | no landscape border required |
| vegetative ground cover provided 100 sf | no landscape border required |
| 60" wall | no landscape border required |
| additional landscape border area 198 sf | no landscape border required |
| North (W 43rd Ave.) | South |
| 5' street border @ 65'-6" (327.5 sf) | no landscape border required |
| landscape area provided - 658 SF | no landscape border required |
| vegetative ground cover required 163.75 sf | no landscape border required |
| vegetative ground cover provided 200 sf | no landscape border required |
| trees required 2 | no landscape border required |
| trees provided 2 | no landscape border required |
| 30" vegetative screen - utilize wall with vine | no landscape border required |

PARKING TREE REQUIREMENTS

No new parking spaces provided, 5 spaces provided on site.

GENERAL LANDSCAPING NOTES:

- Contractor to contact Blue Stakes at (800) 782-5348 at least 2 days prior to any excavation.
- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
- For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
- The Landscape Architect is to approve any and all substitutions.
- Plant list quantities are provided for contractor's convenience only. Plans take precedence.
- Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
- Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
- Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
- Ground cover and/or decorative rock shall extend under shrubs unless noted.
- After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
- Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
- All earthwork is to be done so that all water drains away from all structures.
- All underground utilities are to be located before digging.
- All plant material to be guaranteed for a period of one (1) year after final acceptance.
- Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
- In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
- All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
- Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
- Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
- Landscape areas shall be depressed 6 inches to maximize storm water harvesting in areas shown on landscape and/or grading plans. Water harvesting shall not occur within 10' of building foundation.
- Final plant locations must be in compliance with all utility setback requirements.
- Sleeve all pipes and wires under paved areas including streets and sidewalks.
- Irrigation lines are shown schematically; locate all line in unpaved areas.
- Locate all lines within the property line when possible.
- The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The landscape and irrigation shall be installed per the associated specifications.
- All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
- Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
- Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
- It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per unified development code (udc) section.
- The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
- Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

CITY OF TUCSON RIGHT-OF-WAY NOTES:

- It is the owner's responsibility to keep the Sight Visibility Triangles (SVT), and the pedestrian access area clear of vegetation at all times, per Unified Development Code (UDC) section.
- It is the owner responsibility to keep a 5' wide by 7' tall clear pedestrian access open across the entire property.
- It is the owner responsible to keep vegetation from growing past the curb line clear, and keep a 15' high clear zone over the travel lane.
- Final plant locations must be in compliance with all utility setback requirements.
- The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the Right-of-Way (ROW) in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)
- Contractor to obtain a Right-Of-Way excavation permit prior to construction within the ROW.
- Landscaping and maintenance in the public ROW shall be maintained by the property owner of the development at no cost to the City of Tucson.

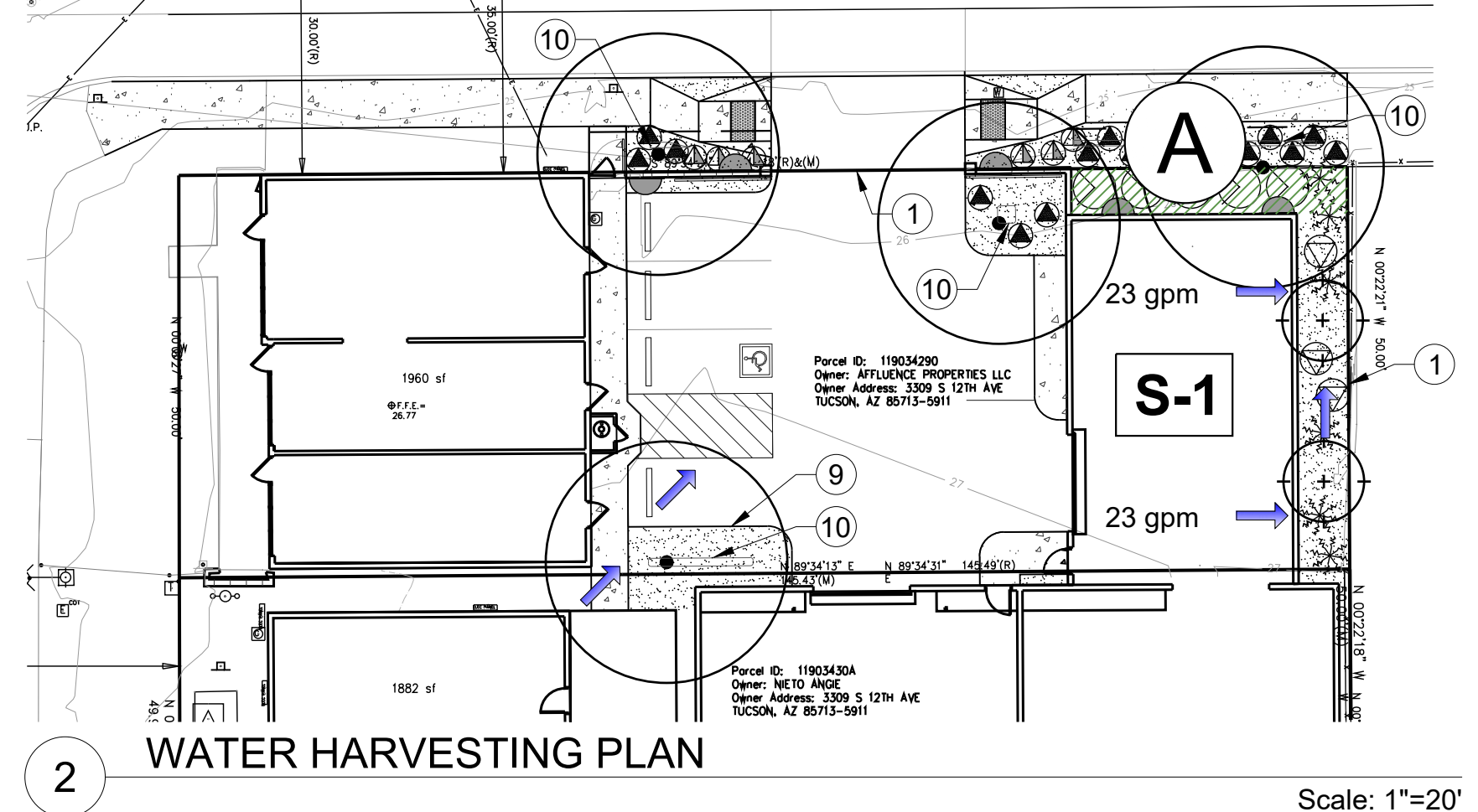
LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE:

- Site shall be maintained weekly to remove litter and debris.
- Review landscape plant materials to ensure and maintain proper growth, development and maturity to promote sustainable sites.
- Review tree staking; adjust stakes, tree ties and supports; so that tree trunks develop and strengthen to become self-supportive.
- Allow natural tree development and minimize tree pruning over first 24 months. Allow gradual lifting of canopy, not exceeding 1/3 to 2/3 canopy height ratio.
- No shearing on vegetation shall occur on site.** Program irrigation water schedules for establishment with initial weekly watering. After establishment adjusts to longer run times and duration between watering with seasonal conditions to develop deep root and sustainable periods of drought.
- Set water schedules to evapotranspiration (ET) historical databases allowing for auto control and adjustment with seasons.

1 LANDSCAPE PLAN

Scale: 1"=20'

| SITE WATER BUDGET | | |
|---|-----------------|------------|
| PLANT WATER DEMAND | Individual WHIA | Total WHIA |
| Individual WHIA identifier | A | |
| Plant water demand category for this WHIA | low | |
| Plant canopy area (square feet) for this WHIA. Add the canopies of understory, midstory and overstory plant areas to get total canopy area for each WHIA | 790 | 790 |
| Plant water demand per year (vertical feet of water per year per square foot of canopy) for this WHIA | 0.8 | |
| CALCULATE: Annual plant water demand for this WHIA based on plant canopy area (gallons) | 4,727 | 4,727 |
| OVERALL WATER HARVESTING SUPPLY | | |
| WHIA area (square feet) | 2,229 | |
| WHIA average depth (feet) | 0.5 | |
| CALCULATE: WHIA capacity (gallons) | 8,336 | |
| If Passive water harvesting is used: | | |
| Subwatershed identifier | S-1 | |
| Ratio of subwatershed area to plant canopy area needed to meet plant water demand in July through March (use March plant water demand as the indicator month, and effective rainfall in March of 0.41 inches, as shown on Table 3) (no units) | 1.93 | |
| CALCULATE: Total catchment area ideally needed to meet plant water demand in March (square feet) | 1,525 | |
| Actual total catchment area designed for this WHIA including the WHIA area itself (square feet) | 1,180 | |
| CALCULATE: Actual catchment ratio for this WHIA based | 1.49 | |
| CALCULATE: Actual percent of plant water demand that will be met for this WHIA | 50% | |
| TOTAL SITE INFORMATION | | |
| Percent to total site annual landscape demand met using harvested water | | 50% |
| Projected annual metered water use for the site if 50% of annual water use is provided by metered irrigation water (gallons) [50% is the allowed metered water use per the Commercial Rainwater Harvesting Ordinance] | | 2,364 |



SITE CALCULATIONS

Total site area impacted: 5,675 sf (.13 acres)
 Proposed graded area: 5,675 sf (.13 acres)

GENERAL WATER HARVESTING NOTES

- The site is fully developed. New building and up-dated parking will adhere with existing fixed grades.
- Refer to the grading plans and sheet 1.4 for roof drainage for general site flow.
- Water harvesting is not proposed, however water will traverse through the landscape. Refer to the grading plans and drainage report for all spot grades and site drainage scheme.
- The proposed plant palette is native and drought tolerant to reduce the demand on the potable water supply.
- The estimated demand is 1,945 gallons per year. This amount shall not be exceeded when proper maintenance practices are used. Adjustments to the irrigation system with increased watering from April through June and limited water use during Monsoon and winter will allow the property owner to achieve limited water demand.
- It is the responsibility of the property owner to

RAINWATER HARVESTING SUMMARY

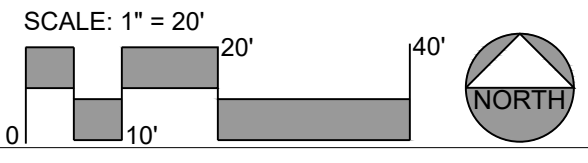
Water harvesting infiltration area "A" will utilize roof runoff and landscape area runoff in the total amount of 2,229 SF catchment area.

WATER HARVESTING PLAN LEGEND

- Flow arrow
- Water harvesting infiltration area (WHIA)

DRAINAGE SUB-AREA WATERSHED TOTALS

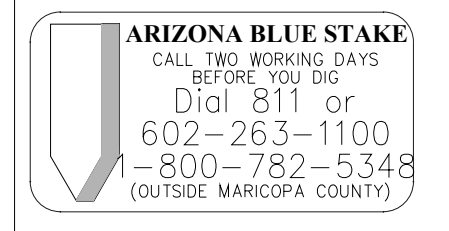
| | |
|-----|-----------------------|
| S-1 | 2,229 sf (0.05 acres) |
|-----|-----------------------|



retain the services of a qualified maintenance company to ensure the irrigation system remains operational and functioning properly limiting the water use.

- The proposed irrigation system utilizes an ET (Evapo-transpiration Rate) controller that will aid in irrigation adjustments throughout the year. The maintenance company shall also set up additional programming for by-monthly timing to provide deep watering during the growing period in order to extend roots and allow the vegetation to become established. Once the vegetation is established, the irrigation system can be re-programmed to limit watering only to the months April through June to ensure vegetation retains growth during the plant material stress periods.
- Maintenance company shall provide monthly reports and identify the irrigation scheduling proposed. This scheduling shall be tracked by owner or property manager to ensure water usage is adjusted throughout the year.

Refer to specifications for additional information on policies, performances, and products.



C09-56-29
 SITE ADDRESS
 3309 S. 12TH AVENUE
 TUCSON, ARIZONA 85713

| | |
|--|--|
| CK. BY | |
| DESCRIPTION | |
| REV. DATE | |
| 5 STAR COLLISION | |
| PAIN & BODY SHOP | |
| SUNSET VILLA LOT 6 EXC W 20' | |
| BLK 34 APN 119-03-4290 | |
| SUNSET VILLA LOTS 7 & 8 EXC W 20' | |
| BLK 34 APN 119-03-430A | |
| CIVILDISEIGNGROUP | |
| 6117 E. Sparkle Spur, Place Tucson, AZ 85739 Phone: (520) 250-0066 | |
| | |
| DESIGN BY: MRS | |
| DRAWN BY: MRS | |
| CHK'D BY: ERB | |
| DATE: JUNE 2022 | |
| SCALE: AS NOTED | |
| JOB NO: 2022.01 | |
| DRAWING NO: L1.0 | |
| 8 of 11 | |
| COMMENTS: LANDSCAPE PLAN DP22-00XX | |



Celtis reticulata (netleaf hackberry)



Sophora secundiflora (texas mountain laurel)



Ruellia peninsularis (baja ruellia)



Calliandra californica (baja fairy duster)



Ericameria laricifolia 'butterbloom' (butterbloom turpentine bush)



Dasyliirion wheeleri (desert spoon)



Yucca rupicola (twisted leaf yucca)



Parthenocissus 'hacienda creeper' (hacienda creeper)



1/2" screened santa fe gold gravel

Reqs
Change

CDRC TRANSMITTAL
TO: Planning and Development Services Department, Plans Coordination
FROM: Anne Warner, RLA
PDS Landscape/Native Plant Preservation Section

PROJECT: 5 Star Collision
ACTIVITY NO: DP22-0040
Address: 3309 S 12th Ave
Zoning: C-3
Existing Use: Commercial Services
Proposed Use: Commercial Services

TRANSMITTAL DATE: May 2, 2022
DUE DATE: March 30, 2022

COMMENTS: Please resubmit revised drawings along with a detailed response letter, which states how all Landscape Review Section comments were addressed.

This plan has been reviewed for compliance with applicable development criteria in the City of Tucson Unified Development Code (UDC) Administrative Manual (AM) Section 2-11 and Technical Manual (TM) Section for landscape, native plants and water harvesting.

1. UDC 2-10.4.1 Identification and Descriptive Data - All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.

2. Ensure that Zoning and Engineering comments are addressed prior to landscape section approval.

3. One tree is required for the new parking area on the north, please make sure that it is shading asphalt.

4. A 10' landscape border is required adjacent to the parking area along W 43rd Ave. Also, a 30" screen is required for parking adjacent to streets.

5. The 5' landscape border is insufficient unless the intent is to use 5' of the right of way for landscape. Please clarify.

6. Please label the existing and future rights of way for all public streets, UDC 7.6.4.C.2.a.

7. Please indicate the installation of a private submeter if a separate irrigation meter is not being provided. UDC Technical Standards 4-01.6.1.A.1.

8. Please add a detail to show depressed landscape areas or indicate with notes.

9. Per Admin. Manual 2-10-4.2.D, provide page/detail reference to civil drawings/details that show bike racks, walkways, and screening/retaining walls on landscape plans. See civil drawing is not sufficient.

10. Provide a detail to show tree planting with root barrier adjacent to walkways.

11. A Commercial Rainwater Harvesting plan is required. UDC Technical Standards Manual - Section 4-01.0.0. and Section 5-01.0.0 Landscaping and Screening. Demonstrate how water harvesting is being maximized.

12. Identify the point of drainage off roof areas, amount of flow, and disposition of flow.

13. Identify curb inlets/splash pads to landscape areas on water harvesting or landscape plans.

RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package

YOUR NEXT STEPS: Submit documents to the Filedrop

<https://docs.tucsonaz.gov/Forms/tucsonpermitapp>

Select "Existing Application"

1) Comment Response Letter (your response to the reviewer's Requires changes comments)

2) Plan Set (or individual sheets)

3) Any other items requested by review staff

If you have any questions, please contact me at anne.warner@tucsonaz.gov

Reqs
Change

A landscape DDO is required for the east side of the property. Notes say that this required interior landscape border is 10', but only measures 6'.



Planning & Development Services Department
 201 N. Stone Avenue
 PO Box 27210
 Tucson, AZ 85726
 (520) 791-5550

Letter of Agency/Authorization

If the applicant is not the owner of record of the subject site, a Letter of Agency from the owner or the owner's authorized representative must be submitted which grants the applicant permission to submit an application for the requested entitlement(s).

Date: 5/11/22

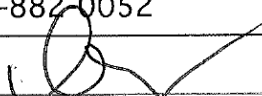
To:
 City of Tucson
 Planning & Development Services Department
 Zoning Administration Division
 PO Box 27210
 Tucson, AZ 85726

Planning & Development Services Department:

I, the undersigned legal owner of record, hereby grant permission to:

Applicant: Robert Page Phone: 520-906-4872
 Applicant's Address: 4115 W. Granite Dells Ct., Tucson, AZ 85745

To submit a Design Development Option (DDO) application on my behalf.

| | |
|---|--|
| The subject property located at: | 3309 S. 12th Ave |
| Assessor's Parcel Number: | 119-03-430A |
| Printed Name of Owner of Record: | Affluence Properties LLC |
| Address of Owner of Record: | 3309 S. 12th Ave |
| Phone Number of Owner of Record: | 520-882-0052 |
| Signature of Owner of Record: (must be original signature) |  |

Activity Number: _____ DDO Case Number: **DDO** - _____ - _____



Parcel Number: 119-03-430A

Expand All +

- Parcel Detail**
- Genealogy
- History
- Treasurer Tax
- Images

Book-Map-Parcel:
Tax Year:
Mapping:
Tax Area:

| Property Address | | | |
|------------------|------------------|-------------|----------|
| Street Number | Street Direction | Street Name | Location |
| 3309 | S | 12TH AV | Tucson |
| 3311 | S | 12TH AV | Tucson |

| Contact Information | |
|--|---|
| Property Owner Information: | Property Description: |
| AFFLUENCE PROPERTIES LLC 3309 S 12TH AVE TUCSON AZ 85713-5911 | SUNSET VILLA LOTS 7 & 8 EXC W20' BLK 34 |

| Noticed Valuation Data | | | | | | | |
|------------------------|----------------|------------------|----------|-----------|-----------|---------------|------------------|
| Property Appraiser: | | Phone: | | | | | |
| Valuation Year | Property Class | Assessment Ratio | Land FCV | Imp FCV | Total FCV | Limited Value | Limited Assessed |
| 2022 | COMMERCIAL (1) | 17.5 | \$58,308 | \$241,138 | \$299,446 | \$299,446 | \$52,403 |
| 2023 | COMMERCIAL (1) | 17.0 | \$58,308 | \$269,852 | \$328,160 | \$314,418 | \$53,451 |

Property Information +

Sales Information 1 +

Valuation Area +

Recording Information 6 +

Commercial Characteristics +

Notes 6 +