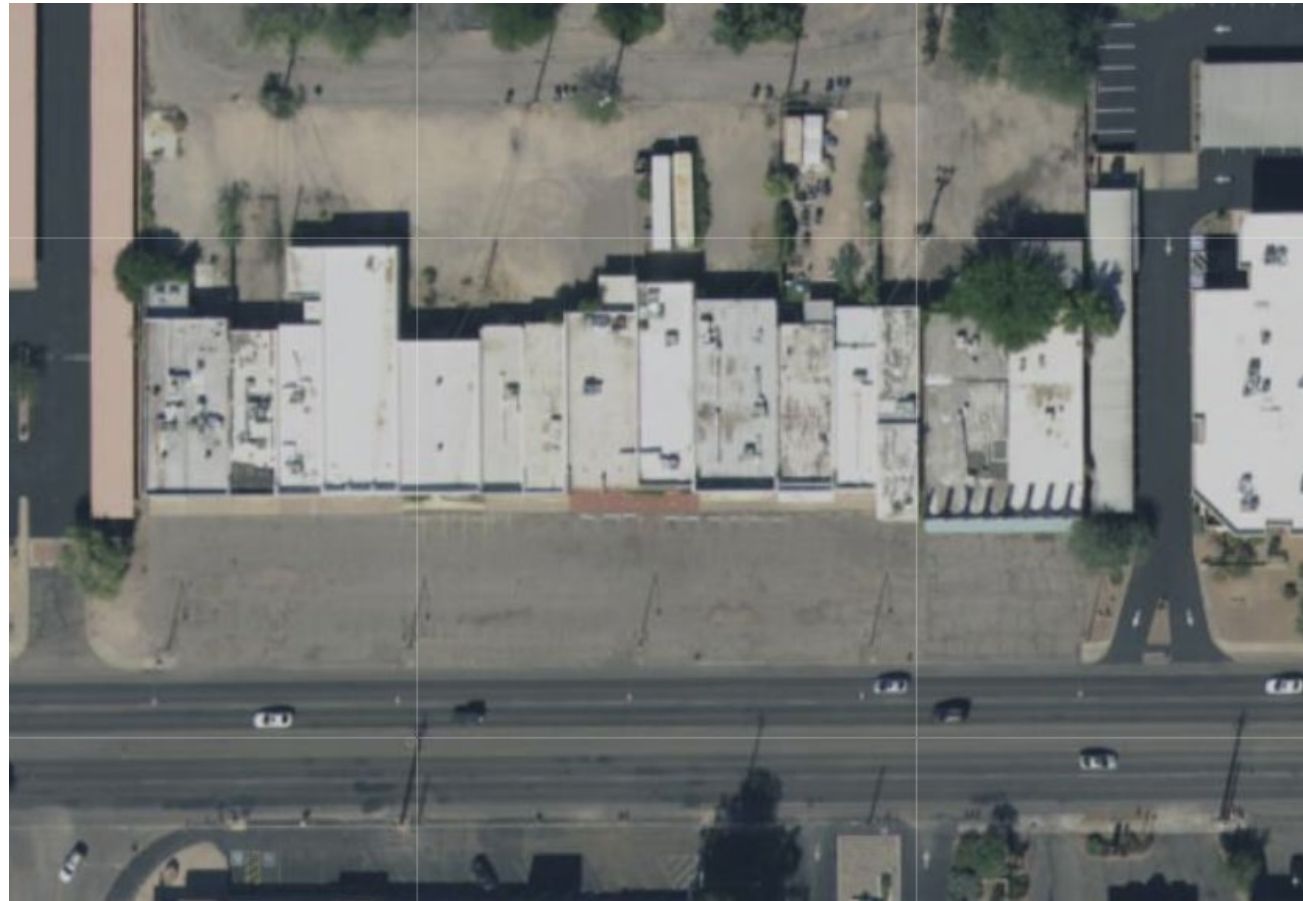


**sol block**

2545-2635 E Broadway, Tucson







2016



2022







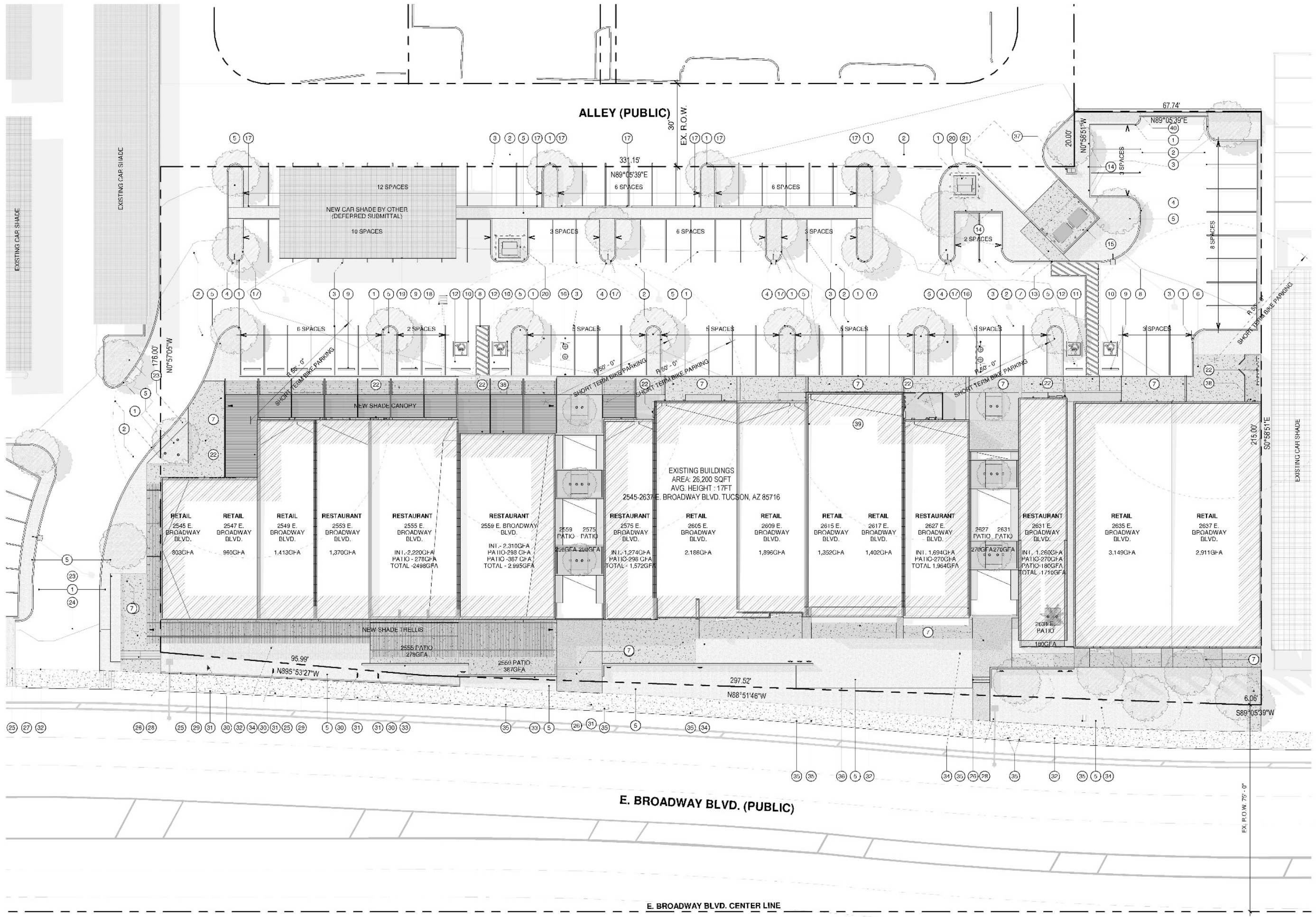
2018

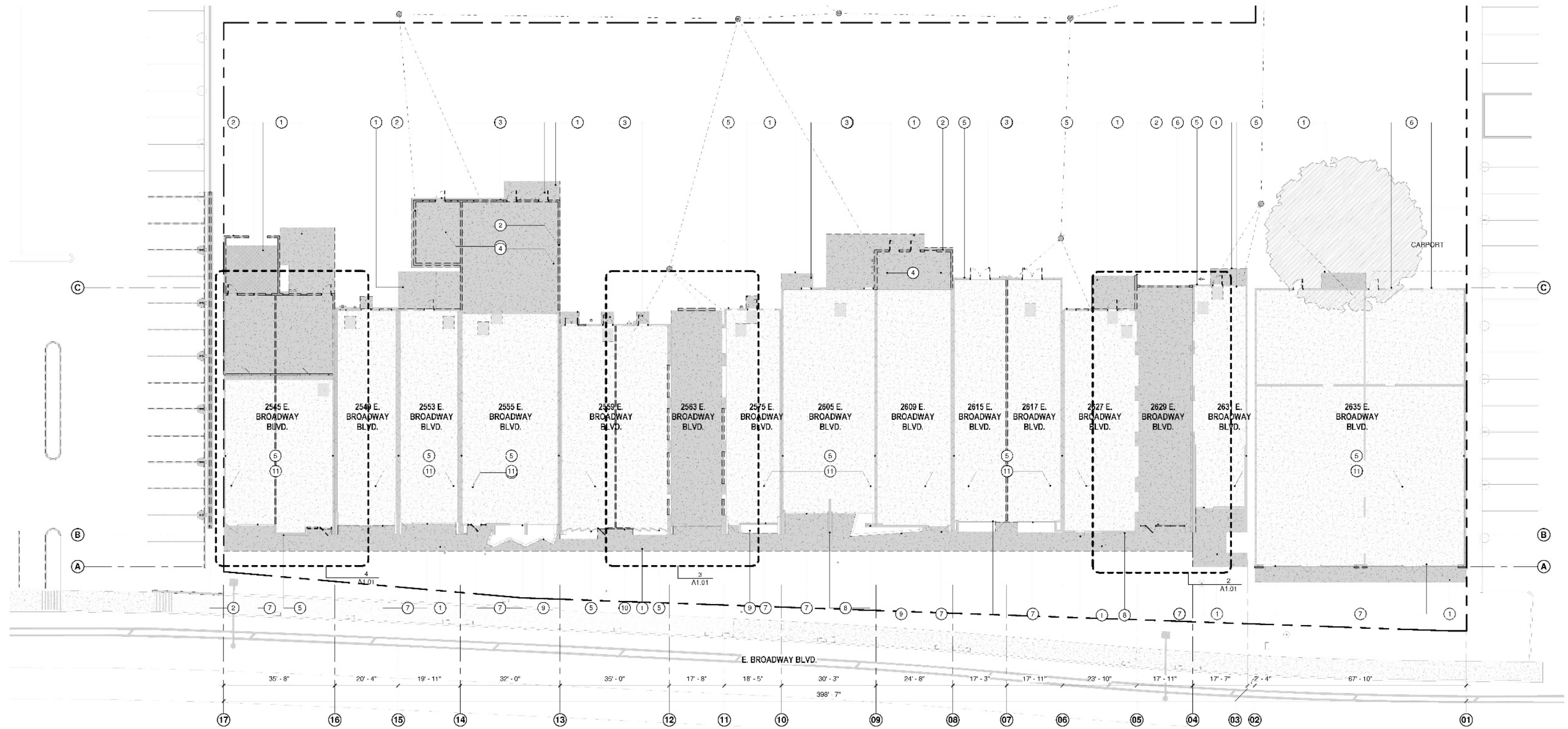


VIEW LOOKING NORTHEAST FROM SOUTHWEST CORNER



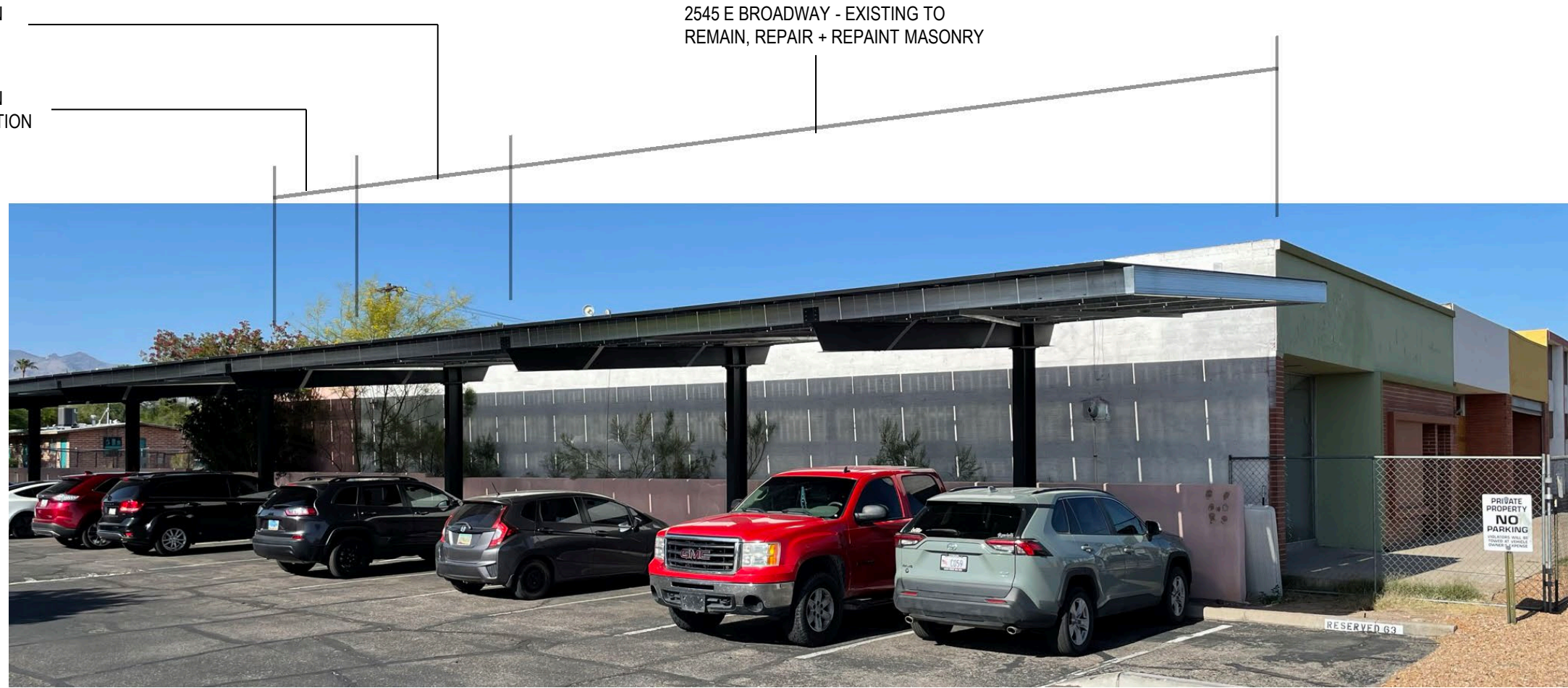








VIEW LOOKING SOUTH FROM NORTH SIDE



VIEW LOOKING EAST FROM WEST SIDE

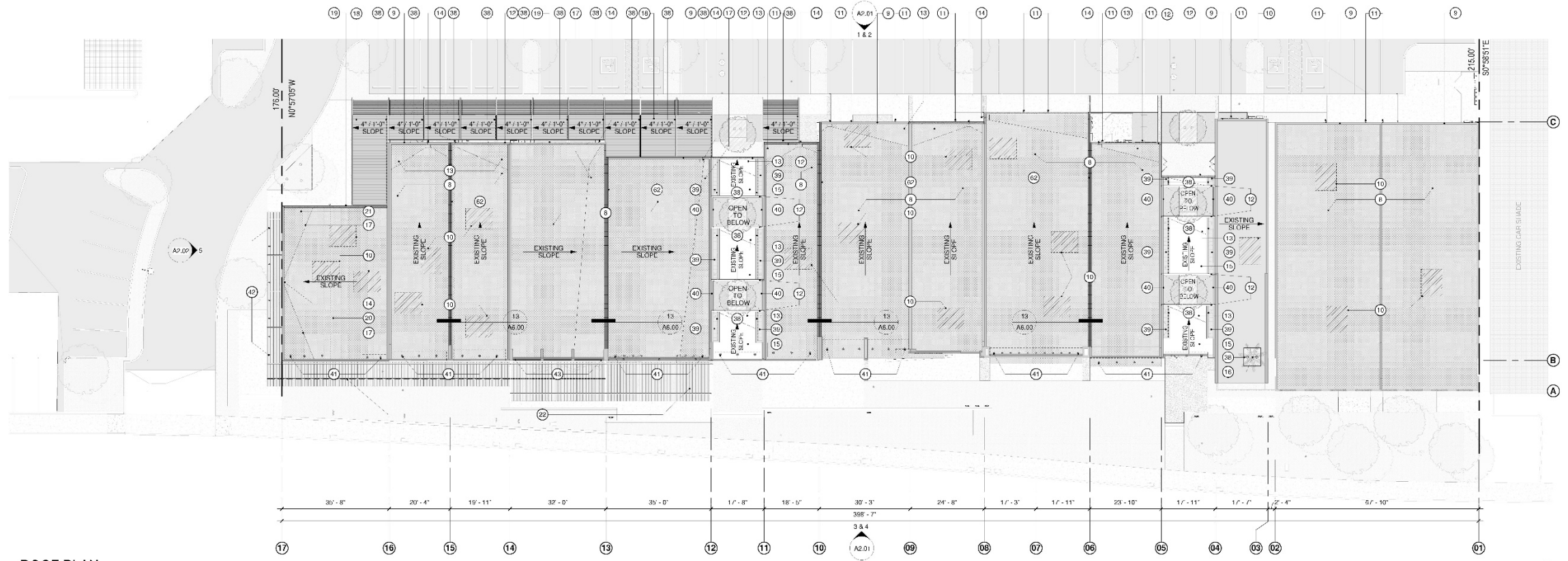
THE WEST FAÇADE IS BLOCKED BY THE ADJACENT NEIGHBORS PARKING LOT, SITE WALL AND PARKING CANOPY. THE OWNERSHIP TEAM HAS SECURED AN EASEMENT THROUGH THIS PORTION OF THE NEIGHBORING PROPERTY TO CREATE A NEW VEHICULAR ENTRY TO THE RELOCATED PARKING LOT IN THE BACK OF THE PROPERTY. IN ORDER TO ACCOMMODATE SITE CONDITIONS ON THE NEIGHBORING PROPERTY THE TEAM IS PROPOSING REMOVING A NON-ORIGINAL ADDITION AND A PORTION OF THE ORIGINAL REAR OF THE BUILDING.

RENDERING OF THE PROPOSED WEST ELEVATION >

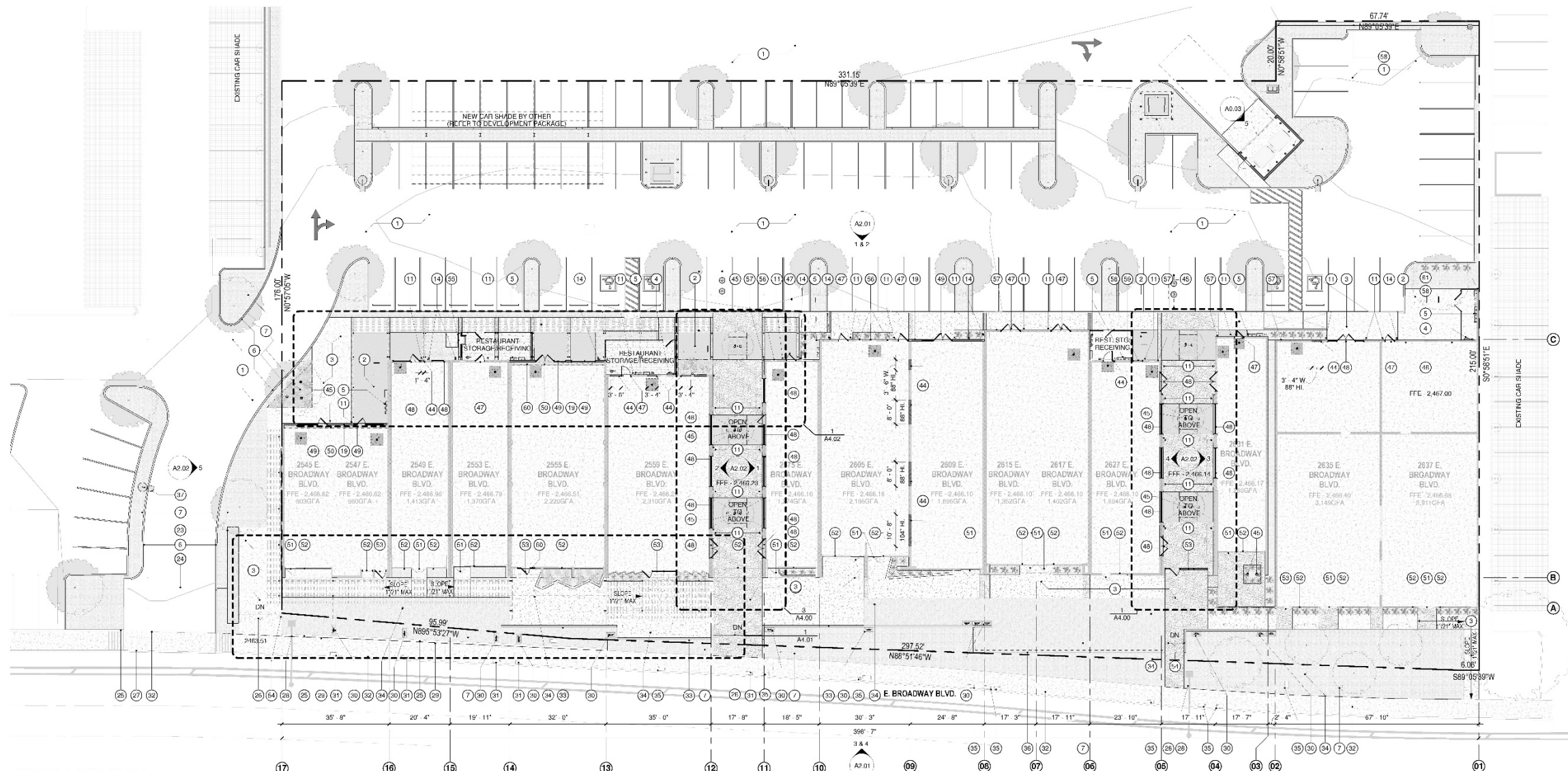




VIEW LOOKING SOUTHEAST FROM NORTHWEST CORNER



1 FIRST FLOOR PLAN  
1/16" = 1'-0"



2 ROOF PLAN  
1/16" = 1'-0"

- GENERAL NOTE**
1. FINISHED FLOOR ELEVATION (FFE) 2.466.02 - 0'0" FOR REFERENCE ONLY, REFER TO DEVELOPMENT PLAN.
  2. ALL DIMENSIONS ARE TO FACE OF STUDS AT INTERIOR WALLS, FACE OF MASONRY, AND/OR FACE OF CONCRETE SLAB AT EXTERIOR WALLS.
  3. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND ASSEMBLIES.
  4. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING TO DETERMINE THE TOTAL QUANTITIES AND SCOPE OF WORK THAT IS TO OCCUR. IN ORDER TO ACHIEVE NEW CONSTRUCTION AND COORDINATE ANY DISCREPANCIES WITH THE ARCHITECT.
  5. CONSTRUCTION AREA SHALL BE KEPT CLEAN AND SAFE. SCOPE OF WORK SHALL AVOID CLEAN AREAS OR WORK UPON COMPLETION.
  6. SLOPE ALL EXTERIOR CONCRETE & ASPHALT AWAY FROM THE BUILDING.
  7. MATCH EXISTING EXTERIOR CONCRETE & ASPHALT TO EXISTING INTERIOR FFE AT ALL DOORWAYS.
  8. CLIMATE ZONE - PIMA COUNTY - ZONE 2B HOT DRY - FFE 2.466.18 (1.1) - 1.1. INSULATION R-19 - 1.1. ABOVE ROOF DECK - R-VALUE R-26.
- KEYNOTES**
1. NEW ASPHALT PAVING PER DEVELOPMENT PLAN PACKAGE (NEW PARKING AREA AND PAVILION).
  2. SHORT FINISH BOOK OF CONCRETE - REFER TO DEVELOPMENT PLAN PACKAGE.
  3. NEW CONCRETE SLAB, PER FINISH BOOK OF CONCRETE - REFER TO DEVELOPMENT PLAN PACKAGE.
  4. FLOORING - POLISHED CONCRETE - MATCH EXISTING TO MATCH MOUNTING SURFACE. COORD. W/ ELECTRICAL DRAWINGS AND DEVELOPMENT PLAN PACKAGE.
  5. NEW ELECTRICAL EQUIPMENT PANEL TO MATCH EXISTING SURFACE. COORD. W/ ELECTRICAL DWGS AND DEVELOPMENT PLAN PACKAGE.
  6. NEW CONCRETE CURB, CONCRETE CURB TYPE - PLAN PACKAGE FOR CURB TYPE AND DETAILS.
  7. NEW LANDSCAPE AREA PER DEVELOPMENT PLAN PACKAGE.
  8. NEW BUILT UP ROOF OF R-26 POLY ISO RIGID INSULATION OF EXISTING ROOF STRUCTURE. REPLACE ANY DAMAGED SUBSTRATE. COORD. W/ STRUCTURAL DWGS.
  9. EXISTING ROOF PANELS - REMOVE AND REPAIR.
  10. REPAIR SUBSTRATE @ PREVIOUS RTU LOCATION - ASSOCIATED DUCTWORK ROOF PENETRATIONS.
  11. EXTERIOR RATED WALL DOWNWARD LIGHT CONNECT TO IN TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.
  12. NEW EXTERIOR RATED WALL DOWNWARD LIGHT CONNECT TO IN TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.
  13. NEW ROOF CRACKS - REFER TO ARCHITECTURAL DWGS.
  14. NEW TIE-IN WALL SCUPPER W/ DOWNSPOUT - SPLASH BLOCK @ LANDSCAPE LOCATION OR RAINWATER ESCAPE @ GENERAL LOCATION (COORD. LOCATION W/ ARCHITECTURAL DWGS).
  15. NEW BUILT UP ROOF OF EXISTING ROOF SHEATHING. REPLACE ANY DAMAGED SUBSTRATE.
  16. EXISTING FILM TREE TO REMAIN. CONTRACTOR TO PROTECT AND WATER TREE DURING CONSTRUCTION. EXISTING CRACKS.
  17. NEW SHIM CAULKING. REFER TO ARCHITECTURAL DWGS.
  18. NEW FRAME WALL W/ STUCCO FINISH OR MIN FORM BUILDING PAPER. MATCH EXISTING TEXTURE. COORD. W/ STRUCTURAL DWGS.
  19. NEW STRUCTURAL PARTITION WALL BELOW.
  20. MODIFY EXISTING CRACKS.
  21. NEW SHIM IN LULLS. HEIGHT @ 4.0' O.A. COORD. W/ STRUCTURAL DWGS.
  22. NEW STEEL PLANTER. COORD. W/ ARCHITECTURAL DWGS.
  23. EXISTING ASPHALT PAVING. PER DEVELOPMENT PLAN PACKAGE (NEW PARKING AREA AND PAVILION).
  24. EXISTING CONCRETE RETAINING WALL.
  25. NEW CONCRETE SELF-STAIR. COORD. W/ STRUCTURAL DWGS.
  26. EXISTING CONCRETE DRIVEWAY APRON. REFER TO DEVELOPMENT PLAN PACKAGE.
  27. EXISTING ROOF PANELS - REMOVE AND REPAIR.
  28. NEW STEEL CLADDING ATTACHED TO EXISTING CONCRETE RETAINING WALL.
  29. NEW BACKLASH PREVENTER IN STEEL CASE + CONCRETE RETAINING WALL. COORD. W/ PLUMBING DWGS AND DEVELOPMENT PLAN PACKAGE.
  30. EXISTING WATER METER. COORD. W/ PLUMBING DWGS AND DEVELOPMENT PLAN PACKAGE.
  31. EXISTING WATER METER. COORD. W/ PLUMBING DWGS AND DEVELOPMENT PLAN PACKAGE.
  32. EXISTING SIDEWALK (PAVING) TO REMAIN.
  33. NEW CONCRETE SIDEWALK. REFER TO ARCHITECTURAL DWGS. REFER TO ARCHITECTURAL DWGS.
  34. EXISTING SEWER CONNECTION. REFER TO DEVELOPMENT PLAN PACKAGE. COORD. W/ PLUMBING DWGS.
  35. EXISTING WATER METER. REFER TO DEVELOPMENT PLAN PACKAGE. COORD. W/ PLUMBING DWGS.
  36. NEW SITE RETAINING WALL W/ STEEL CLADDING. COORD. W/ ARCHITECTURAL DWGS.
  37. SITE LIGHTING. COORD. W/ ELECTRICAL DWGS.
  38. EXTERIOR RATED CORNER PROFILE SHELLDED STRIP LIGHT CONNECT TO IN TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.
  39. NEW SKYLIGHT. LAMINATED MIN. GLASS.
  40. NEW STUCCO OVER EXISTING MASONRY WALL W/ ADJUSTED PARAPET HEIGHT.
  41. NEW CAN LIGHT AT EXISTING LOCATION IN SOFFIT. REPAIR SOFFIT TO ACCOMMODATE NEW FIXTURE. COORD. W/ ELECTRICAL DWGS.
  42. EXTERIOR RATED DOWN LIGHT CONNECT TO IN TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.
  43. NEW EXTERIOR RATED CORNER PROFILE SHELLDED STRIP LIGHT AT PREVIOUS LOCATION. REFER TO DEVELOPMENT PLAN PACKAGE. COORD. W/ ELECTRICAL DWGS.
  44. NEW EXTERIOR RATED CORNER PROFILE SHELLDED STRIP LIGHT CONNECT TO IN TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.
  45. NEW CONCRETE SLAB TO MATCH EXISTING MASONRY WALL.
  46. CHOUND WELL LIGHT CONNECT TO IN TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.
  47. NEW GARAGE DOOR IN EXISTING OPENING. SUBCONTRACTOR TO VERIFY EXISTING RO DIMENSION.
  48. NEW GLASS STOREFRONT DOOR INSTALLED IN EXISTING OPENING. SUBCONTRACTOR TO VERIFY EXISTING RO DIMENSION.
  49. NEW SAW CUT OPENING IN EXISTING MASONRY WALL W/ NEW GRANITE CURB. REFER TO ARCHITECTURAL DWGS.
  50. NEW STUCCO IN NEW FRAME WALL.
  51. NEW CONCRETE SLAB TO MATCH EXISTING MASONRY WALL.
  52. REPLACE ANY DAMAGED CLADDING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION. REMOVE EXISTING WINDOW VINYL.
  53. REMOVE EXISTING WINDOW DOOR. REPLACE TO MATCH EXISTING WINDOW.
  54. NEW CLUSTER WILDOGS.
  55. REMOVE AND RESTORE EXISTING WINDOWS. REPLACE ANY DAMAGED GLAZING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION.
  56. PAINT EXISTING MASONRY WALL. COORD. W/ ARCHITECTURAL DWGS.
  57. NEW WINDOW LIFT UP. COORD. W/ ARCHITECTURAL DWGS.
  58. NEW GLASS STOREFRONT INSTALLED IN EXISTING OPENING. SUBCONTRACTOR TO VERIFY EXISTING RO DIMENSION.
  59. MATCH CONCRETE CURB ELEVATION TO FFE OF 2563.00 BROADWAY - 4.0'.
  60. NEW CONCRETE CURB LEFT TALL. PAINT TO MATCH ADJACENT. COORD. W/ STRUCTURAL DWGS.
  61. NEW WIRE EXTENSION TO EXISTING CURB PARTY WALL. CURB WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT NOT LESS THAN 30 INCHES ABOVE EXISTING ADJACENT ROOFS. COORD. W/ STRUCTURAL DWGS.

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**REGISTERED ARCHITECT**  
4738  
MCLAIN  
REPP  
ARCHITECTS, P.C.  
TUCSON, ARIZONA

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ISSUE DATE: 02/03/2025  
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DRAWN BY: SLD  
C-CHECKED BY: JHM

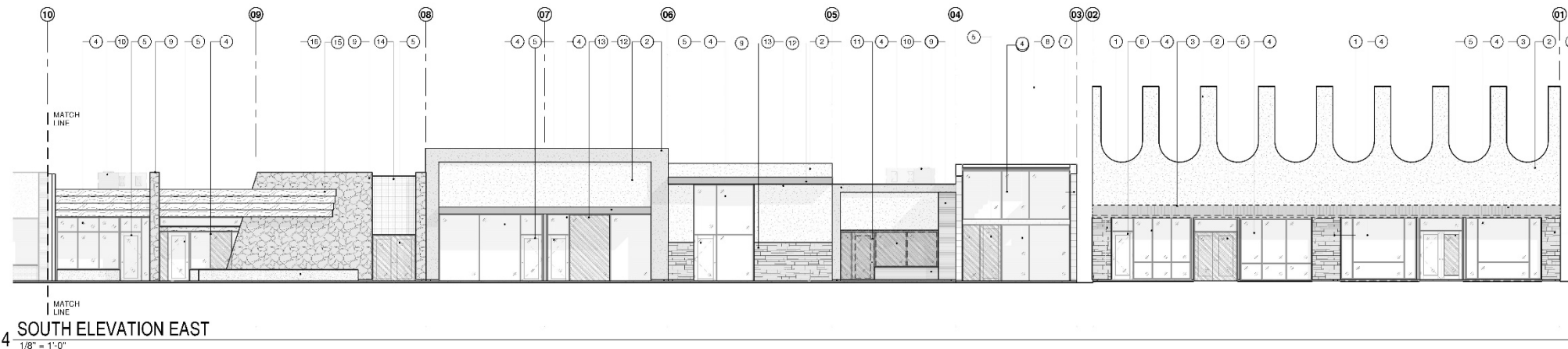
REVISIONS

**SOLBOOK Grey shell**  
2545-2635 East Broadway Blvd., Tucson, AZ 85716

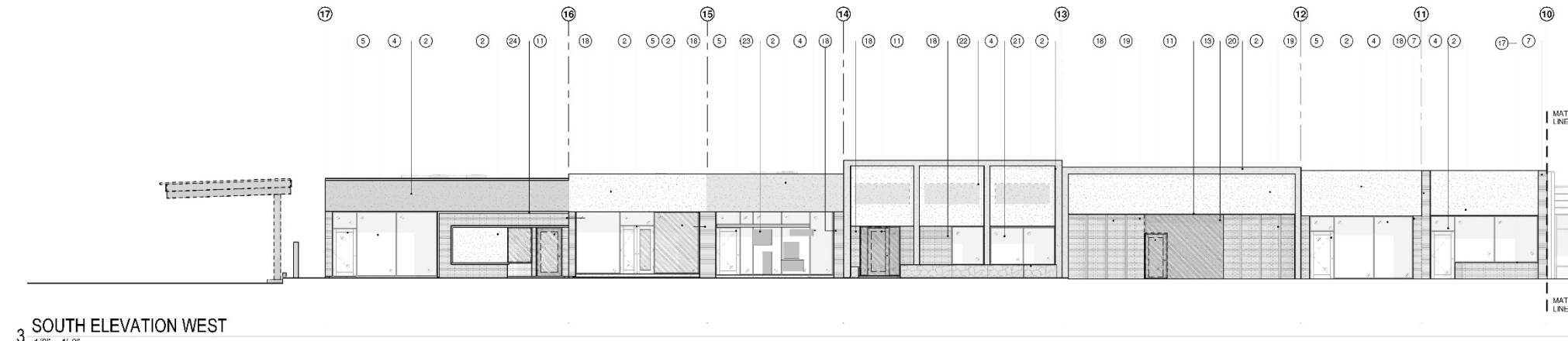
**NEW WORK PLAN**

**A1.03**

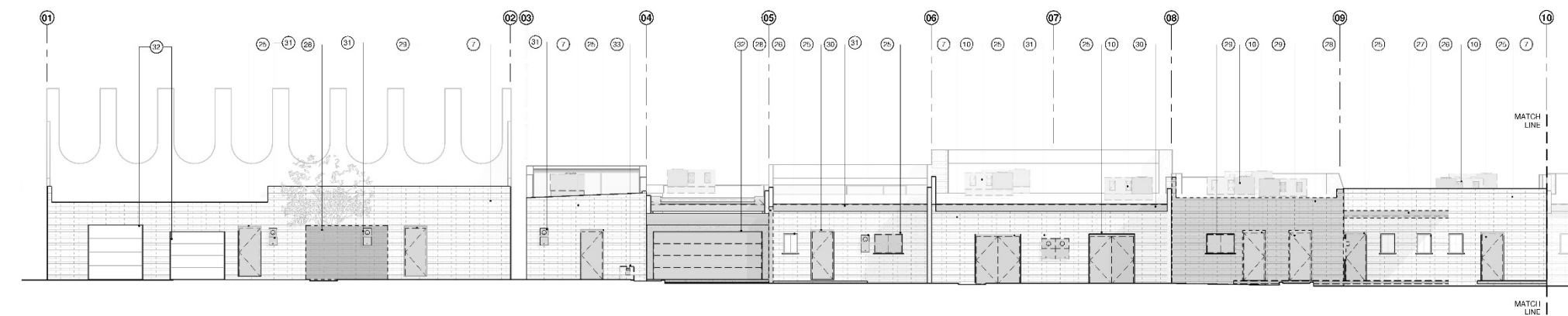




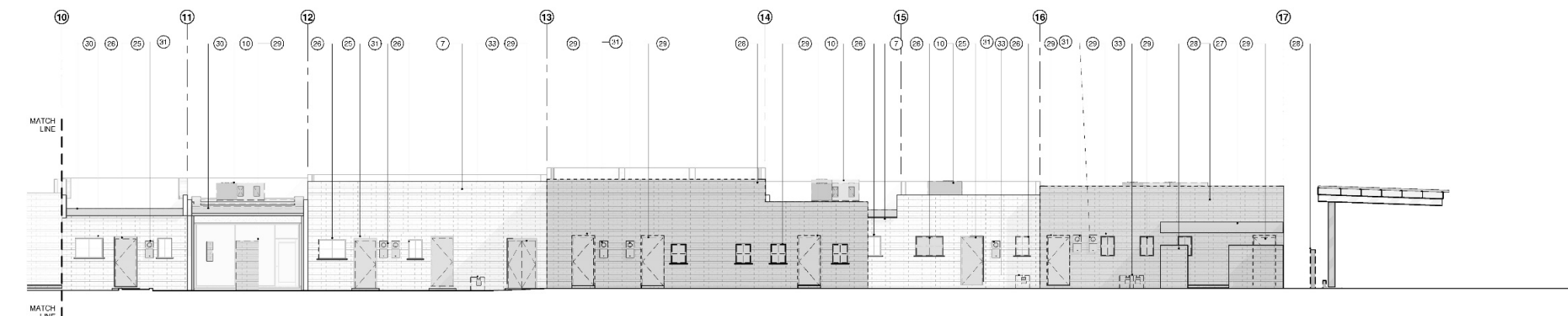
4 SOUTH ELEVATION EAST  
1/8" = 1'-0"



3 SOUTH ELEVATION WEST  
1/8" = 1'-0"



2 NORTH ELEVATION EAST  
1/8" = 1'-0"



1 NORTH ELEVATION WEST  
1/8" = 1'-0"

GENERAL NOTE

1. FINISHED FLOOR ELEVATION (FFE) 2.48882' - 0.00' FOR REFERENCE ONLY. REFER TO DISCREPANT DRAWING.
2. ALL DIMENSIONS ARE TO FACE OF STUDS AT WATER OR WALLS - FACE OF MASONRY, ANCHOR HOOKS OR CONCRETE SLAB AT EXTERIOR WALLS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ASSEMBLIES.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO BEGINNING WORK. THE TOTAL QUANTITIES AND SCOPE OF WORK THAT IS TO OCCUR IN ORDER TO ACHIEVE NEW CONSTRUCTION AND COORDINATE ANY DISCREPANCIES WITH THE ARCHITECT.
5. CONSTRUCTION AREA SHALL BE KEPT CLEAN AND SAFE. DISPOSE OF DEBRIS ON LANE AND CLEAN AREAS OF WORK UPON COMPLETION.
6. SLOPE ALL EXTERIOR SLABS, CONCRETE & HARDSHIP AWAY FROM THE BUILDING.

 DAMAGED EXISTING GLAZING TO BE REPLACED TO MATCH EXISTING

KEYNOTES

1. REMOVE NON-HISTORIC STONE VENEER. REPAIR AND RESTORE ORIGINAL STUCCO FINISH.
2. REPAIR AND RESTORE EXISTING STUCCO. MATCH EXISTING TEXTURE.
3. REMOVE NON-HISTORIC STANDING METAL SEAM AWNING. REPAIR AND RESTORE ORIGINAL STUCCO FINISH.
4. REPAIR AND RESTORE EXISTING STONE-OR-MIMIC. REPLACE ANY DAMAGED GLAZING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION. REMOVE NON-HISTORIC WINDOW SILL.
5. REPAIR AND RESTORE EXISTING DOOR. REPLACE ANY DAMAGED GLAZING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION.
6. REMOVE 10'-0" DOOR SWATH HANDING. REPLACE TO MATCH EXISTING STOREFRONT.
7. REPAIR AND RESTORE EXISTING MASONRY.
8. EXISTING PLUMB TREE TO REMAIN. CONTRACTOR TO PROTECT AND WATER TREE DURING CONSTRUCTION.
9. REPAIR AND RESTORE EXISTING STONE VENEER.
10. DEMO EXISTING MASONRY AND ALL ASSOCIATED DUCTWORK. REPAIR AND ALL ROOF PENETRATION.
11. REMOVE NON-HISTORIC DOOR. REPLACE TO MATCH EXISTING STOREFRONT.
12. REPAIR AND RESTORE METAL FASCIA.
13. REPAIR AND RESTORE EXISTING SHUTTLE. REPAIR OR REPLACE EXISTING LIGHT FIXTURES.
14. REPAIR AND RESTORE EXISTING WALL TILE. REPLACE ANY DAMAGED TILE TO MATCH EXISTING.
15. REPAIR AND RESTORE EXISTING METAL FASCIA. REPLACE ANY DAMAGED LUMBER TO MATCH EXISTING.
16. REPAIR AND RESTORE EXISTING STUCCO PLASTER WALL.
17. REPAIR AND RESTORE EXISTING BRICK PLANTER.
18. REPAIR AND RESTORE EXISTING BRICK WALL.
19. REMOVE NON-HISTORIC STUCCO. REPAIR AND RESTORE EXISTING BRICK.
20. REMOVE NON-HISTORIC FRAME WALL. REPLACE WITH NEW STOREFRONT TO MATCH EXISTING EXISTING STOREFRONT.
21. REPAIR AND RESTORE EXISTING STONE PLANTER.
22. REMOVE NON-HISTORIC SIGNAGE.
23. REPAIR AND RESTORE EXISTING ORNAMENTAL STEEL.
24. REPAIR AND RESTORE EXISTING STUCCO CORNICE.
25. REPLACE EXISTING DOOR WINDOW GLASS.
26. REPAIR AND RESTORE EXISTING WINDOWS. REPLACE ANY DAMAGED GLAZING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION.
27. DEMO EXISTING METAL SHED ROOF.
28. DEMO EXISTING MASONRY WALL AND ASSOCIATED FOOTING.
29. DEMO EXISTING DOORS AND WINDOWS.
30. DEMO EXISTING PORTION OF ROOF.
31. REMOVE EXISTING ELECTRICAL METER PANEL AND ALL ASSOCIATED CONDUIT, COORD. W/ MEP.
32. DEMO EXISTING GARAGE DOOR & ASSOCIATED FRAME WALL.
33. REMOVE EXISTING GAS METER. COORD. W/ SOUTHWEST GAS.



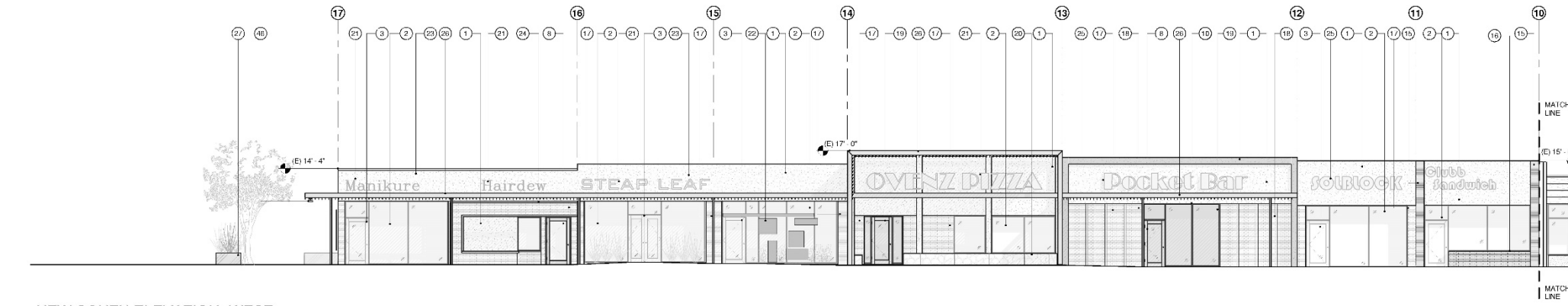
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ISSUE DATE 02/27/23  
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 C-CHECKED BY JHM

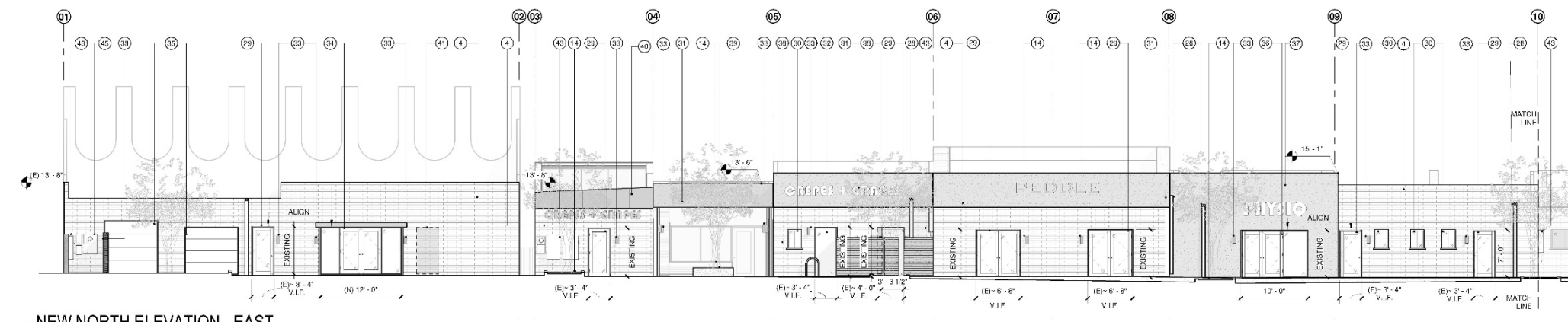
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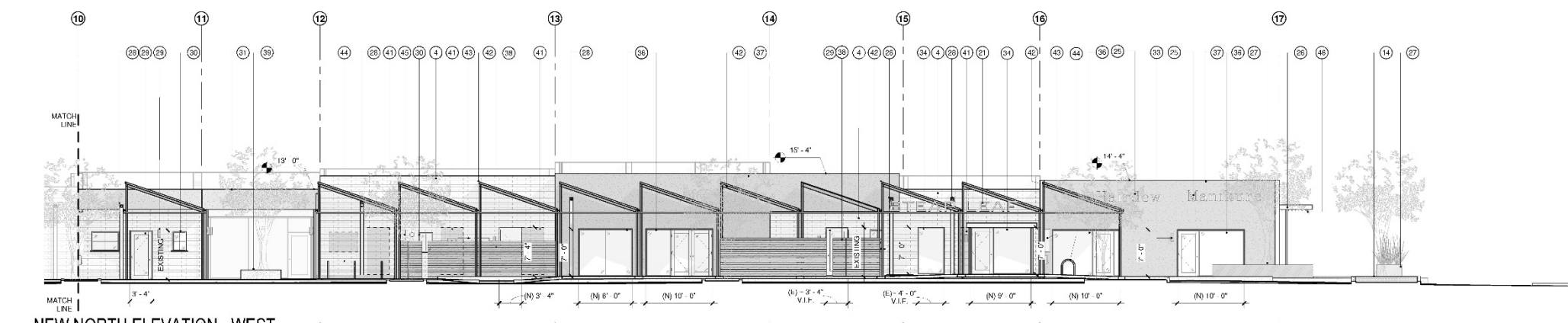
4 NEW SOUTH ELEVATION - EAST  
1/8" = 1'-0"



3 NEW SOUTH ELEVATION - WEST  
1/8" = 1'-0"



2 NEW NORTH ELEVATION - EAST  
1/8" = 1'-0"



1 NEW NORTH ELEVATION - WEST  
1/8" = 1'-0"

- GENERAL NOTE
1. FINISHED FLOOR ELEVATION (FFE) 2.688.82 + 0.00 FOR REFERENCE ONLY. REFER TO CONSTRUCTION PLAN FOR EXISTING STATES FFE.
  2. ALL DIMENSIONS ARE TO FACE OF STUDS AT FILTER WALLS, FACE OF MASONRY, AND/OR EDGE OF CONCRETE SLABS AT EXTERIOR WALLS.
  3. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND ASSEMBLIES.
  4. CONTRACTOR SHALL FIELD VERIFY ALL QUANTITIES PRIOR TO BEGINNING TO DETERMINE THE TOTAL QUANTITIES AND SCOPE OF WORK THAT IS TO OCCUR IN ORDER TO ACHIEVE NEW CONSTRUCTION AND COORDINATE ANY DISCREPANCIES WITH THE ARCHITECT.
  5. CONSTRUCTION AREA SHALL BE 4'-0" CLEAR AND SAFE DISPOSE OF DEBRIS DAILY AND CLEAN AREAS OF WORK UPON COMPLETION.
  6. SLOPE ALL EXTERIOR SLABS, CONCRETE & HARDSCAPING AWAY FROM THE BUILDING.
  7. GLAZING PENETRATION SHALL BE LOW E INSULATED ASSEMBLY (LIGA) OR 28 SIKKO OR BETTER. SIKKO SHALL BE A LAMINATED ASSEMBLY 0.65 U-FACTOR, 28 SIKKO OR BETTER.
  8. ALL NEW GLAZED PENETRATIONS TO BE TEMPERED.
  9. REFER TO FLOOR PLAN FOR LATH SAWING.
  10. WINDOW SUBCONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDER.

- KEYNOTES
1. PAINT EXISTING UNPAINTED SURFACES. COORD. W/ ARCHITECT FOR COLOR & SHEEN.
  2. REPAIR AND RESTORE EXISTING SIGNIFICATION. REPLACE ANY DAMAGED GLAZING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION. REMOVE NON-HISTORIC WINDOW VINYL.
  3. REPAIR AND RESTORE EXISTING DOOR. REPLACE ANY DAMAGED GLAZING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION.
  4. PAINT EXISTING MASONRY WALL. COORD. W/ ARCHITECT FOR COLOR & SHEEN.
  5. EXISTING PAINT TO REMAIN. CONTRACTOR TO PROTECT AND MAINTAIN THROUGH DEMOLITION.
  6. NEW SIGN LETTERS. COORD. W/ ARCHITECTURAL DETAIL.
  7. REPAIR AND RESTORE EXISTING STONE VENEER.
  8. REMOVE NON-HISTORIC DOOR. REPLACE TO MATCH EXISTING SIGNIFICATION.
  9. PAINT EXISTING COORD. W/ ARCHITECT FOR COLOR & SHEEN.
  10. REPAIR AND RESTORE EXISTING SILL. REPAIR OR REPLACE EXISTING LIGHT FIXTURES.
  11. REPAIR AND RESTORE EXISTING WALL TILE. REPLACE ANY DAMAGED TILE TO MATCH EXISTING.
  12. REPAIR AND RESTORE EXISTING WOOD FASCIA. REPLACE ANY DAMAGED LAMBER TO MATCH EXISTING.
  13. REPAIR AND RESTORE EXISTING STUCCO PLASTER WALL.
  14. NEW LANDSCAPE AREA PER ARCHITECTURAL PLAN PACKAGE.
  15. REPAIR AND RESTORE EXISTING DIMENSIONARY.
  16. REPAIR AND RESTORE EXISTING BRICK PLASTER.
  17. REPAIR AND RESTORE EXISTING BRICK WALL.
  18. REMOVE NON-HISTORIC STUCCO CAREFULLY. REPAIR AND RESTORE EXISTING BRICK.
  19. NEW STOREFRONT IN EXISTING OPENING.
  20. REPAIR AND RESTORE EXISTING STONE PLASTER.
  21. FUTURE TENANT SIGN. TYP. UNDER SEPARATE PERMIT. RECON LETTERS IN PAINT PANEL. LESS THAN 1/4" SQUARE. H-H.
  22. REPAIR AND RESTORE EXISTING ORNAMENTAL STIFF.
  23. REPAIR AND RESTORE EXISTING STUCCO. MATCH EXISTING TEXTURE.
  24. REPAIR AND RESTORE EXISTING STUCCO CORNICE.
  25. FUTURE TENANT SIGN. TYP. UNDER SEPARATE PERMIT. RECON LETTERS IN PAINT PANEL. LESS THAN 1/4" SQUARE. H-H.
  26. NEW SHIELD. RE-USE EXISTING (OAK), COORD. W/ ARCHITECTURAL DETAIL.
  27. NEW SHIELD. RE-USE EXISTING (OAK), COORD. W/ ARCHITECTURAL DETAIL.
  28. NEW TITANIUM WALL SUPPLIER W/ DOWNPOUT + SPUR. I BLOCK. (LANDSCAPE LOCATION OR RAINWATER LEADER @ SOUBLOCK). COORD. W/ ARCHITECTURAL DETAIL ALONG ELEVATION.
  29. NEW GLASS STOREFRONT DOOR INSTALLED IN EXISTING OPENING. SUB CONTRACTOR TO VERIFY EXISTING DIMENSION.
  30. REPAIR AND RESTORE EXISTING WINDOWS. REPLACE ANY DAMAGED GLAZING TO MATCH EXISTING. PROTECT DURING INTERIOR DEMOLITION.
  31. NEW FRAMED PARTIAL OF EXISTING ROOF FRAMING IN STUCCO WALLS TO MATCH ADJACENT TEXTURE. COORD. W/ ARCHITECTURAL DETAIL.
  32. NEW GLASS STOREFRONT INSTALLED IN EXISTING OPENING. SUB CONTRACTOR TO VERIFY EXISTING DIMENSION.
  33. EXTERIOR RATED WALL SOURCE DOWN LIGHT CONNECT TO THE TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.
  34. NEW SAW CUT OPENING IN EXISTING MASONRY WALL. NEW STOREFRONT. COORD. W/ STRUCTURAL DWGS.
  35. NEW STOREFRONT IN EXISTING OPENING. SUB CONTRACTOR TO VERIFY EXISTING DIMENSION.
  36. NEW STOREFRONT IN NEW FRAME WALL.
  37. NEW FRAME WALL IN STUCCO FINISH OF EXISTING WALL. NEW FRAME MATCH EXISTING (OAK) COORD. W/ ARCHITECTURAL DETAIL.
  38. NEW WOOD UTILITY FINISH. COORD. W/ ARCHITECTURAL DETAIL.
  39. FINISHED STEEL PLATE WITH CONCRETE SINK.
  40. PAINT EXISTING METAL WALL CLADDING. COORD. W/ ARCHITECT FOR COLOR & SHEEN.
  41. REPAIR EXISTING OPENING TO MATCH EXISTING MASONRY WALL.
  42. NEW SHIELD CANOPY. REFER TO ARCHITECT FOR SIGNIFICATION.
  43. NEW ELECTRICAL EQUIPMENT. PAINT TO MATCH EXISTING SURFACE. COORD. W/ ELECTRICAL DWGS AND DEVELOPMENT PLAN PACKAGE.
  44. ELECTRICAL HOUSE PANELS + TIME CLOCK. PAINT TO MATCH EXISTING SURFACE. COORD. W/ ELECTRICAL DWGS AND DEVELOPMENT PLAN PACKAGE.
  45. EXTERIOR RATED SHUT DOWN LIGHT. CONNECT TO THE TIME CLOCK AT HOUSE PANEL. COORD. W/ ELECTRICAL DWGS.



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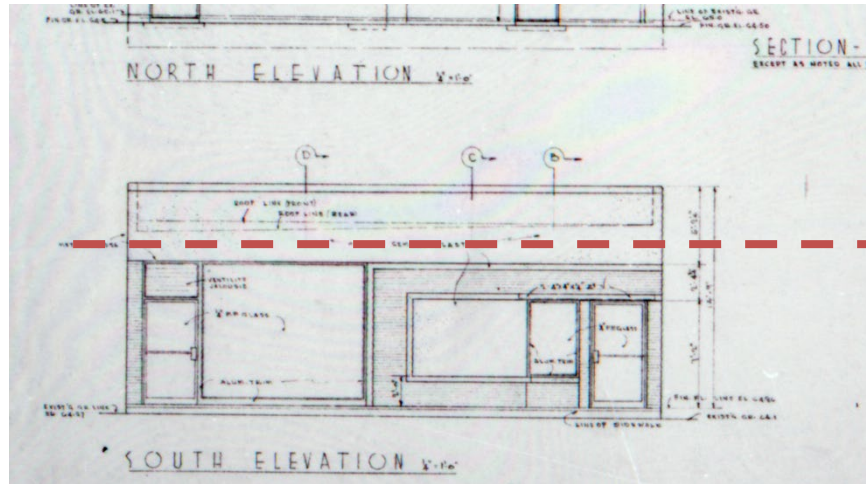
ISSUE DATE: 2023.08.07  
 PROJ #: 718  
 DRAWN BY: SJJ  
 C-CHECKED BY: JHM

REVISIONS

NO.	DESCRIPTION

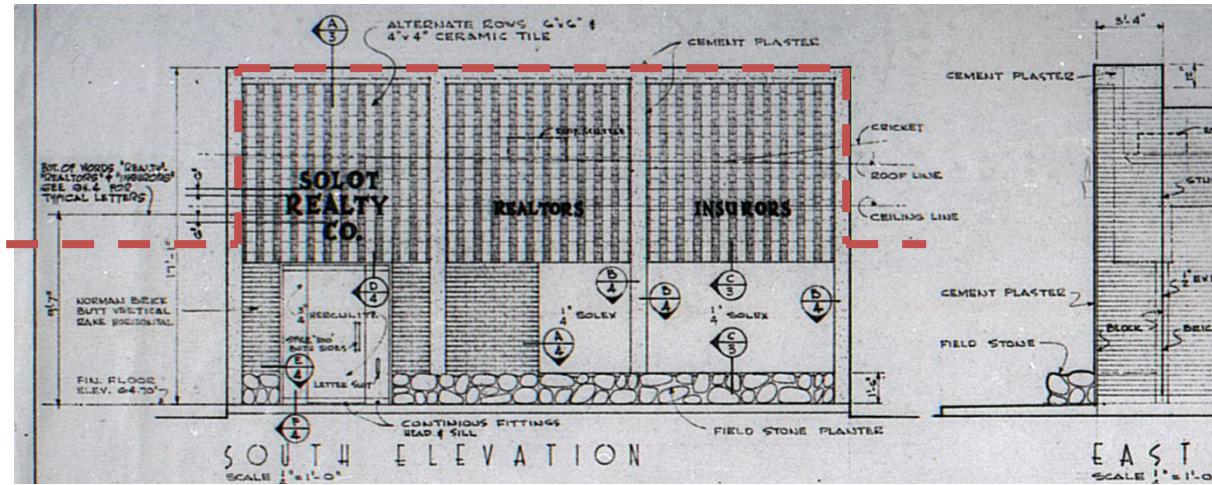
**SOUBLOCK Grey shell**  
 2545-2635 East Broadway Blvd, Tucson, AZ 85716  
 BUILDING ELEVATION





ORIGINAL ELEVATION DRAWING OF 2545 / 2547 E BROADWAY

PROPOSED SHADE TRELLIS AT BROW HEIGHT. THIN AND TRANSPARENT TO MAINTAIN VISIBILITY OF THE BUILDING.



ORIGINAL ELEVATION DRAWING OF 2555 E BROADWAY

PROPOSED SHADE TRELLIS FOLLOWS PERIMETER PROFILE OF THE BUILDING ELEVATION. MAINTAINS VISUAL CLARITY OF THE VERTICAL PROPORTION OF THE BUILDING FAÇADE.





100 E Camelback Rd, Phoenix, AZ 85012, 1955, Dell Webb



238 S Tucson Blvd, Tucson, AZ 85716, unknown architect, 1959

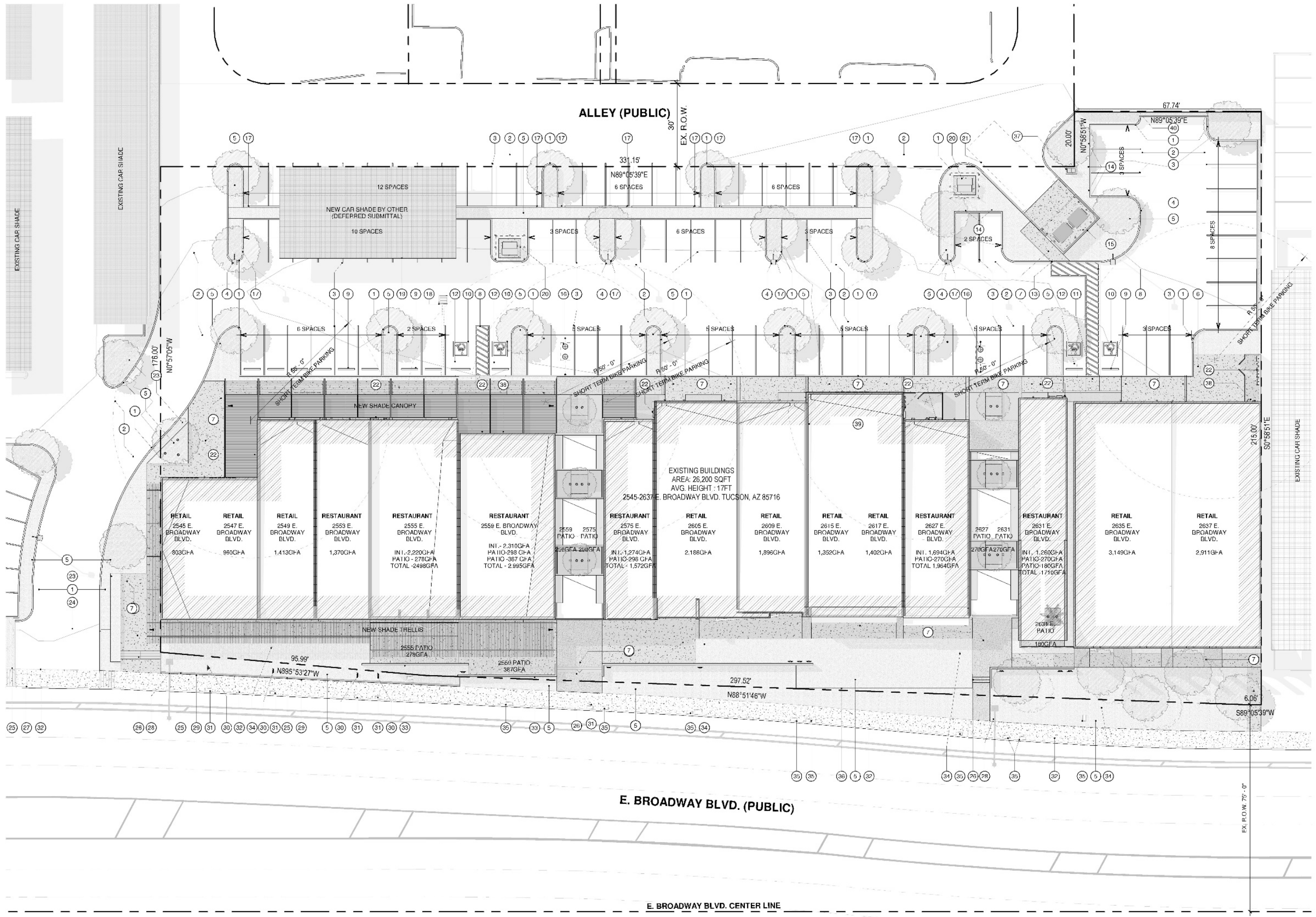


2530 E Broadway Blvd, Tucson, AZ 85716, Bernard Friedman and William Green, 1949



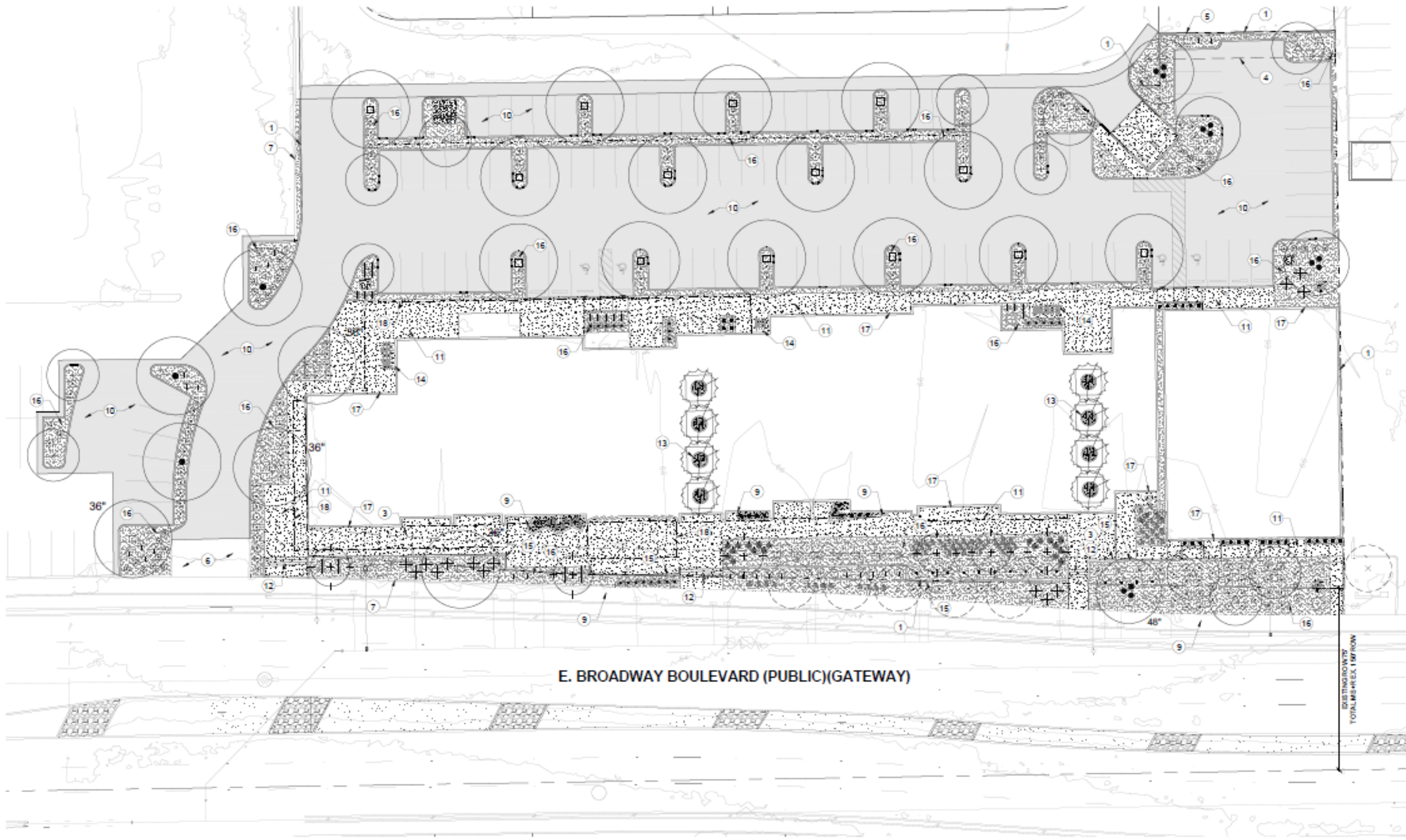


VIEW LOOKING SOUTH FROM NORTH





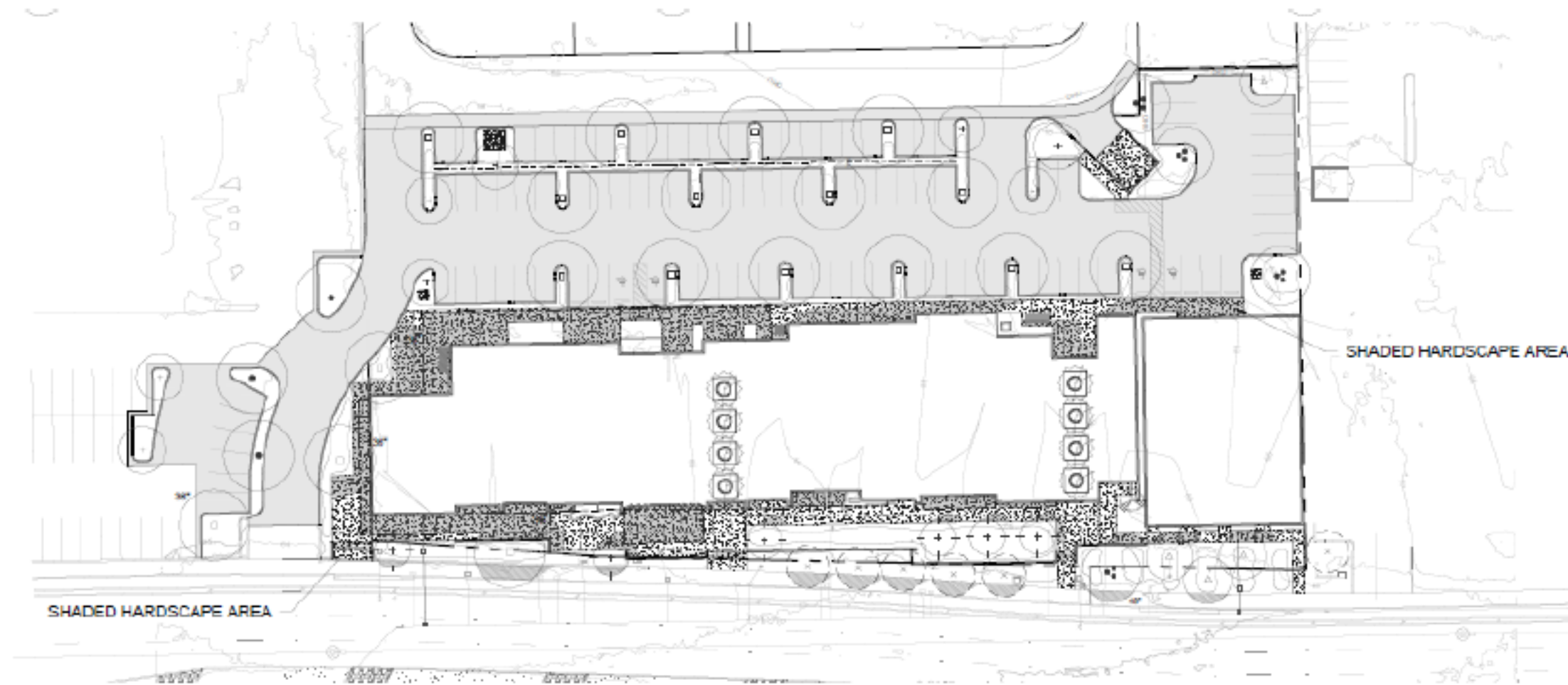
- A. Existing Stucco: Repair where necessary, paint DET482 (Alameda Ochre) DE6365 (Cold Morning)
- B. Existing Brick: clean, tuck & point mortar where necessary
- C. Existing Masonry block: repair where necessary, paint DE6365 (Cold Morning)
- D. Existing Stone masonry: repair where necessary
- E. Existing Storefront: repair broken glass & doors to working condition; clean anodized aluminum, re-seal
- F. Existing Wood Facia: sand & repair where necessary, paint DET423 (Red Craft)
- G. New Shade Structure: painted (DE6365 Cold Morning)
- H. New Shade Structure Soffit: Resysta Composite Wood
- I. New Shade Structure Roof: Standing Seam Metal (white)



**LANDSCAPE LEGEND**  
Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees		
	Size	Qty
Prosopis velutina velvet mesquite	24" box	3
	48" box	1
Acacia salicina willow acacia	24" box	8
Chilopsis linearis 'sweet bubba' sweet bubba desert willow	24" box	4
Acacia willardiana palo blanco	36" box	8
Quercus fusiformis 'Joan Itonetti' live oak	36" box	3
Pistacia x 'Red Push' red push pistache	24" box	14
	36" box	4
Sophora secundiflora texas mountain laurel	36" box	6
Existing tree to remain in place		
Existing palm to remain in place		
Shrubs / Ground Covers		
	Size	Qty
Ruellia brittoniana mexican petunia	5 gallon	21
Ruellia equisetiformis coral fountain	5 gallon	14
Muhlenbergia capilaris regal mist	5 gallon	85
Tradescantia pallida 'purpurea' purple heart	1 gallon	48
Calliandra eriophylla pink fairy duster	5 gallon	9
Eremophila glabra ssp. camosa Winter Blaze™	5 gallon	14
Eremophila glabra 'mingenew gold' outback sunrise emu	5 gallon	16
Existing shrub/accent to remain in place, typ.		
Cacti / Succulents		
	Size	Qty
Yucca rostrata beaked yucca	4" min.	2
Asclepias subulata desert milkweed	single head	43
Hesperaloe parviflora red yucca	5 gallon	38
Pedilanthus macrocarpus lady slipper	5 gallon	25
Agave 'blue glow' blue glow agave	5 gallon	19
Hesperaloe funifera giant hesperaloe	5 gallon	20
Yucca rupicola twisted leaf yucca	5 gallon	70
Euphorbia antisiphilitica candleilla	5 gallon	38
Aloe 'blue elf' blue elf aloe	1 gallon	33

**IMPORTANT-** Much of the plant material specified on these plans will not be available in the market at the time of installation unless it is contract grown and/or brokered. Contractor must initiate necessary contract growing and brokerage of required plant material immediately following contract commencement. Contractor must confirm ability to provide specified material or request alternates in writing within 90 days of commencement of contract. Failure to do so may result in delays in final approval of landscape.



10 **SHADE STUDY**  
SCALE 1" = 40'-0"

**SHADE STUDY**

Public Hardscape Area 12,640 SF

public hardscape shade required (50%)	6,320 SF
public hardscape shade provided (58%)	7,329 SF





VIEW LOOKING NORTHEAST FROM SOUTHWEST CORNER