

LEGAL DESCRIPTION

E208.7' S208.7' NW4 NE4 EXC RD 1 AC SEC 35-13-14

PROJECT DESCRIPTION: NEW SFR

ZONING: HRX-2

BOOK - MAP - PARCEL
110 09 0010

MAILING ADDRESS:
INA A POD LLC
12040 E PRINCE RD
TUCSON AZ, 85749

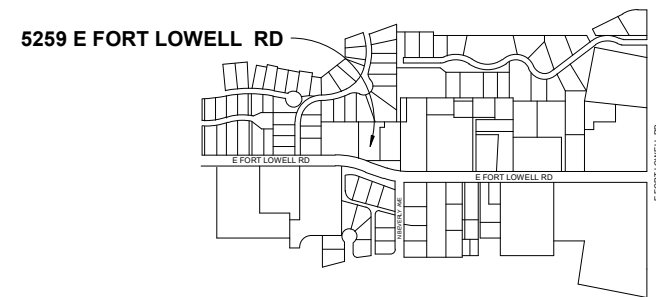
PROPERTY ADDRESS:
5259 E FORT LOWELL RD,
TUCSON, AZ 85712

LOT AREA =	25,660 SQ. FT.	
LIVING SPACE =	4,020 SQ. FT. =	15.66 %
GARAGE =	635 SQ. FT. =	2.48 %
DRIVEWAY =	1,395 SQ. FT. =	5.43 %
EXTG. RUINS =	1,350 SQ. FT. =	5.26 %
TOTAL AREA USED =	7,400 SQ. FT. =	28.83 %

ZONING HRX-2

SETBACKS

- MINIMUM SETBACK REQUIREMENTS:
1. FRONT: 21 FEET
 2. SIDES: 20 FEET EACH
 3. REAR: 20 FEET



LOCATION MAP
SCALE 1" = 150'-0"



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PROJECT DESCRIPTION:
FORT LOWELL'S RESIDENCE

GRIEGO ARCHITECTURAL SERVICES
(520) 834-1900

PROJECT ADDRESS:
5259 E FORT LOWELL RD
TUCSON AZ, 85712

SHEET NAME:
SITE AERIAL VIEW

DRAWN BY:
L.G.

DATE:
02/10/23

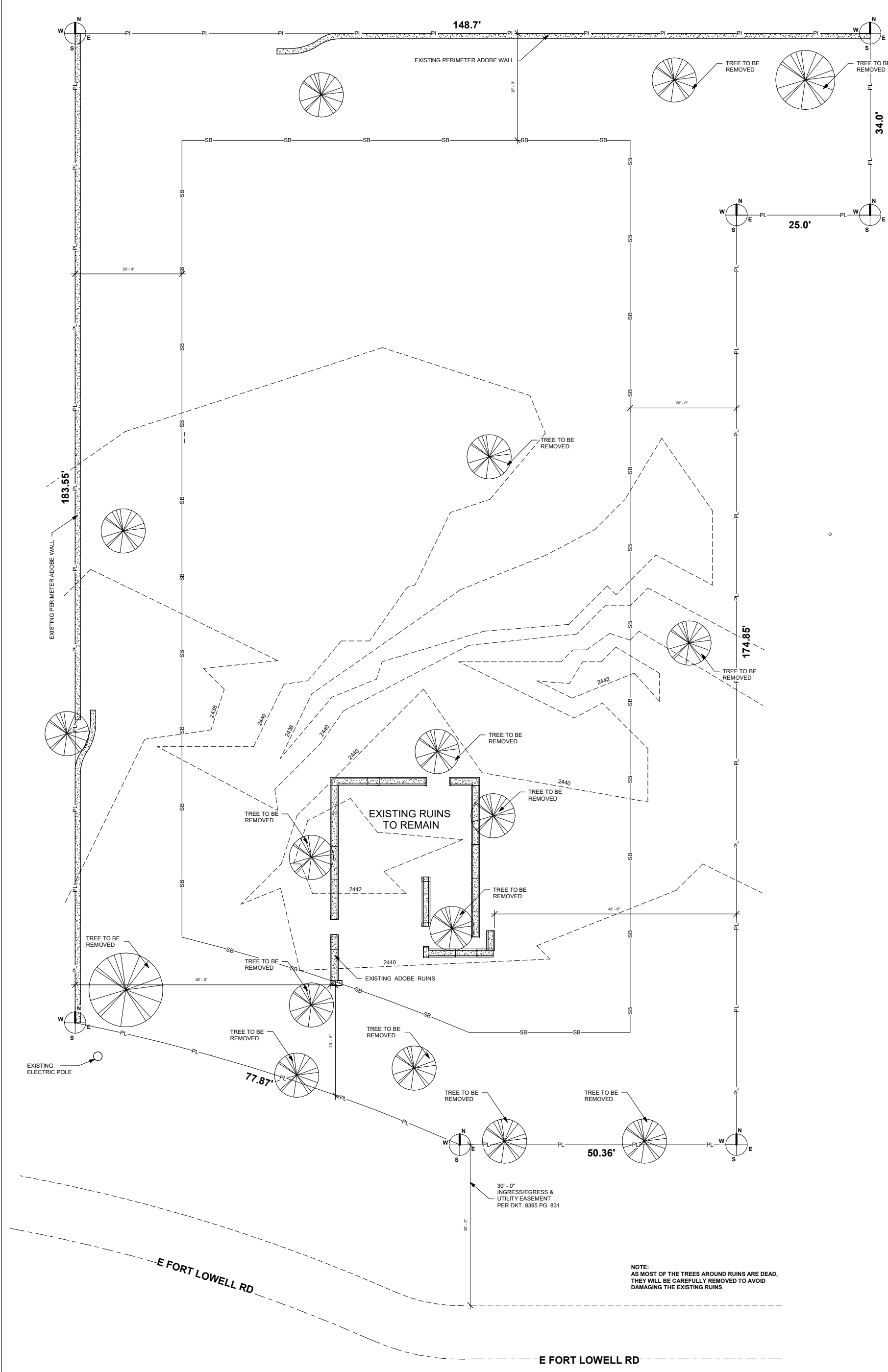
SCALE:

SHEET NUMBER:

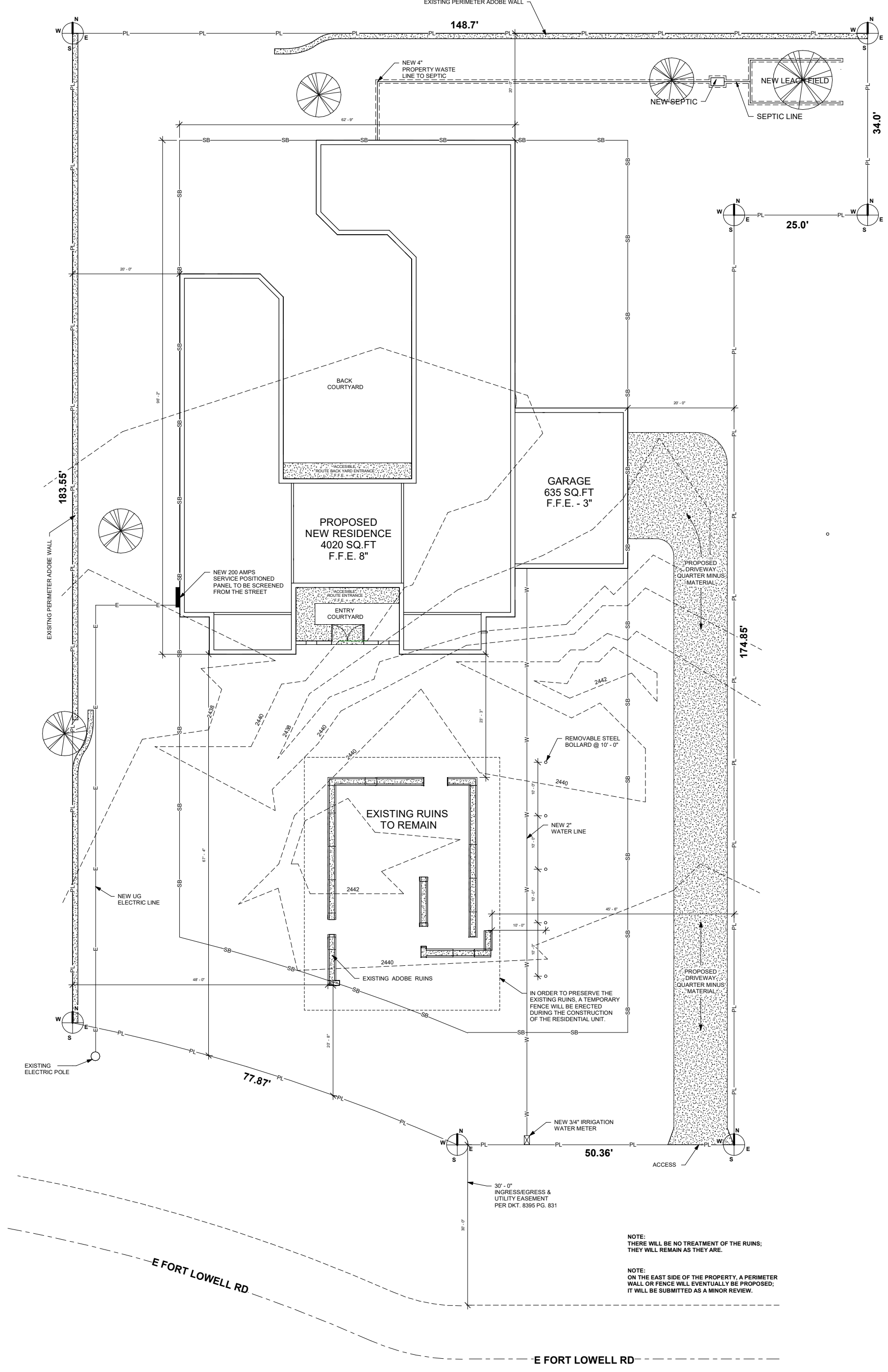
A001

LEGEND

- PL-PL- PROPERTY LINE
- SB-SB- SETBACK LINE
- TOPOGRAPHY
- EXISTING PERIMETER ADOBE WALL



EXISTING SITE CONDITIONS
SCALE 1/8" = 1'-0"



SITE PLAN
SCALE 1/8" = 1'-0"

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SHEET NAME:
SITE CONDITIONS

DRAWN BY:
L.G.

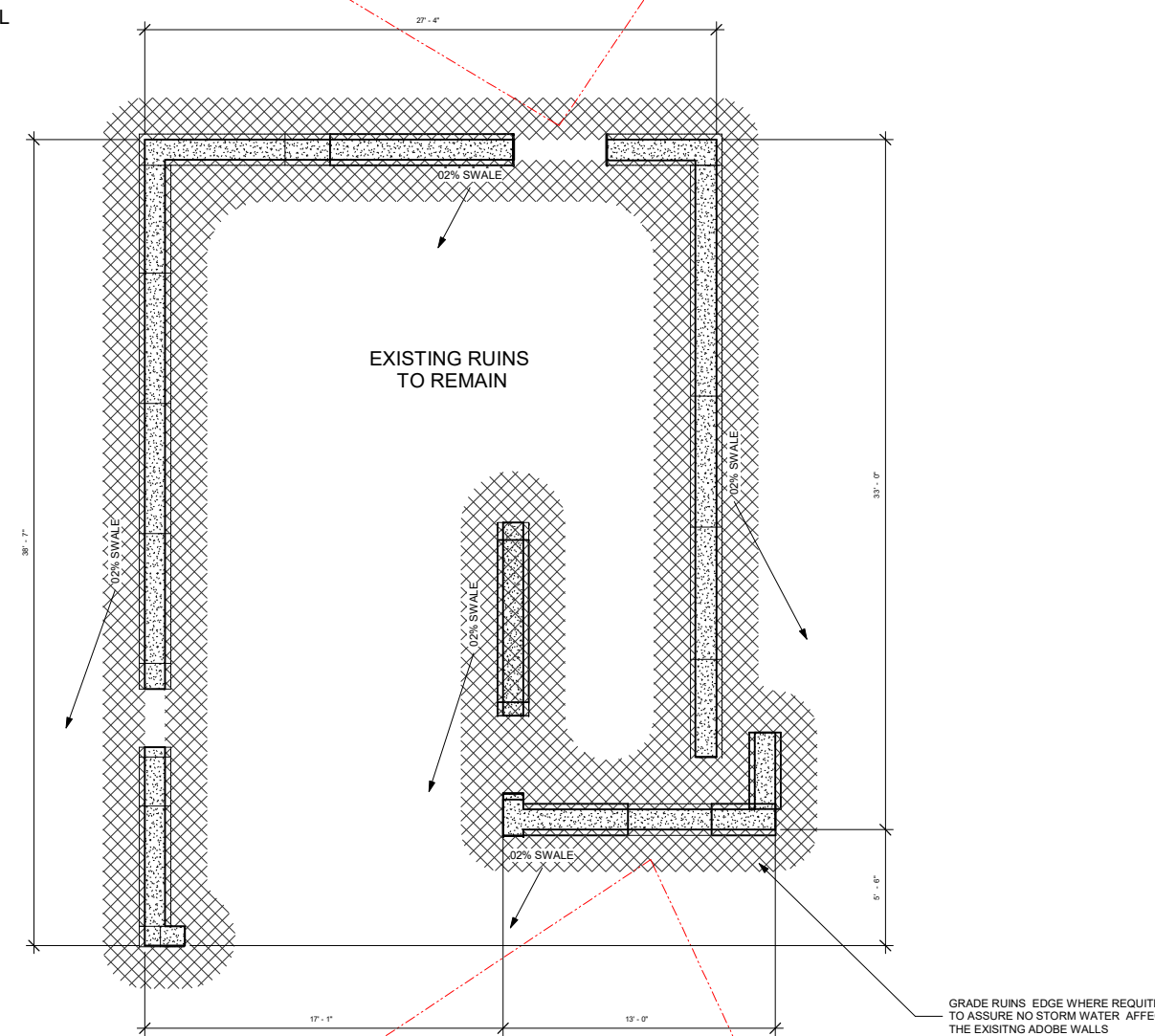
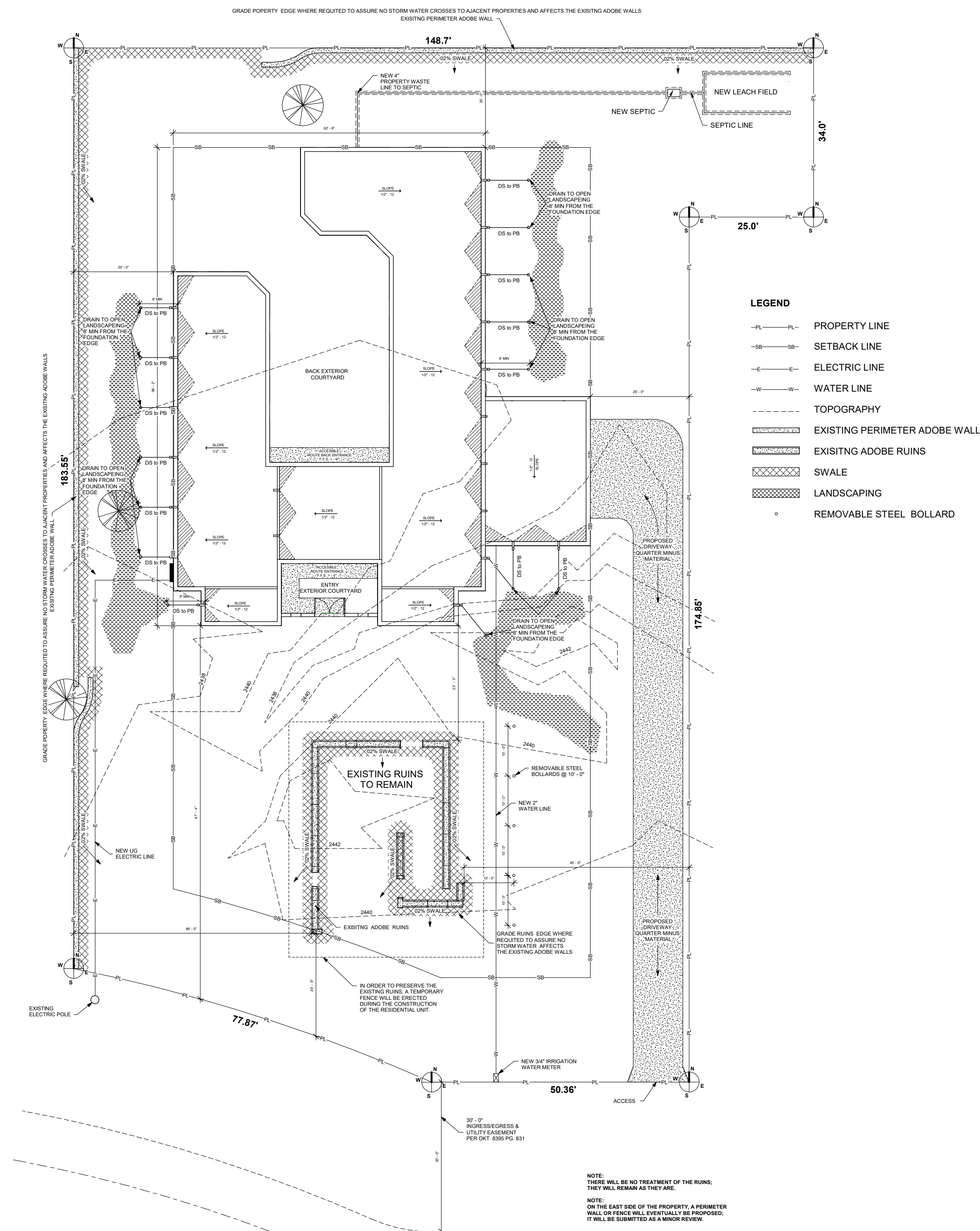
DATE:
02/15/2023

SCALE:
1/8" = 1'-0"

SHEET NUMBER:

A002

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GRADING & DRAIN PLAN
SCALE 1/8" = 1'-0"

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5259 E FORT LOWELL RD
TUCSON AZ, 85712

SHEET NAME:
GRADING PLAN

DRAWN BY:
L.G.

DATE:
02/10/2023

SCALE:
As indicated

SHEET NUMBER:

A003

CITY OF TUCSON INCLUSIVE HOME DESIGN

REQUIREMENTS:

1. THIS ORDINANCE APPLIES TO ALL DWELLING UNITS (SITE BUILT HOMES) PERMITTED FOR CONSTRUCTION IN INCORPORATED CITY OF TUCSON.
2. PROVIDE AT LEAST ONE EXTERIOR ACCESSIBLE ROUTE AND ENTRANCE. THE ROUTE MAY ORIGINATED FROM THE CARPORT, DRIVEWAY, PUBLIC STREET OR SIDEWALK. THE SLOPE OF THIS ROUTE SHALL NOT EXCEED ONE-FOOT VERTICAL RISE PER TWENTY FEET HORIZONTAL DISTANCE (1:20), UNLESS A RAMP PER 2016 IRC IS CONSTRUCTED.

NOTE:

- INDICATE THE EXTERIOR ACCESSIBLE ROUTE AND ACCESSIBLE ENTRANCE ON SINGLE FAMILY RESIDENCE SITE PLAN.
- SPECIFY THE LOCATION OF SIDEWALKS OR OTHER MEANS OF COMMUNICATION BETWEEN THE ACCESSIBLE ROUTE AND THE PUBLIC WAY, A117.1 - 1003.2 (NOT A REQUIREMENT ON MODEL PLANS)

3. ACCESSIBLE ENTRANCE:

PROVIDE MINIMUM ONE NO-STEP LEVEL ENTRANCE THAT IS A MINIMUM 32" WIDE AND MEETS THE DOOR HARDWARE REQUIREMENTS PER THIS ORDINANCE. (NOTE: EXIT DOORS ARE REQUIRED TO BE 36" MINIMUM AND THE GARAGE SHALL NOT BE USED AS AN EXIT). THE ACCESS FLOOR SHALL HAVE A MINIMUM 36" WIDE HALLWAY AND ACCESSIBLE DOORS TO ALL SPACES AND ELEMENTS TO BE MINIMUM 2' 0" DOOR.

NOTE:

ALL DOORS, HALLWAY AND OPENING TO BE CLEARLY DIMENSIONED AND INDICATED ON FLOOR PLAN

4. CHANGE IN FLOOR LEVELS AND THRESHOLDS, AT THE ACCESSIBLE ENTRANCE AND ALONG ACCESSIBLE ROUTES MAY BE 1/2" HIGH MAXIMUM. THIS MUST BE BEVELED FROM 1/4" TO 1/2" MAXIMUM WITH A SLOPE NOT STEEPER THAN 1 INCH RISE IN 2 INCH RUN (1:2).

5. DOOR HARDWARE:

HANDLES, PULL LATCHES, LOCK AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND THAT DOES NOT REQUIRE GRASPING, PINCHING OR LISTING OF THE WRIST TO OPERATE. LEVER HARDWARE SATISFIES THE REQUIREMENTS OF THIS PROVISION.

6. BATHROOM WALL REINFORCEMENT:

IN ALL BATHROOMS ON THE ACCESSIBLE ROUTE, REINFORCEMENT SHALL BE INSTALLED TO ALLOW THE FUTURE INSTALLATION OF GRAB BARS ON WALLS ADJACENT TO THE TUB AND THE TOILET. IN ADDITION, REINFORCEMENT SHALL BE INSTALLED IN SHOWER COMPARTMENTS FOR FUTURE INSTALLATION OF BARS. THIS REINFORCEMENT SHALL BE INSTALLED FLUSH WITH THE STUDS AND AT THE FOLLOWING LOCATIONS.

NOTE:

ALL BATHROOMS, IF MORE THAN 1, ON ACCESSIBLE FLOOR SHALL BE ACCESSIBLE. AT LEAST ONE BATHROOMS IS REQUIRED ON ACCESSIBLE FLOOR. (WATER CLOSET, LAVATORY, AND BATHTUB OR SHOWER)

TOILET: 33'-36" ABOVE THE FLOOR ON ALL ADJACENT WALLS. HORIZONTAL LENGTH OF REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW 42" GRAB BAR AND 24" REAR GRAB BAR.
NOTE: NOTHING IN THE ORDINANCE REQUIRES THAT TOILET BE PLACED BY A SIDEWALL.

TUB: HORIZONTAL LENGTH REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW FOR:

- A) BACK WALL: TWO BACKING REINFORCEMENTS, ONE BACKING REINFORCEMENT HORIZONTAL POSITION 33'-MINIMUM AND 36" MAXIMUM ABOVE THE FLOOR, AND ONE BACKING REINFORCEMENT 9" ABOVE THE RIM OF THE BATHTUB, EACH BACKING REINFORCEMENT SHALL BE 24" LONG MINIMUM AND SHALL BE 24" MAXIMUM FROM THE HEAD END WALL AND 12" MAXIMUM FROM THE FOOT END WALL.
- B) FOOT END WALL: ONE BACKING REINFORCEMENT 24" LONG MINIMUM ON THE FOOT END WALL AT THE FRONT EDGE OF THE BATHTUB.
- C) HEAD END WALL: ONE BACKING REINFORCEMENT 12" LONG MINIMUM ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.
- D) SHOWER COMPARTMENTS SHALL HAVE BACKING ON A MINIMUM OF TWO WALLS NOT TO INCLUDE CONTROL VALVE WALL MOUNTED AT 33'-36" ABOVE SHOWER FLOOR.

ALL WALL REINFORCEMENT SHALL BE CAPABLE OF RESISTING SHEAR AND BENDING FORCES OF A MINIMUM OF 250 POUNDS. REINFORCEMENTS IS NOT REQUIRED AT THE LOCATION OF VANITIES, LINEN CLOSETS, AND PRE-MOLDED SHOWER/TUB SURROUNDS, OR IN A ROOM CONTAINING ONLY A SINK AND A TOILET, PROVIDED THAT THE ROOM DOES NOT CONTAIN THE ONLY SINK OR TOILET ON THE ACCESSIBLE FLOOR OF THE HOME.

7. ELECTRICAL:

ALL LIGHT CONTROLS SHALL BE PLACED NO HIGHER THAN 48", ON CENTER, ABOVE THE FLOOR, WHERE PRACTICAL. ALL ELECTRICAL RECEPTACLES SHALL BE PLACED NO LOWER THAN 15" ON CENTER, ABOVE THE FLOOR. ALL THERMOSTATS SHALL BE PLACED NO HIGHER THAN 48", ON CENTER, ABOVE THE FLOOR. THE EXCEPTIONS TO THESE PROVISIONS ARE AS FOLLOWS:

1. ELECTRICAL RECEPTACLES SERVING A DEDICATED USE.
2. APPLIANCE MOUNTED CONTROLS OR SWITCHES.
3. A SINGLE OUTLET WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
 - A) THE OUTLET IS ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE.
 - B) AT LEAST ONE RECEPTACLES IS PROVIDED FOR THAT LENGTH OF COUNTERTOP.
 - C) ALL OTHER RECEPTACLES PROVIDED FOR THAT LENGTH OF COUNTER SET NOT HIGHER THAN 48".
4. FLOOR ELECTRICAL RECEPTACLES.
5. PLUMBING FIXTURE CONTROLS.
6. HVAC DIFFUSERS
7. CEILING FAN MOUNTED CONTROLS.

NOTE:

ALL CONSTRUCTION DRAWINGS SUBMITTED AFTER JUNE 1, 2010 FOR ONE- OR TWO-FAMILY DWELLINGS MUST PROVIDE GRAY WATER UTILIZATION OR PREPARATION. ORDINANCE #1057911089 REVISED JULY 9, 2013. THE ORDINANCE REVISION NOW REQUIRES A GRAY DRAIN LINE DISCHARGE FROM ONE FIXTURE FOR A ONE STORY DWELLING. ADDITIONAL GRAY FIXTURE DRAINS ARE OPTIONAL. SHOW A SECOND CLOTHES WASHER STANDPIPE PLUMBED TO AN EXTERIOR WALL ABOVE GRADE WHEN FEASIBLE. OR A BATHING FIXTURE DRAIN LOOPED 3' BEYOND AN EXTERIOR WALL BELOW GRADE BEFORE CONNECTION TO THE BUILDING DRAIN. USE THE APPROPRIATE DETAIL AT [HTTPS://WWW.TUCSONAZ.GOV/PDSD/WATER-ENERGY-CONSERVATION](https://www.tucsonaz.gov/pdsd/water-energy-conservation)

SHOW COMPLIANCE WITH THE ELECTRIC VEHICLE SUPPLY EQUIPMENT ORDINANCE ADOPTED BY THE CITY OF TUCSON ORDINANCE #11844 ON 6/22/2021. INCLUDE A 40 AMPERE 240 VOLT DEDICATED BRANCH CIRCUIT WITH A NEMA 14-50R RECEPTACLE FOR CHARGING AN ELECTRIC VEHICLE AT A PROPOSED PARKING SPACE OR SHOW THE DISTANCE FROM TRANSIT OR A BIKE BOULEVARD AS NOT GREATER THAN A QUARTER-MILE.

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**GRIEGO
ARCHITECTURAL SERVICES**
(520) 834-1900

PROJECT ADDRESS:
5259 E FORT LOWELL RD
TUCSON AZ, 85712

SHEET NAME:
GENERAL NOTES

DRAWN BY:
L.G.

DATE:
02/10/2023

SCALE:

SHEET NUMBER:

A004

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE COMMENCING WORK.
2. DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS, OR WHERE NO DIMENSIONS IS GIVEN CONSULT THE OWNER FOR CLARIFICATIONS BEFORE PROCEEDING WITH WORK.
3. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT WHETHER SPECIFICALLY CALLED OUT OR NOT.

WOOD

1. PLYWOOD ROOF USE 4X8 SHEET, STAGGER JOINTS. ATTACH SHEATING WITH 8D COMMON NAILS @ 6" O.C. AT SUPPORTED EDGES, AND 12" O.C. AT ALL INTERMEDIATE LOCATIONS.
2. STRUCTURAL DIMENSIONS LUMBER SHALL CONFORM TO THE CURRENT STANDARD GRADING RULES FOR THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB), OR TO THE CURRENT STANDARD GRADING RULES FOR WESTERN LUMBER OF THE WESTERN WOOD PRODUCTS ASSN (WWPA).
3. FRAMING LUMBER SHALL BE FREE FROM WARP THAT CANNOT BE CORRECTED BY BRIDGING, BLOCKING OR NAILING.
4. WOOD CONNECTORS ARE "SIMPSON STRONG" TYPE. PROVIDE "SIMPSON" METAL FRAMING CONNECTORS FOR THE PROJECT WHETHER SPECIFICALLY CALLED OUT ON PLANS, OR NOT (I.E. JOIST HANGERS, FRAMING ANGLES, SHEATING CUPS, ETC.)

MISCELLANEOUS

1. ALL WORK SHALL BE IN STRICT COMPLIANCE WITH 2018 IRC
2. ALL CONCRETE SHALL DEVELOPE A MIN OF 2500 PSI TO 28 DAYS
3. ALL ELECTRIC WORK SHALL CONFORM TO THE LATEST EDITION OF THE 2018 IRC
4. ALL PLUMBING WORK SHALL CONFROM TO THE LATEST EDITION OF THE 2018 IRC

NOTES:

1. WHEN APPLYING A WATER - BASED TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" FOR 16" O.C FRAMING, AND FROM 1/2" TO 5/8" FOR 24" O.C OR 1/2" SAG-RESISTANT GYPSUM CEILING BOARD SHALL BE USED. REFERENCE IRC TABLE R702.3.5, FOOT NOTE D.
2. THAT IRC SECTION N1102.3 REQUIRES THAT OPAQUE DOORS HAVE A U-FACTOR OR 0.35 OR LESS. ONE DOOR IS PERMITTED TO BE EXEMPT FROM THIS REQUIREMENT. PLEASE ADD THIS TO THE ENERGY CONSERVATION INFORMATION.
3. ALL JOINTS, SEAMS, PENETRATIONS AND OTHER SOURCES OF AIR LEAKAGE THROUGH THE BUILDING THERMAL ENVELOPE, SHALL BE CAULKED, GASKETED, WRAPPED OR OTHERWISE SEALED TO LIMIT UNCONTROLLED AIR MOVEMENT. REFERENCE IRC SECTION N1102.1.10
4. ALL WINDOWS ARE TO BEAR A NATIONAL FENESTRATION RATING COUNCI (NFRC) STICKER. MAXIMUM ALLOWABLE SOLAR HEAT GAIN COEFFICIENT (0.25 SHGC) U-FACTOR .040 (LOWER IS BETTER). REFERENCE IRC SECTION N1102.1.2

BSMT. AND SLEEPING ROOMS REQD. TO HAVE 1 WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY TO A PUBLIC WAY.

SAFETY GLAZING REQD. FOR ALL WINDOWS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF A DOOR.

VENTILATION REQD. AS PER 2018 IRC SECTION R303

SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACKUP. DETECTORS SHALL SOUND AND ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED (INTERCONNECTING MAY BE REQUIRED)

DOUBLE KEYED DEAD BOLTS NOT PERMITTED ON REQD. EXITS OR EMERGENCY ESCAPE ROUTES

SAFETY GLAZING REQD. IN WINDOW LESS THAN 60" ABOVE DRAIN

INTERNATIONAL ENERGY CONSERVATION CODE:

IRC 2018
PER SECTION N1102.1.2
THE SOLAR HEAT GAIN COEFFICIENT SHGC MINIMUM VALUE OF 0.25
ENERGY EFFICIENCY INFORMATION

1. WALLS - BLOCK WALL FILL WITH VERMICULITE (EXPANDED) WITH 2" X 4" @ O.C FURRING W/R-13 MINERAL FIBER BATT INSULATION WITH 1/2" GYPSUM BOARD
2. ROOF - BUILT UP ROOFING TYP1 LAYER OF MOPPED 15 LB FELT, OVER TRUSSES 2" X 4S @ 24" O.C. WITH 1/2" PLYWOOD R-38 FIBER GLASS BATT INSULATION WITH 1/2" GYPSUM BOARD
3. THE REQUIRED LAYER OF IMPERMEABLE RIGID INSULATION WITH ASSOCIATED R-5 VALUE TO THE UNDERSIDE OF THE SHEATING PER 2018 IRC TABLE R806.5
4. WINDOWS - DUAL PANE METAL SASH MINIMUM .40 U VALUE
5. METAL DOORS - MINERAL FIBER CORE .59 U VALUE

NOTE:

THE T AND P RELIEF LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN 2 FEET OR LESS THAN 6 INCHES ABOVE GRADE.
IRC SECTION P2804.4

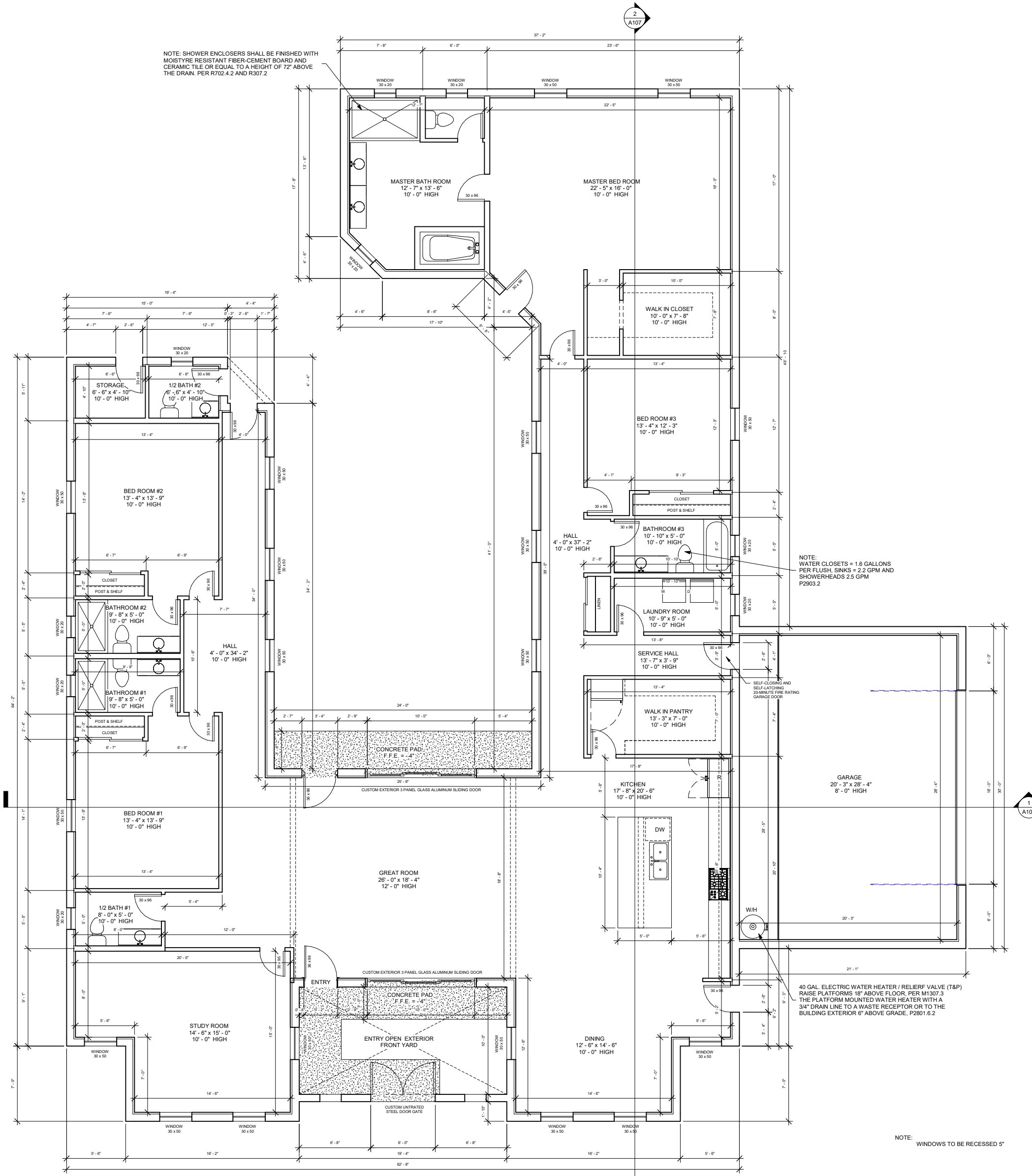
NOTE:

EVERY SLEEPING ROOM AND BASEMENT WITH HABITABLE SPACE SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
IRC SECTION R310.1

ENERGY CERTIFICATE: (MANDATORY) PLACE NEAR THE INDOOR FURNACE OR IN UTILITY ROOM, N1101.14.

POWERS STEEL LINTELS FOR MASONRY OPENINGS
LINTEL LOAD TABLE (IN POUNDS PER LINEAL FOOT)

SPAN	PS5-8"	PS8-12" W/ #9
3'-4"	1024	N/A
4'-0"	853	N/A
6'-0"	568	N/A
10'-8"	N/A	2026
16'-0"	N/A	1005



LIVING AREA: 4020 SQ FT
GARAGE: 635 SQ FT

FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE: WINDOWS TO BE RECESSED 5"

NOTE: WATER CLOSETS = 1.6 GALLONS PER FLUSH, SINKS = 2.2 GPM AND SHOWERHEADS 2.5 GPM P0003.2

40 GAL. ELECTRIC WATER HEATER / RELIEF VALVE (T&P) RAISE PLATFORM 18" ABOVE FLOOR PER M1307.3 THE PLATFORM MOUNTED WATER HEATER WITH A 3/4" DRAIN LINE TO A WASTE RECEPTOR OR TO THE BUILDING EXTERIOR 6" ABOVE GRADE. P2801.1.2

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TUCSON AZ, 85712

SHEET NAME:
FLOOR PLAN

DRAWN BY:
L.G.

DATE:
02/15/2023

SCALE:
1/4" = 1'-0"

SHEET NUMBER:

A005

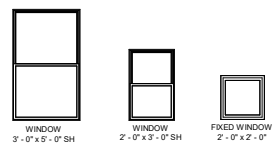
NOTES:

APPROVED CORROSION-RESISTANT FLASHING IS TO BE PROVIDED AT ALL OF THE FOLLOWING LOCATIONS:

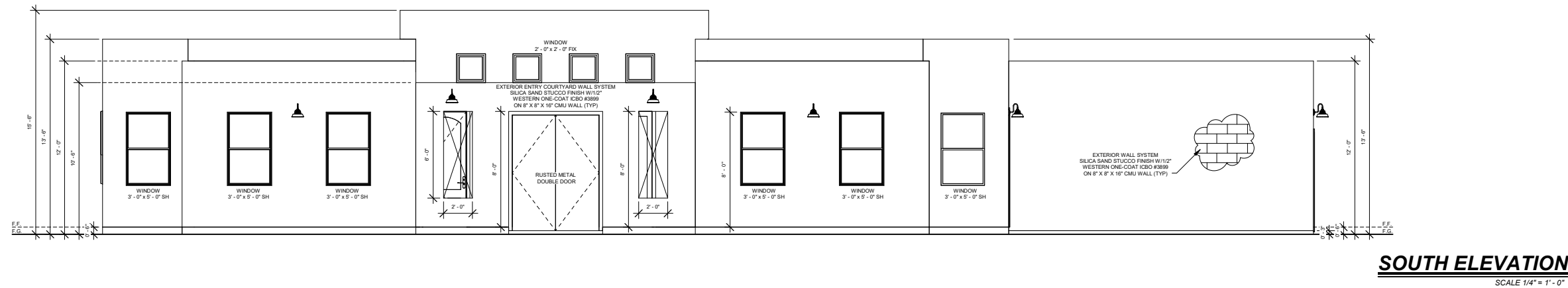
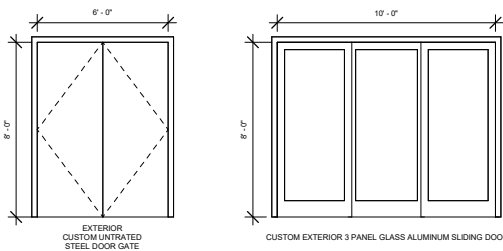
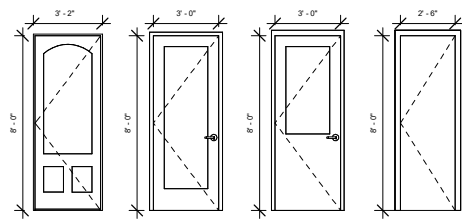
- AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS;
- AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS;
- UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS;
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM;
- WHERE EXTERIOR PORCHES DECKS OR STAIRS, ATTACH TO A WOOD FRAME WALL OR FLOOR ASSEMBLY;
- AT WALL AND ROOF INTERSECTIONS;
- AT BUILT-IN GUTTERS.

REFERENCE IRC SECTION R703.8 ALL ROOF SLOPES 1/4" PER FOOT. 2018 IRC SECTION R905.9.1

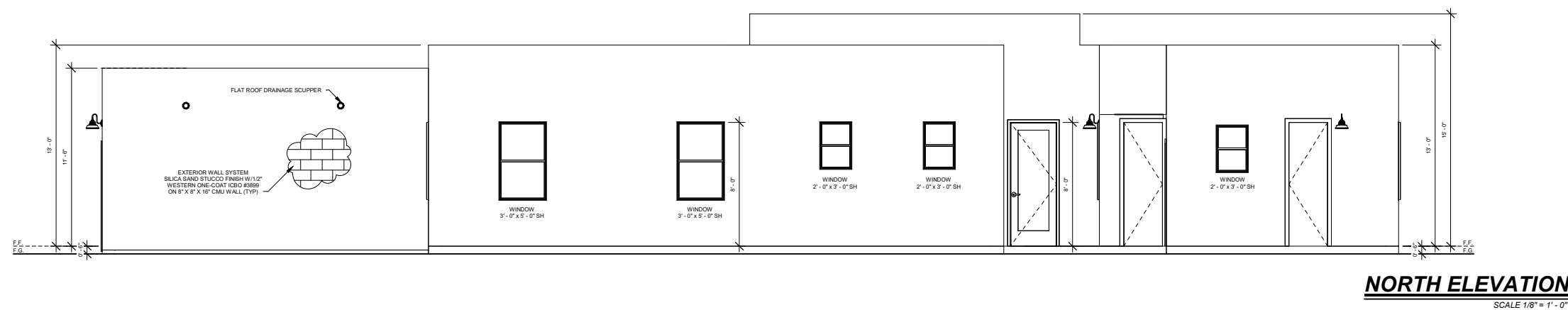
NOTE: BOTTOM OF WINDOW SILL TO BE AT 44" MAX. ABOVE FIN. FLOOR.



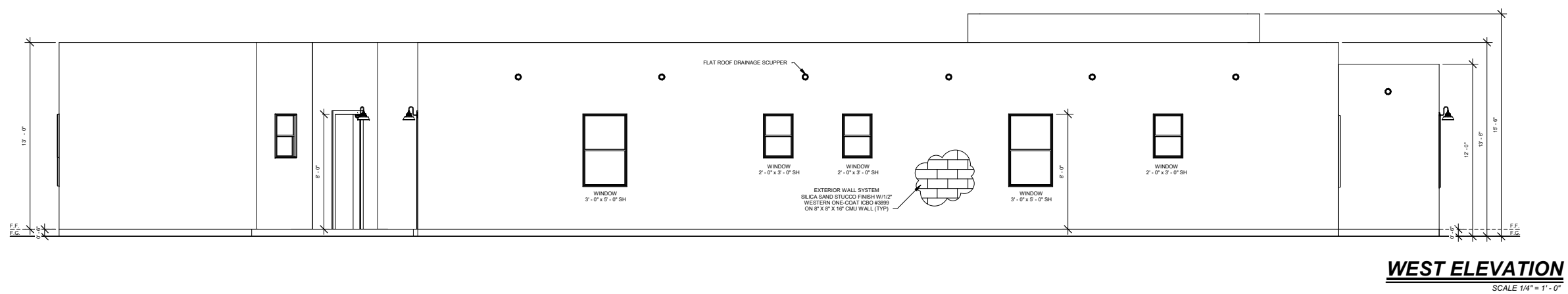
NOTE: WINDOWS TO BE RECESSED 5".



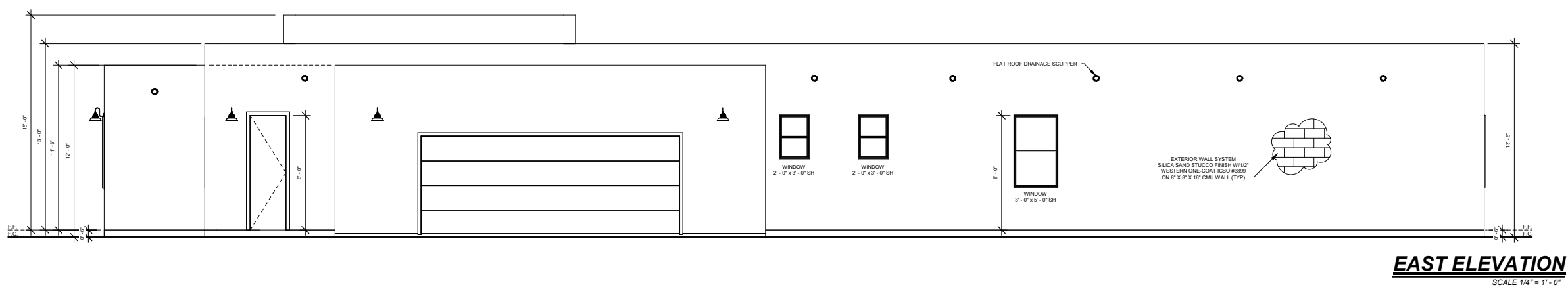
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

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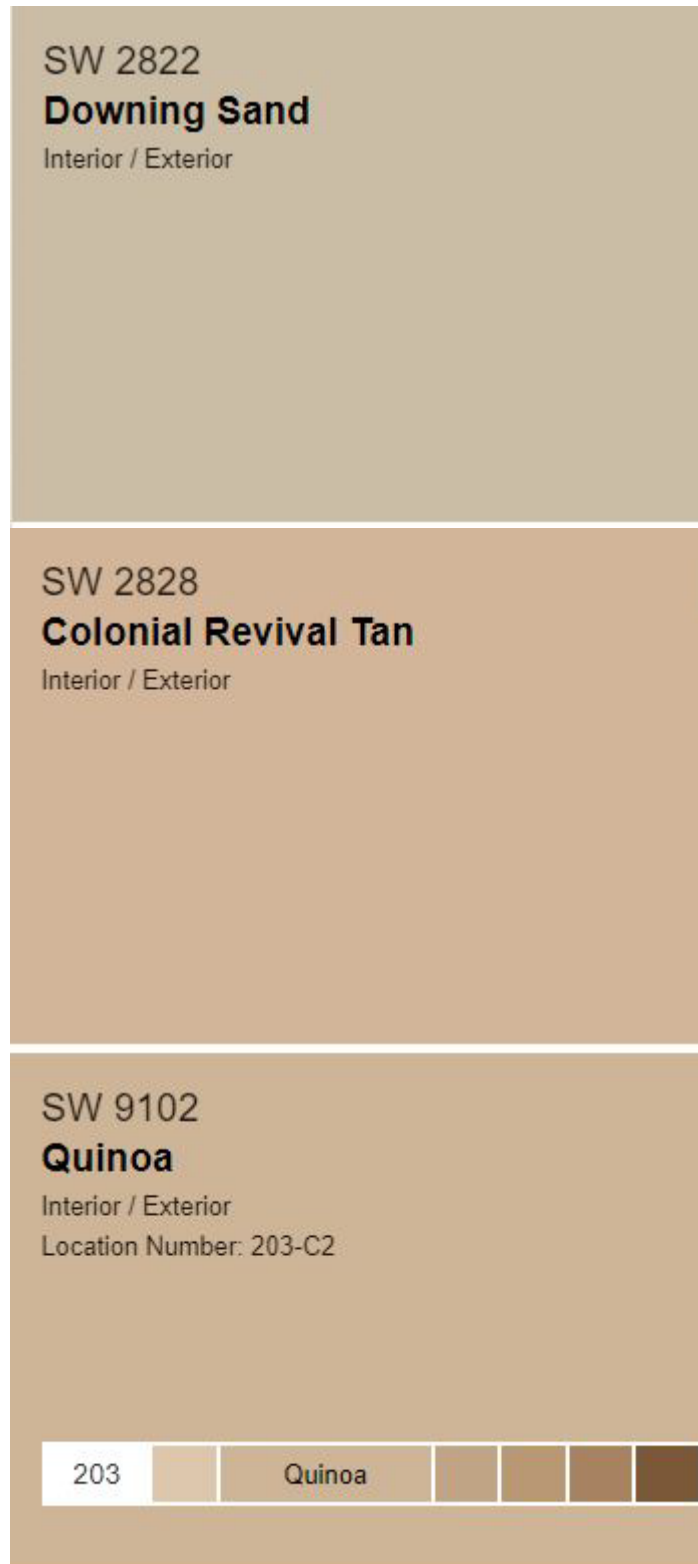
SHEET NUMBER:

A006

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd

Paint sample chips:



PROPOSED DOORS



Rusted Metal Double Door Entry Courtyard



Rusted Metal Garage Door



Option A (Aluminium Clad Wood 3 panel Sliding Glass Door)



Option B (Aluminium Clad Wood French Door with Windows next to the Door)



Aluminium Clad wood Entry Door

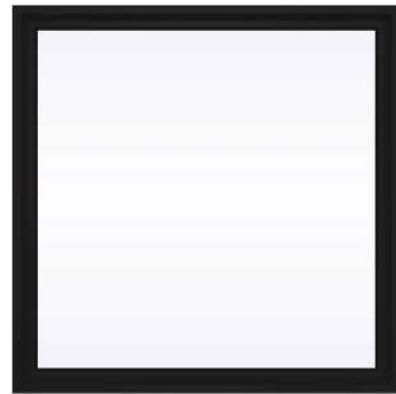
PROPOSED WINDOWS



Aluminium Clad Wood Single Hung Window



Material Detail: Aluminium Clad Wood



Aluminium Clad Wood Fixed Window

5259 E FORT LOWELL RD (T22CM06756)
DEVELOPMENT ZONE (CONTRIBUTING PROPERTIES)



LEGEND

- DEVELOPMENT ZONE BOUNDRY
- SUBJECT LOT
- CH CONTRIBUTING HISTORIC PROPERTY

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Front view of 5215 from the South of E Fort Lowell Rd, the residence of Pan American Literature Mission. The subject is located directly West and access beings around 30 feet from the property share line wall, and its measured 15 feet in width to the West from the existing electric post.



Looking North West at the 5215 E Fort Lowell Rd, driving access.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking East at the 5215 E Fort Lowell Rd building same window type and detail, note wall texture.



Looking South at the 5215 E Fort Lowell Rd building same window type and detail, note wall texture.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Front view of 5301 Parcel A from the South side of E Fort Lowell Road.
The subject property is located directly east 28.1 feet in width to the east property line



Looking South East at the 5301 Parcel A E Fort Lowell residence.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking North at the area where the proposed residence is to be built. The buildings beyond are part of HILL FARM (CONDOMINIUMS) development. They are located across a private road beyond the wall on the North property line. It's proposed that the North end of the proposed residence to be located 7 foot and 9 inches of the 20 foot setback



Looking West at the area where the proposed residence is to be built. The neighbor's property is beyond the adobe wall.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking South across the area where the proposed residence is to be built. Note that existing ruins will be kept as a remaining historical preservation of the site.



Looking West at the existing ruins to be remaining on the site.

This ends the pictorial documentation for the subject property at 5259 E Fort Lowell Rd.

The following sheets will show the neighbor properties in the development zone.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking South across the 5259 E Fort Lowell Rd property from about front property line of the 5250 E Fort Lowell Rd property.



Looking North showing more detail of the property gate materials.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking South across the 5259 E Fort Lowell Rd property from about front property line of the 5270 E Fort Lowell Rd property.



Looking South East across the 5259 E Fort Lowell Rd property from about front property line of the 5280 E Fort Lowell Rd property.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking South West across the 5259 E Fort Lowell Rd property from about front property line of the Old Fort Lowell Neighborhood Center, at 5230 E Fort Lowell Rd pro



Looking East showing window style and detail , as well wall texture.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking South showing window style and detail , as well wall texture.



Looking North showing door style and detail , as well wall texture

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking West showing attached structure to the building, detail of wood framed Ramada with pavers.



Looking North across the site, showing a detail Ramada, characterized by this vernacular architecture.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking North from the South of E Fort Lowell Rd at the property at 5611 E Fort Lowell Rd.



Looking North showing window type and detail along with wall type and texture, and canale type.

T22CM06756 FORT LOWELL'S RESIDENCE – HISTORIC REVIEW

Pictorial documentation in support of the proposed residence to be built at 5259 E Fort Lowell Rd



Looking North West from E Fort Lowell Rd, at the front entrance of the property 5611 e Fort Lowell Rd, Note that this entrance is behind a courtyard wall as shown in top of the picture on previous page.



Looking at rear elevation of 5611 E Fort Lowell Rd property.