

Crystal Café & Gallery

847 N. Stone Avenue

Infill Incentive District Design Package



Prepared by:

Lazarus & Silvyn, P.C.

5983 East Grant Road, Suite 290

Tucson, Arizona 85712

Bright Design Associates, PLC

660 South Country Club Road

Tucson, Arizona 85716

Bowman

3275 West Ina Road, Suite 220

Tucson, Arizona 85741

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A. Project Summary

1. Background

Marco Schreier of Ursula Land Holdings, LLC (“Owner”) intends to renovate the building at 847 N. Stone Avenue, Assessor Parcel No. 117-03-1120 (the “Property”) for a mixed-use office, gallery and café. (See *Exhibit A.1: Location & Context Map*.) Specifically, he plans to create business offices and a showroom for gem and mineral show dealers in the rear of the existing building and convert the front of the building into a café that is open to the public (the “Project”). While the existing C-3 zoning permits the proposed uses, the existing building, which was originally constructed in the 1940s, no longer meets current zoning code standards. ***To achieve code compliance for this change of use, the Project will use the Infill Incentive District (“IID”), Downtown Links Subdistrict/Stone Subarea.***

The Property is part of the Miracle Mile National Register Historic District (“MM District”), which focuses on auto-specific commercial architecture from the 1920s to 1960s that was designed to attract customers to motor courts/motels, restaurants, service stations and other traveler amenities. (See *Historic Property Inventory*, included as *Appendix A*.) The Property’s original use was established in the early 1940s as the Beaudry Motor Co. Showroom, an open-air car dealership and gas/service station that was open 24 hours a day.

The Property’s general exterior building form and layout has changed little since the 1940s. (Photos of existing conditions onsite and of surrounding area are included in *Appendix B* and *Appendix C*, respectively.) Over the years, the building has been remodeled to support a variety of uses, including a granite countertop showroom, a dry cleaner and an indoor skate park. As the Property was converted from a car dealership to other uses, the front façade was filled in with walls and storefront windows. The Property’s 2011 MM District Historic Inventory shows the façade as it was in 2011. Prior to the Owner acquiring the Property, the previous owner modified the front façade without consulting the City Historic Preservation Officer (“CHPO”), and these modifications likely affected the Property’s historic contributing status. The Owner is working actively with the CHPO to restore the Property’s historic contributing status through this process.

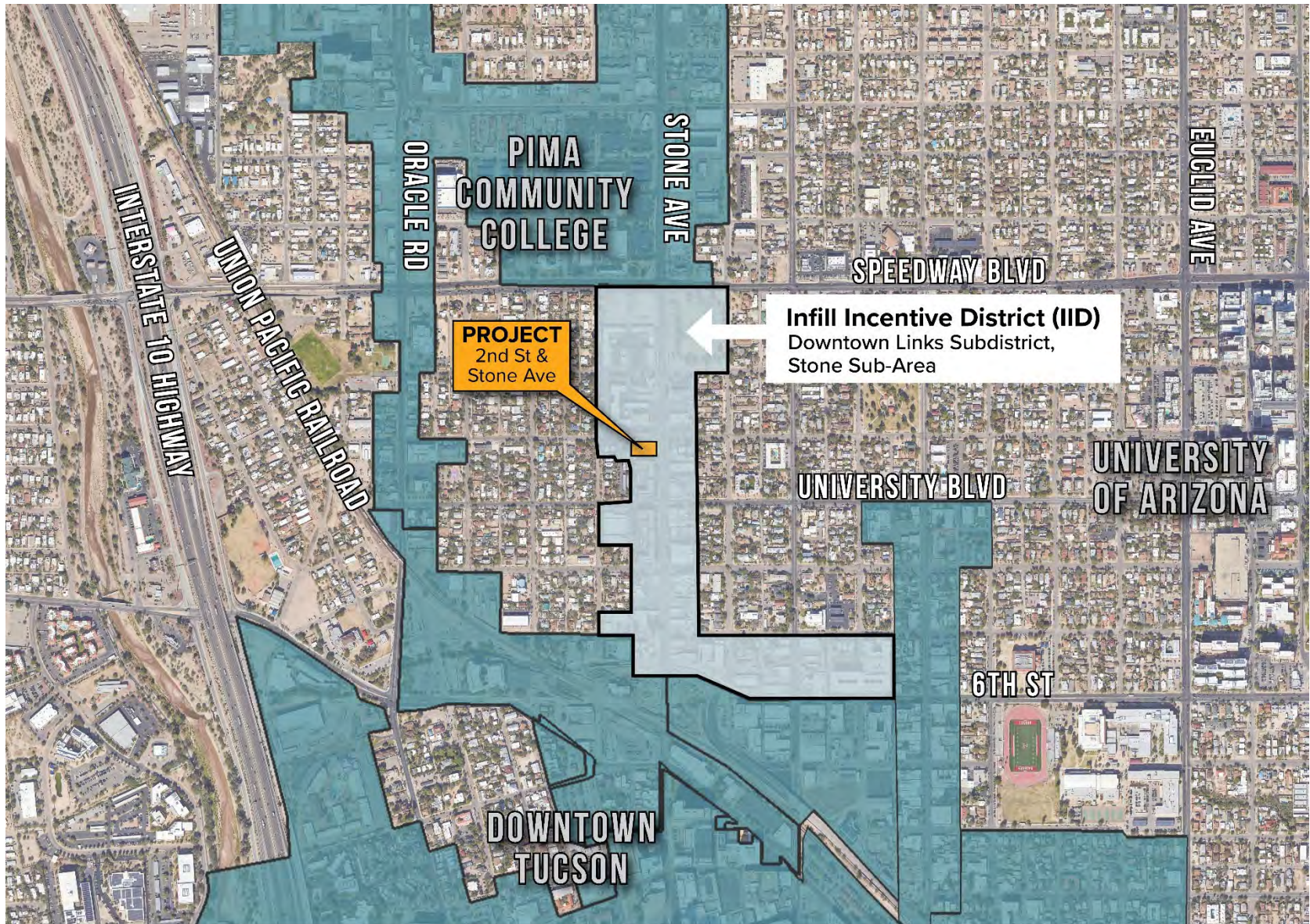


Exhibit A.1: Location & Context Map



2,000 FT



2. Project Proposal

The Owner has been visiting Tucson for the annual gem and mineral show ("Gem Show") since the 1980s. Based on his experience and interactions with other gem show dealers, he has identified a need for dedicated office and gallery space to support gem show dealers and their business activity. Tenants will have space for year-round business offices and some small inventory storage, and many will use this space as their U.S. headquarters. During the Gem Show, tenants will be able to host small receptions for wholesale purchasers. The Owner purchased the Property with a vision to fill this need while also activating the space year-round with a café/coffee shop and outdoor patio area. The café will likely be open during the morning and afternoon and target pedestrians/bicyclists from the surrounding neighborhood, commuters heading Downtown to work and students living nearby. The interior "gallery" space will allow tenants to display larger minerals and art that will also enhance the seating area for café customers. During the Gem Show, tenants may also use the gallery to host their buyer receptions.

The Property encompasses approximately 18,000 square feet ("SF"), and the existing building area is approximately 10,880 SF. (See *Exhibit A.2: Site Aerial.*) As shown on the *Project Floor Plan*, included as *Appendix D*, the adaptive reuse Project will feature:

- Administrative & Professional Office and General Merchandise Sales, +/- 4,577 SF
- Gallery, +/- 3,199 SF
- Food Service (including outdoor seating area), +/- 1,985 SF
- Caretaker Quarters, +/-458 SF
- Accessory storage/utility space, +/- 1,812 SF

The existing outdoor space on the west side of the building is currently occupied by an Arizona Department of Environmental Quality ("ADEQ") soil vapor extraction system ("SVE"), which includes remediation and monitoring equipment related to the 7th Street & Arizona WQARF PCE plume. Remediation is expected to conclude in approximately 2028, and all equipment will be removed at that time. Upon its removal, the Owner may redevelop that portion of the Property as Phase 2 of the Project with an as-yet unidentified use.

To redevelop the Property under the IID, the Owner proposes to make building and site improvements, including restoring the building façade to regain its status as a contributing property to the MM District. (See Crystal Café & Gallery Development Package submittal, TD-DEV-0923-00396, "DP Submittal", *Appendix E.*) The Project is consistent with the intent of the IID, which encourages adaptive reuse of properties and uses that activate streetscapes and create a sense of place. This is an example of a sustainable infill project that provides benefits to the community through neighborhood investment and the restoration of an iconic historic building.

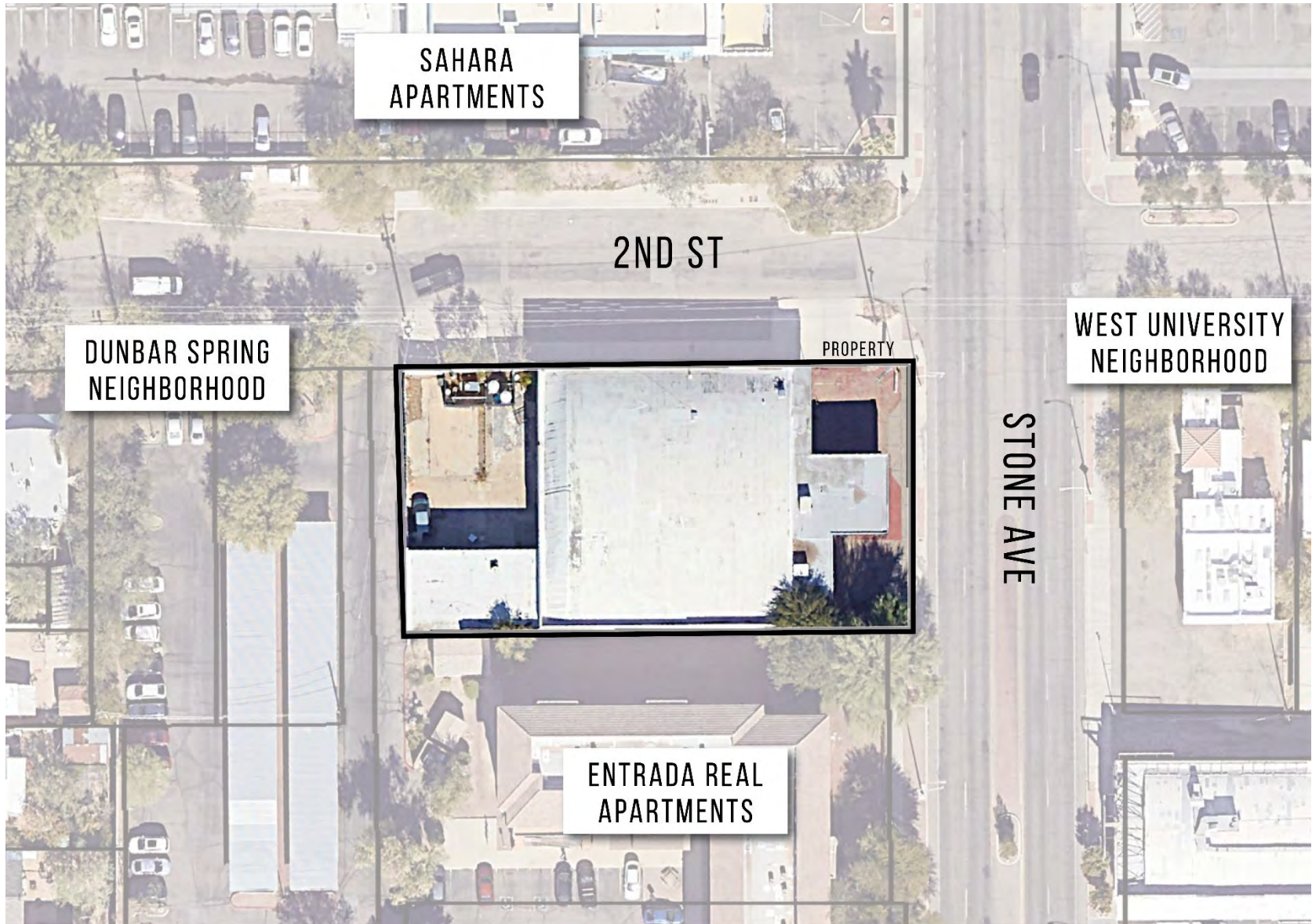


Exhibit A.2: Site Aerial



100 FT



With this IID application, the Owner is requesting modifications to the following UDC standards:

a. Motor Vehicle Parking

The Project requires a total of 52 vehicular parking spaces (15,450 SF / 300 for mixed use) per UDC standards. There are no existing spaces on the Property. No vehicular parking spaces are proposed as part of this Project. There are nine (9) parking spaces, including one (1) ADA-accessible space, within the right-of-way adjacent to the north Property line and additional parking is available along 2nd Street.

b. Landscaping & Screening

There is no existing vegetation on the Property, and because the existing structure sits on the north, south and west Property lines, no landscaping and screening is proposed in these areas. The Property's entire Stone Avenue frontage is covered with impervious surfaces. In lieu of meeting the traditional UDC requirements for landscaping and screening, this Project proposes to enhance the area between the building and Stone Avenue right-of-way by:

- Providing a new outdoor patio seating area located under the existing canopy structure;
- Adding planters and a gabion screen wall to screen/shield customers from activity in the right-of-way;
- Installing new brick pavers and refinishing the existing concrete with new textures and colors to differentiate between public and semi-public areas;
- Planting new vegetation, including a canopy tree, within the Stone Avenue and 2nd Street rights-of-way (outside of the sight visibility triangle); and
- Incorporating a mineral art exhibit near the front door to add visual interest to the Project's outdoor space.

c. Solid Waste Collection

Due to existing site constraints, there is no space on the Property for new solid waste enclosures, as required by the UDC. Instead, the Project proposes to use a rollout dumpster/bin that will be picked up on 2nd Street (see location on *DP Submittal, Appendix E*). Once the size of the kitchen has been finalized, the size of the container will be determined. Gallery/café staff will be required to roll the container out to the designated service area off 2nd Street, where it will be picked up by City Environmental Services for disposal.

The Owner's consultants will work with City Environmental Services through the DP review to confirm the appropriate size of the container, which is recommended to be no larger than four cubic yards. The size of the container will have no effect on the Project design.

B. Compliance with Applicable IID Design Standards

The Property is located within the Stone Sub-Area (“STS”) of the Downtown Links Subdistrict (“DLS”). The Project will comply with all applicable General, DLS and STS design standards, as described below.

1. General IID Zoning Option Design Standards

a. Streetscape Design

(1) Pedestrian-Orientation

The existing single-story building will be restored to ensure it retains its contributing historic status to the MM District. The original Beaudry Motor Co. Showroom featured an open-air structure that operated 24 hours a day. While returning the Property to its original design would be infeasible today, the restoration of the building will feature ample storefront windows and a prominent front entrance under the existing shade canopy. The outdoor space facing Stone Avenue will be converted into a patio seating area to support the café/coffee shop. The front of the building will be further enhanced with hardscape and landscape features that will provide shade and prove inviting to pedestrians.

(2) Shade

The Project is constrained by the Property’s existing conditions, including the building footprint/lot coverage, zero setbacks around much of the Property’s perimeter and a generous amount of impervious surface. The Property will be enhanced using landscaping, particularly canopy trees along the Stone Avenue frontage to provide shade and create an inviting streetscape. Although the pedestrian area within the public right-of-way will have minimal shading, approximately 63% of the pedestrian areas on the Property will be shaded, as demonstrated on the *Pedestrian Shade Exhibit*, provided as *Appendix F*.

b. Development Transition Standards

(1) Height

The existing single-story building, which is approximately 30 feet high, will remain. The building is lower in height than adjacent multi-story apartments to the north and south. Other nearby commercial structures are similar in height to this Project.

(2) Bulk Reduction

Not applicable. The Property is not adjacent to a single-family residence.

(3) Service Areas

Not applicable. The Property is not adjacent to a single-family residence.

(4) Parking Facilities

Not applicable. The Property is not adjacent to a single-family residence.

- c. Alternative Compliance*
Not applicable.
- d. Utilities*
The Property is served by existing utilities.
- e. Parking*
- (1) Vehicular
No vehicular parking is required for nonresidential uses within the Downtown Links Subdistrict (“DLS”). No vehicular parking spaces are proposed as part of this Project. There are nine (9) parking spaces, including one (1) ADA-accessible space, within the right-of-way adjacent to the north Property line and additional parking is available along 2nd Street.
- (2) Bicycle
The Project anticipates attracting bicycle traffic from the neighborhood and along the Stone Avenue corridor to Downtown. Bicycle parking in excess of Unified Development Code (“UDC”) requirements is provided. The café (Food Service use) requires a minimum of two (2) spaces per 2,000 SF for short-term parking and a minimum of two (2) spaces for long-term parking. Three (3) short-term and two (2) long-term spaces are required. Eight (8) short-term parking spaces are proposed outside the front entrance facing Stone Avenue, and two (2) long-term parking spaces will be provided within an interior storage area, as designated on the DP Submittal.
- f. Multi-Zone Parcels*
Not applicable. The entire Property is zoned C-3.
- g. Affordable Housing*
Not applicable. Only nonresidential uses are proposed.
2. Downtown Links Subdistrict Standards
- a. Permitted Uses*
The STS permits all uses proposed as part of this Project, including:
- Administrative/professional offices;
 - Food service (café);
 - Alcoholic beverage sales;
 - General merchandise sales (Gem Show); and
 - Cultural use (gallery space).

b. *Historic Preservation*

The Property is designated a contributing property to the MM District. Although modifications to the existing building have compromised the building's historic status, the Project includes a proposal to restore the building's façade to restore its contributing status. The façade improvement proposal is included in *Appendix G: Building Elevations*. (See *Section C: Historic Review* for additional information.)

c. *Loading & Solid Waste Collection*

No loading area is required for the proposed set of uses, and no loading area is provided.

Because of existing site constraints, a solid waste dumpster/container will be kept behind the building on the west side of the Property. Once the size of the kitchen has been finalized, the size of the container will be determined. Gallery/café staff will be required to roll the container out to the designated service area off 2nd Street (see location on DP Submittal), where it will be picked up by City Environmental Services for disposal.

The Owner's consultants will work with City Environmental Services through the DP review to confirm the appropriate size of the container, which is recommended to be no larger than four cubic yards. The size of the container will have no effect on the Project design.

d. *Landscaping & Screening*

There is currently no vegetation existing on the Property, and its entire Stone Avenue frontage—the Project's "front door"—is covered with impervious surfaces. Landscaping and screening, which is shown on the DP Submittal, will completely transform the Property into an inviting activity center. A new outdoor patio seating area located under the existing canopy structure will be surrounded by planters with interesting vegetation and a gabion screen wall to shield customers from traffic along Stone Avenue. New brick pavers will be added, and existing concrete will be refinished with new textures and colors to differentiate between public and semi-public areas. Plantings are proposed within the Stone Avenue and 2nd Street rights-of-way (outside of the sight visibility triangle), and a mineral art exhibit will be featured near the front door to add visual interest to the Project's outdoor space.

e. *Solar Exposure*

The existing building's eastern façade will be redesigned as part of this Project. The new façade will feature additional windows, which will make up 31% of the façade. Of that area, approximately 100% of the glass will be shaded between 10:00 a.m. and 3:00 p.m., as shown in the *Sun Study* provided as *Appendix H*.

f. Parking

(1) Vehicular

No vehicular parking is required for nonresidential uses within the DLS. No vehicular parking spaces are proposed as part of this Project. There are nine (9) parking spaces, including one (1) ADA-accessible space, within the right-of-way adjacent to the north Property line and additional parking is available along 2nd Street.

(2) Bicycle

The Project anticipates attracting bicycle traffic from the neighborhood and along the Stone Avenue corridor to Downtown. Bicycle parking in excess of UDC requirements is provided. The café (Food Service use) requires a minimum of two (2) spaces per 2,000 SF for short-term parking and a minimum of two (2) spaces for long-term parking. Three (3) short-term and two (2) long-term spaces are required. Eight (8) short-term parking spaces are proposed outside the front entrance facing Stone Avenue, and two (2) long-term parking spaces will be provided within an interior storage area, as designated on the DP Submittal.

g. Alleyways & Pedestrian Access Lanes

The DLS emphasizes the importance of a safe and comfortable pedestrian environment. This Project seeks to transform the Property from its current cold, uninviting streetscape into an active and appealing commercial destination. There are existing sidewalks along both the Stone Avenue and 2nd Street rights-of-way. In addition to the outdoor patio seating area, treatments to the Property will include landscaping with colorful vegetation, planters and shade trees, all of which will create a more attractive street scene and offer pedestrians an inviting refuge. As shown on the DP Submittal, a portion of the Property's Stone Avenue frontage will feature a mineral exhibit, adding vibrancy and interest to the streetscape.

3. Stone/Sixth Area & Stone Sub-Area Standards

The intent of the STS is to promote higher-density mixed-use development along the Stone corridor. The STS includes design standards for new development, including building placement, height, lot coverage and massing. Because this is an adaptive reuse project, and no changes to the building are proposed (except for the redesign of the eastern façade), most of the STS standards are not applicable to this Project.

In keeping with the STS purpose to promote a mix of uses, this Project proposes a combination of office, gallery space and restaurant uses with both indoor and outdoor activities. Stone Avenue will continue to be the Property's primary frontage with its public open space and seating area that will attract pedestrian interest. The commitment for significant investment into this infill Property also promotes neighborhood revitalization.

C. Historic Review

1. Design Narrative

a. *Development Zone*

The Property's Development Zone includes all properties on both sides of Stone Avenue between 2nd Street and University Boulevard, in addition to the properties at the northwest and northeast corners of Stone Avenue and 2nd Street. (See *Exhibit C.1: Development Zone*.)

b. *Height*

N/A. The highest point of the existing structure is 30 feet. No additions are proposed.

c. *Setbacks*

N/A. The existing structure was built with zero setbacks to the north, south and west Property lines. The building is set back 40 feet from Stone Avenue right-of-way.

d. *Site Utilization*

N/A. The existing structure will remain, and no additions are proposed.

e. *Building Form*

N/A. The existing structure will remain, and no additions are proposed.

f. *Rhythm*

N/A. The existing structure will remain, and no additions are proposed.

g. *Landscaping*

The landscaping of 1940 would have been concrete from the building to the Street. The following have been done to reflect the historic nature:

- The concrete slab has been broken up and maintains a sense of 1940's concrete.
- Materials were selected for the planter to match the existing brick.
- Bike racks are reminiscent of the car tailfins popular at that time.

h. *Enclosures*

Existing fencing along the western Property line will remain until environmental remediation of the Property is completed.

i. *Utilities*

N/A. No new utilities connections are proposed.

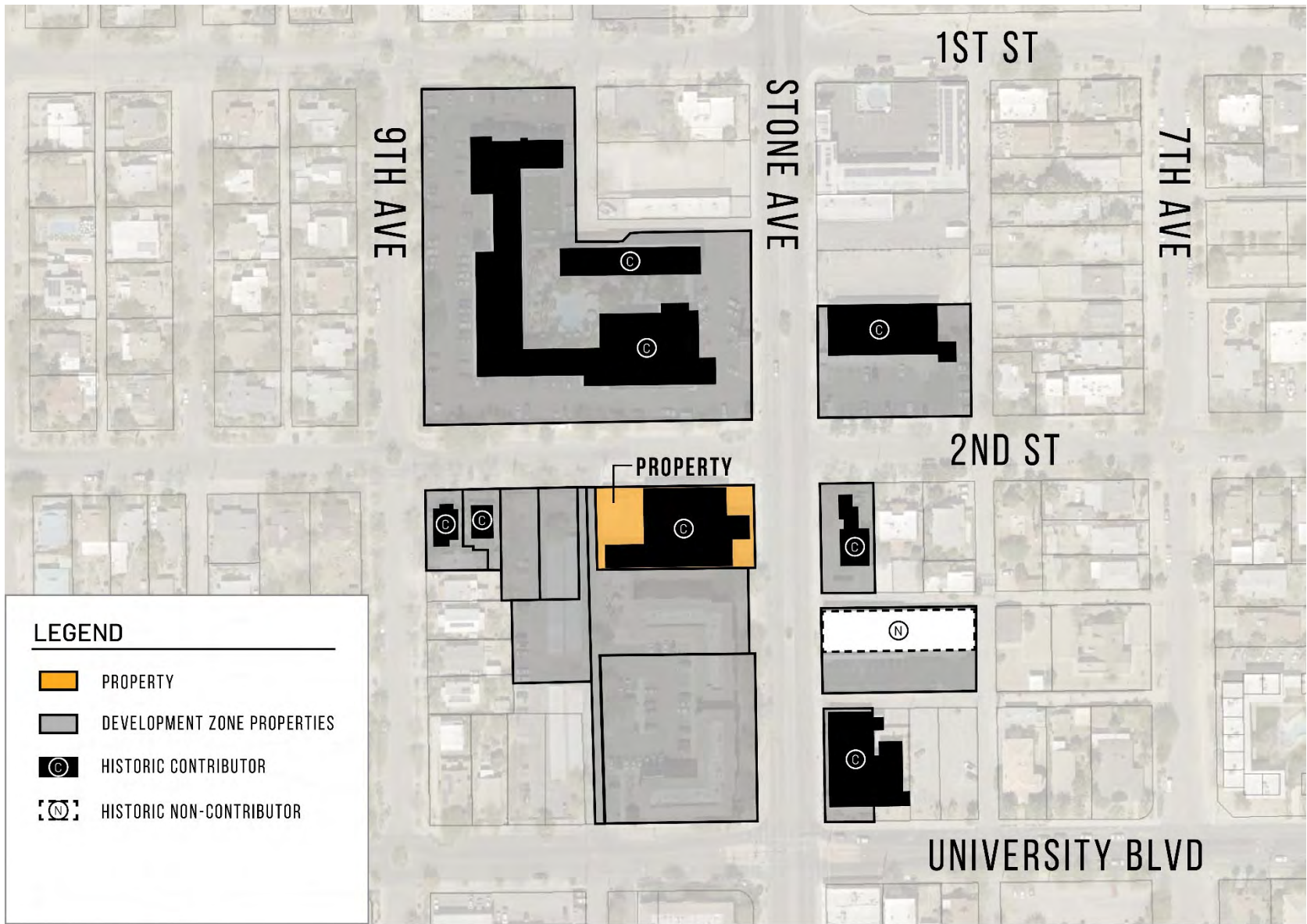


Exhibit C.1: Development Zone



400 FT



j. Motor Vehicle & Parking Areas

N/A. There are no existing parking areas on the Property. There are nine (9) parking spaces, including one (1) ADA-accessible space, within the right-of-way adjacent to the north Property line and additional parking is available along 2nd Street.

k. Signs

All new signage proposed will be in accordance with UDC standards.

2. Contributing Property Modifications

The Beaudry Dealership, constructed in 1940, was designed for seven days a week and 24-hour service. The east façade was entirely open to the Street. In 2023, this building must be enclosed to provide heat and air conditioning to meet modern requirements. To close this opening entirely with glazing would be highly cost-prohibitive. The strategy was to provide glazing at the ends and across the top of the opening to create the same experience as the original building. The glazing will provide views from the Street into the building, highlighting the wood bowstring trusses. This would create a similar experience as was present in 1940.

On the north façade, the existing glazing and T-111 siding will be replaced with a storefront to match the building, as constructed in 1940.

APPENDIX A: HISTORIC PROPERTY INVENTORY

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: **MM092** Survey Area: **Miracle Mile**

Historic Name(s): **Beudry Motor CO.**

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: **847 North Stone Avenue**

City or Town: **Tucson**

vicinity County: **Pima**

Tax Parcel No. **117-03-1120**

Township: **14S** Range: **13E** Section: **12** Quarter Section: Acreage: **.43**

Block: **30** Lot(s): **1,4** Plat (Addition): **Tucson** Year of plat (addition):

UTM reference: Zone _____ Easting _____ Northing _____ USGS 7.5' quad map: _____

Architect: not determined known source:

Builder: not determined known source:

Construction Date: **1940** known estimated source: **Pima County Assessor**

STRUCTURAL CONDITION

Good (well maintained, no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

COMMERCE/TRADE: specialty store

Sources: **Tucson City Directory**

PHOTO INFORMATION

Date of photo: **December 2011**

View Direction (looking towards)

northwest

Negative No.: _____



APPENDIX B: PHOTOS OF EXISTING CONDITIONS



Looking west at front of building on east side of Property from Stone Avenue.



Looking south across 2nd Street at north side of Property from Sahara Apartments to the north.



Looking east at south side of Property (left) and north side of adjacent Entrada Real Apartments to the south (right).



Looking east at back of building on west side of Property from parking lot west of Property.

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Looking east across Stone Avenue from front of building on east side of Property.



Looking north across 2nd Street at Sahara Apartments from north side of Property.

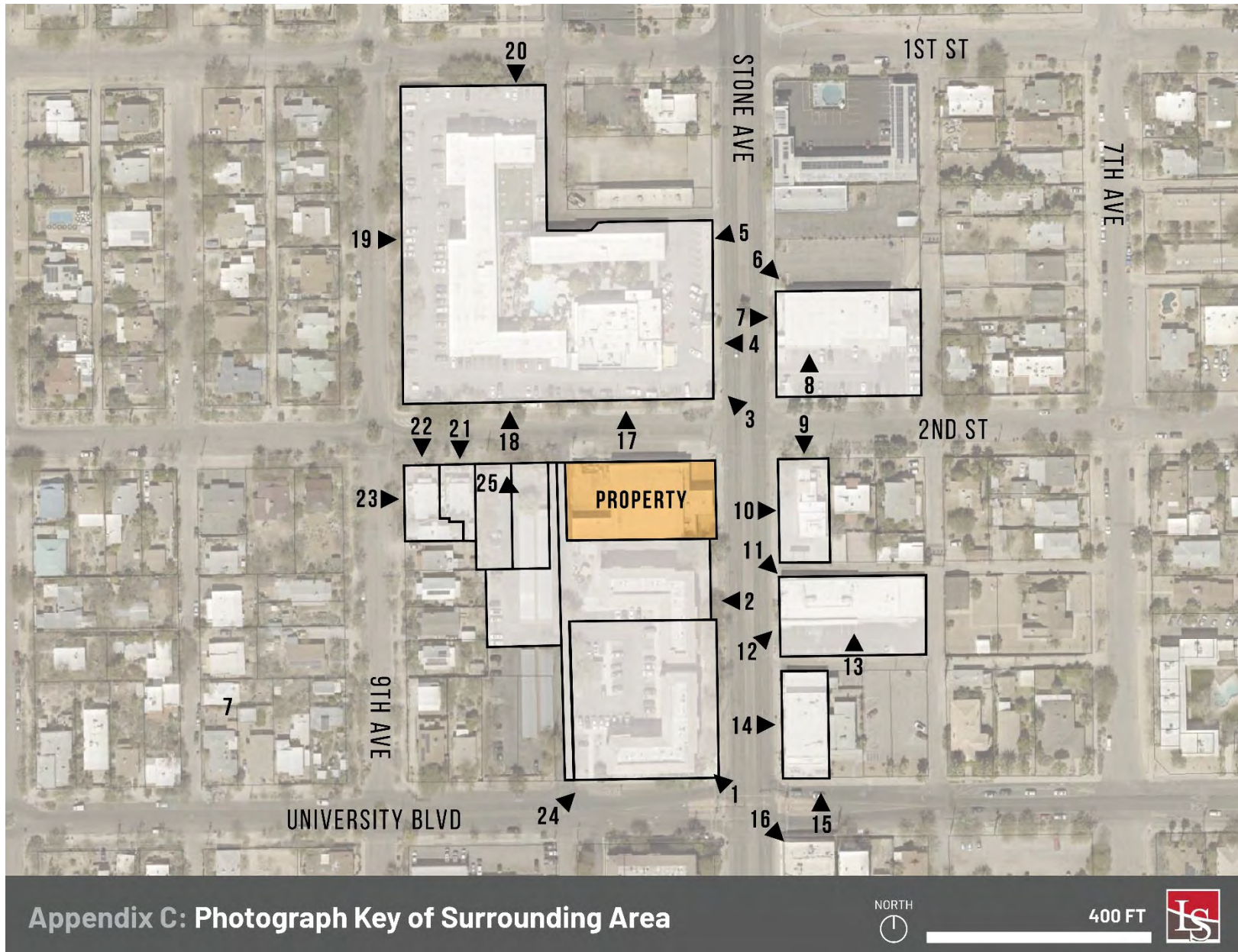


Looking south at adjacent Entrada Real Apartments from southeast corner of Property on Stone Avenue.



Looking west at adjacent parking lot from west side of Property.

APPENDIX C: PHOTOS OF SURROUNDING AREA



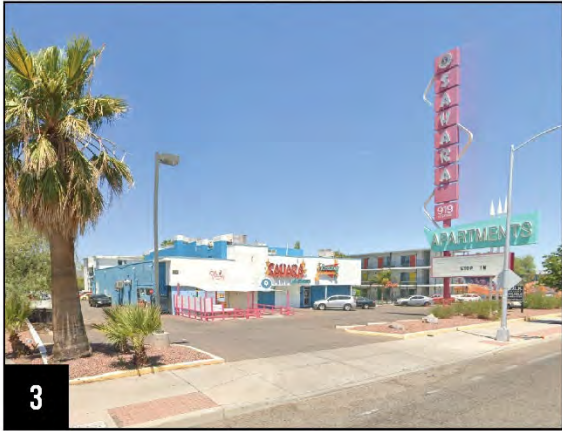
Appendix C: Photograph Key of Surrounding Area



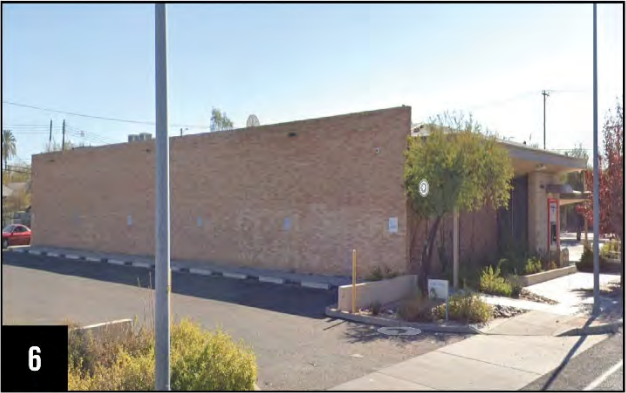
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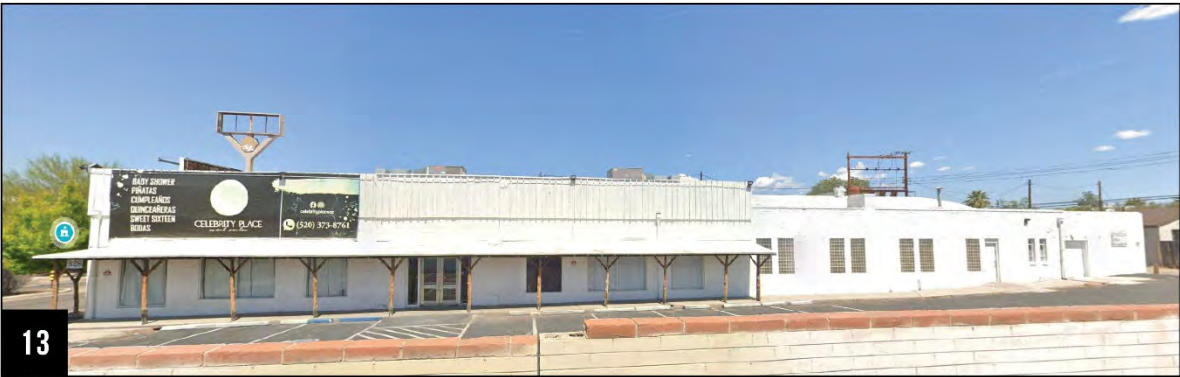


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Infill Incentive District Design Package



Crystal Café & Gallery
Infill Incentive District Design Package









APPENDIX D: PROJECT FLOOR PLAN



KEYNOTES

SYMBOL	DESCRIPTION
1	BICYCLE RACKS TYPE 02
2	CONCRETE PEDESTAL (BASE FOR SEMI-PERMANENT DISPLAY OF LARGE ITEMS)
3	HIGHT-TOP COFFEE TABLE
4	MAIN ENTRANCE CONCRETE, EXISTING (TO BE TREATED TO MATCH THE INTERIOR)
5	LIGHT TAN INTEGRAL COLOR CONCRETE, WITH ACID WASH EXPOSED AGGREGATE
6	GABION WALL, LIGHT COLORED CATALINA SCHIST WITH ACCENT GEMS STONES, METAL CAGE
7	COLORADO GRAVEL
8	GROUND CONCRETE (EXPOSED AGGREGATE) (NOT POLISHED)
9	COFFEE TABLES
10	CANOPY OVERHANG, EXISTING
11	STEEL COLUMNS, EXISTING
12	PUBLIC WALK, EXISTING
13	RAISED PLANTER, SIGNAGE ON TOP
14	TREE CANOPY, EXISTING
15	UNDULATING GROUND

APPENDIX E: DP SUBMITTAL

Crystal Cafe & Gallery

RENDER | L1.6

01 RENDER VIEW 02



CRYSTAL CAFÉ AND GALLERY



ADDRESS: 847 N STONE

LEGAL DESCRIPTION: TUCSON LOT 1 & N32' LOT 4 BLK 30

ZONING: C3

PERMITTED USE(S):
 EXISTING: AUTOMOTIVE REPAIR MINOR
 PROPOSED: COMMERCIAL SERVICES &
 FOOD SERVICE

LOT/SITE AREA:
 EXISTING: 18119.98 SF
 PROPOSED: 0
 % EXPANSION: 0%

BUILDING AREA:
 EXISTING: 10884 SF
 PROPOSED: 0
 EXPANSION: 0%

VEHICULAR USE AREA:
 EXISTING: 0 SF
 PROPOSED: 0 SF
 % EXPANSION: 0%

BUILDING HEIGHT:
 ALLOWED: 75'
 PROPOSED: 30'

VEHICLE PARKING:
 REQUIRED: NONE
 EXISTING: NONE
 PROVIDED: NONE

BICYCLE PARKING:
 REQUIRED: 3 SHORT 2 LONG TERM
 PROVIDED: 8 SHORT 2 LONG TERM

LOADING ZONE:
 REQUIRED: NONE
 PROVIDED: NONE

SUMMARY OF GOVERNING REGULATIONS

CODE	TITLE	EDITION	LOCAL AMENDMENT
BUILDING CODE	INTERNATIONAL BUILDING CODE	2018	YES
ACCESSIBILITY CODE	ICC/ANSI A117.1	2017	YES
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE	2018	YES
ELECTRICAL CODE	NATIONAL ELECTRICAL CODE	2017	YES
PLUMBING CODE	INTERNATIONAL PLUMBING CODE	2018	YES
FIRE PREVENTION CODE	INTERNATIONAL FIRE CODE	2018	YES
ZONING CODE	TUCSON UNIFIED DEVELOPMENT CODE		
ENERGY CODE	INTERNATIONAL ENERGY CONSERVATION CODE	2018	YES

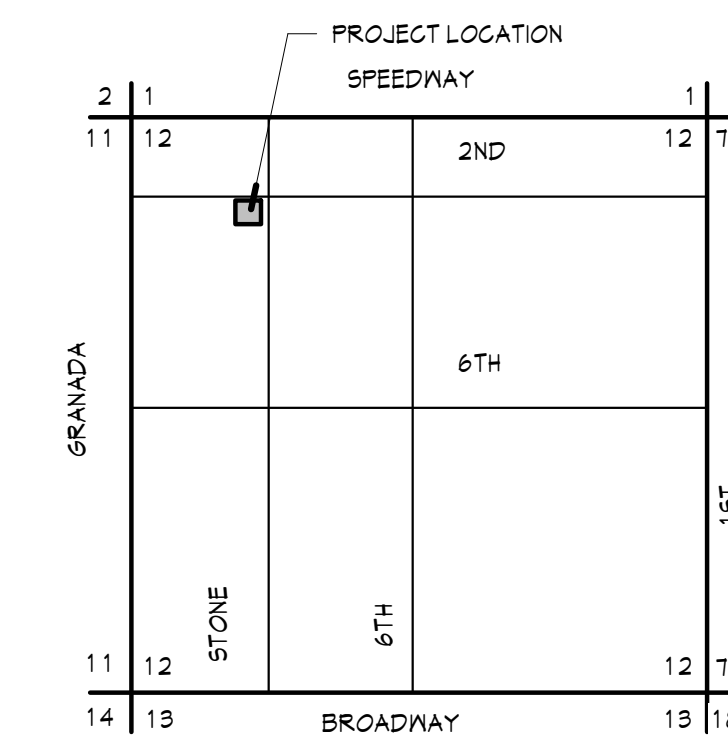
GENERAL BUILDING SUMMARY

HEIGHT AND AREA							
BUILDING	OCCUPANCY GROUP	TYPE OF CONSTRUCTION	SPRINKLER SYSTEM	BUILDING AREA (sq ft)		BUILDING HEIGHT (ft/# of stories)	
				ACTUAL	ALLOWABLE	ACTUAL	ALLOWABLE
A	B	VB	NO	10884	11250	ONE	ONE
B							
C							

MIXED OCCUPANCY							
SEPARATED USES				NONSEPARATED USES			
Y OR N				Y OR N			
FIRE AREA	OCC GROUPS	FIRE AREA	OCC GROUPS	FIRE AREA	OCC GROUPS	FIRE AREA	OCC GROUPS
A		C		E		G	
B		D		F		H	
SPECIAL USES AND OCCUPANCY							
CONDITIONS APPLICABLE				SPECIAL USE			
Y OR N							

ALLOWABLE AREA CALCULATION

AREA MODIFICATION (IBC 506)	NOTES:
ALLOWABLE AREA PER FLOOR (A _f)	11250
TABULAR AREA PER FLOOR (A _t)	9000
AREA INCREASE FOR FRONTAGE (I _f)	25.00
AREA INCREASE FOR SPRINKLERS (I _s)	0
BUILDING PERIMETER PUBLIC WAY (P)	243'
ENTIRE BUILDING PERIMETER (P)	487'
MINIMUM WIDTH OF PUBLIC WAY (W)	30'
ALLOWABLE AREA (A _a)	11250
UNLIMITED AREA FOR AFS	



SEC.12 T14S R13E

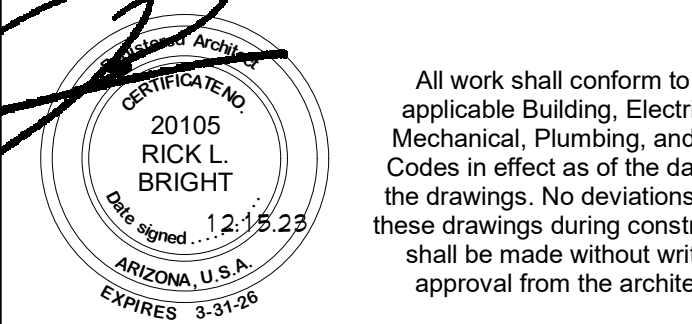
C4 LOCATION MAP
 3" = 1 Mile



BRIGHT DESIGN ASSOCIATES

A PROFESSIONAL LIMITED LIABILITY COMPANY
 660 S. Country Club
 Tucson, Arizona 85716
 Tel 520.529.1878
 Fax 520.292.1142

E-MAIL rbright@brightdesignassoc.com
 www.brightdesignassoc.com



All work shall conform to all applicable Building, Electrical, Mechanical, Plumbing, and Fire Codes in effect as of the date on the drawings. No deviations from these drawings during construction shall be made without written approval from the architect.

Schedule Marks

- 36 DOOR NUMBER
- 36 ROOM FINISH SCHEDULE
- △ LINTEL SCHEDULE
- ① EQUIPMENT SCHEDULE
- P1 PLUMBING SCHEDULE
- LIGHTING SCHEDULE

Section Cut

- △/A-1 DETAIL NUMBER SHEET NUMBER
- △/A-2 DETAIL NUMBER SHEET NUMBER

Elevation Indicator

- 2/A-2.3 SHEET NUMBER ELEVATION NUMBER

Wall Types

- NEW FRAME PARTITION
- NEW FRAME PARTITION NOT FULL HEIGHT
- EXISTING FRAME PARTITION
- NEW MASONRY WALL
- EXISTING MASONRY WALL
- WALL TO BE REMOVED

A5 ARCHITECTURAL SYMBOLS



G0.0	INDEX
C1.0	CIVIL
C5.1	SITE DETAILS
L0.00	LANDSCAPE
L1.00	LANDSCAPE PLAN
L2.01	LAYOUT AND MATERIAL
L3.01	IRRIGATION
L4.01	LANDSCAPE DETAILS
L4.02	LANDSCAPE DETAILS
L4.03	LANDSCAPE DETAILS
L4.04	LANDSCAPE DETAILS
L4.05	LANDSCAPE DETAILS

CRYSTAL CAFE
 GEM GALLERY
 847 N STONE
 TUCSON, ARIZONA

URSULA LAND
 HOLDINGS LLC

Mark	Date	Description

Project number	23.01
Date	12.15.23
Drawn by	BRIGHT
Checked by	BRIGHT
Copyright	Bright Design Associates, PLC
Sheet Title	

INDEX

Sheet No. **G0.0** Of 12

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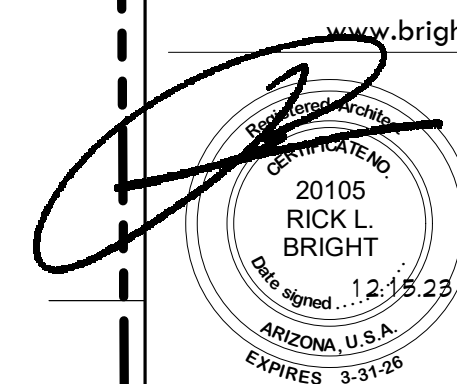


BRIGHT DESIGN ASSOCIATES

A PROFESSIONAL LIMITED LIABILITY COMPANY
660 S. Country Club
Tucson, Arizona 85716
Tel 520.529.1878
Fax 520.292.1142

E-MAIL rbright@brightdesignassoc.com

www.brightdesignassoc.com



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G0.0	INDEX
C1.0	CIVIL
C5.1	SITE DETAILS
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L4.01	LANDSCAPE DETAILS
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L4.03	LANDSCAPE DETAILS
L4.04	LANDSCAPE DETAILS
L4.05	LANDSCAPE DETAILS

CRYSTAL CAFE
GEM GALLERY
847 N STONE
TUCSON, ARIZONA

URSULA LAND
HOLDINGS LLC

Mark	Date	Description

Project number	23.01
Date	12.15.23
Drawn by	BRIGHT
Checked by	BRIGHT
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Sheet Title	

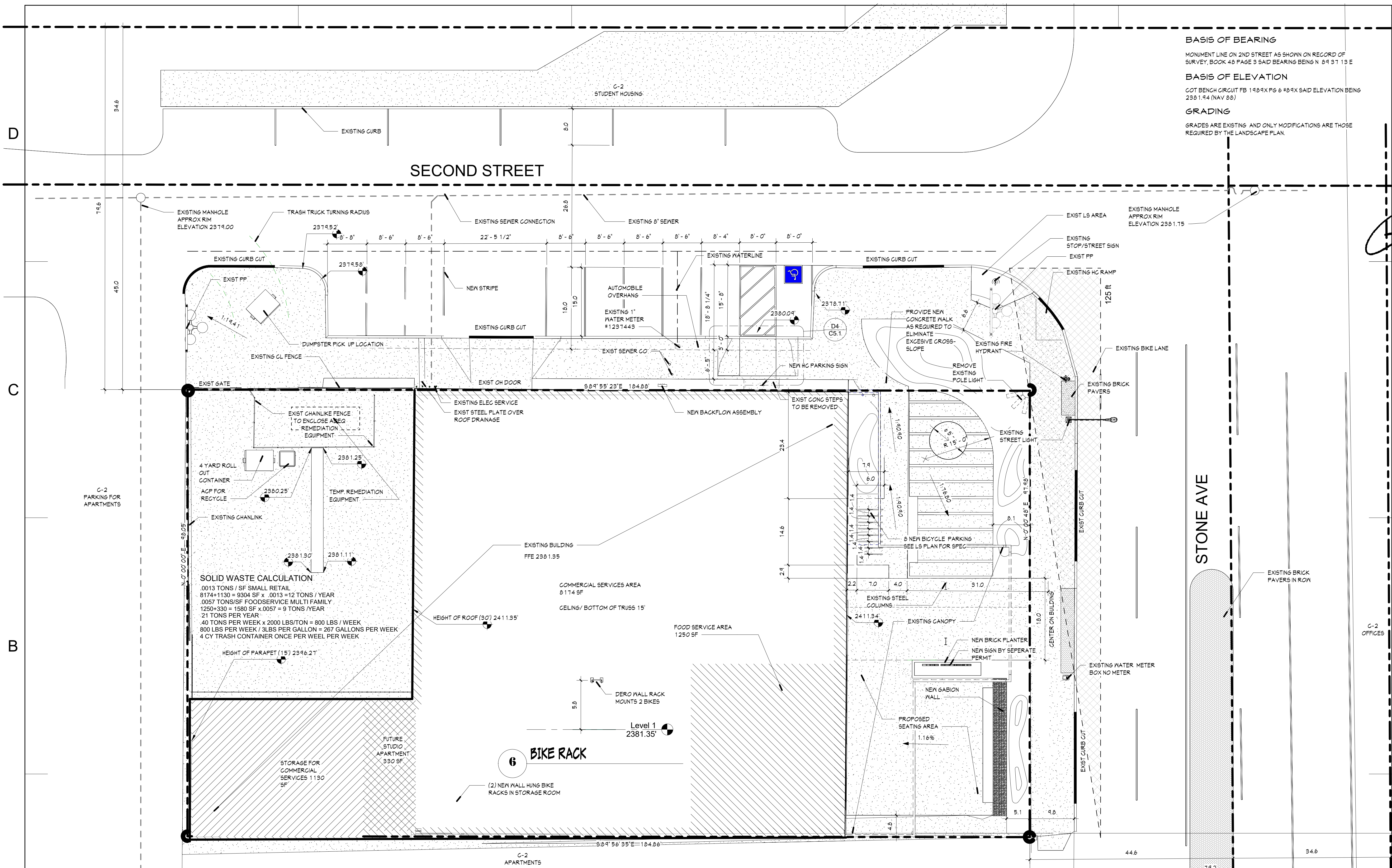
CIVIL

Sheet No. C1.0 Of 12

BASIS OF BEARING
MONUMENT LINE ON 2ND STREET AS SHOWN ON RECORD OF SURVEY, BOOK 48 PAGE 3 SAID BEARING BEING N 89°31'13"E

BASIS OF ELEVATION
COT BENCH CIRCUIT FB 1989X P6 6 +89'X SAID ELEVATION BEING 2301.14 (NAV 88)

GRADING
GRADES ARE EXISTING AND ONLY MODIFICATIONS ARE THOSE REQUIRED BY THE LANDSCAPE PLAN.



SOLID WASTE CALCULATION

0013 TONS / SF SMALL RETAIL
 8174*1130 = 9244 SF x .0013 = 12 TONS / YEAR
 0057 TONS/SF FOODSERVICE MULTI FAMILY
 1250*330 = 1580 SF x .0057 = 9 TONS / YEAR
 21 TONS PER YEAR
 40 TONS PER WEEK x 2000 LBS/TON = 800 LBS / WEEK
 800 LBS PER WEEK / 3LBS PER GALLON = 267 GALLONS PER WEEK
 4 CY TRASH CONTAINER ONCE PER WEEK PER WEEK

HEIGHT OF ROOF (30') 2411.35'

HEIGHT OF PARAPET (15') 2396.21'

6 BIKE RACK

(2) NEW WALL HUNG BIKE RACKS IN STORAGE ROOM

DRAINAGE NOTES
"THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL."

"DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN."

TRAILS NOTES
THE EASTERN PIMA COUNTY TRAILS SYSTEM MASTER PLAN DOES NOT SHOW ANY TRAILS ON OR ADJACENT TO THE DEVELOPMENT SITE.

STREETS AND ROADS NOTES
"NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL."
A. "TOTAL MILES OF NEW PUBLIC STREETS IS 0."
B. "TOTAL MILES OF NEW PRIVATE STREETS IS 0."

UTILITIES NOTE
"ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC."

WASTEWATER MANAGEMENT NOTES
"ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED."

LOT AREA
10119.88 SF .41 AC

THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MSR).

OWNER
MARGO SCHREIER
URSULA LAND HOLDINGS LLC
9365 N CAMPBELL AVE SUITE 121
TUCSON, ARIZONA 85714
MARGOSCHREIER@MARGOSCHREIER.DE

ARCHITECT
BRIGHT DESIGN ASSOCIATES LLC
660 S COUNTRY CLUB
TUCSON ARIZONA 85716
TEL 520-349-1217
RBRIGHT@BRIGHTDESIGNASSOC.COM

LANDSCAPE ARCHITECT
BOWMAN
3215 W INA ROAD SUITE 220
TUCSON ARIZONA 85741
TEL 520-475-3070
T.M.JOHNSON@BOWMAN.COM

A1 SITE PLAN
1" = 10'-0" (A1 / A3.1)

TD-DEV-0923-00396

1

2

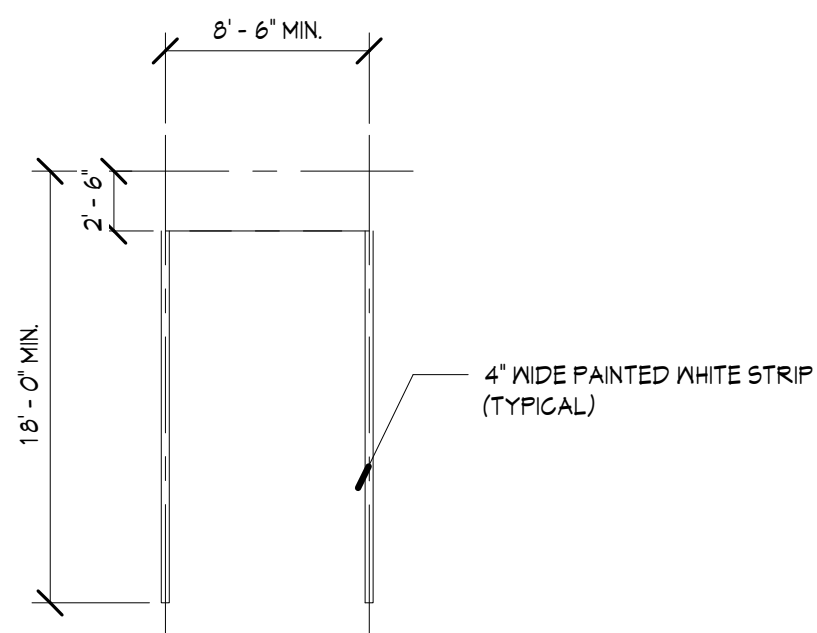
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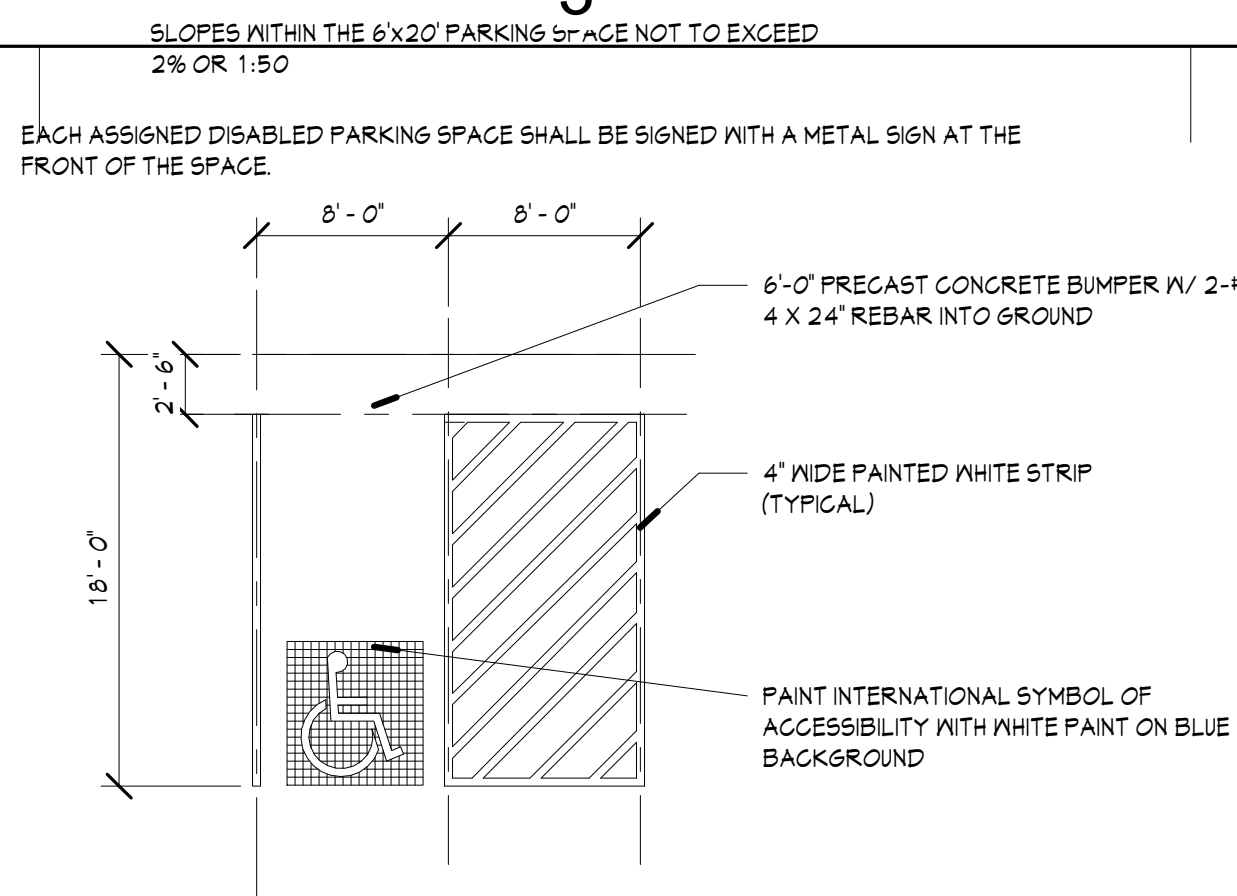
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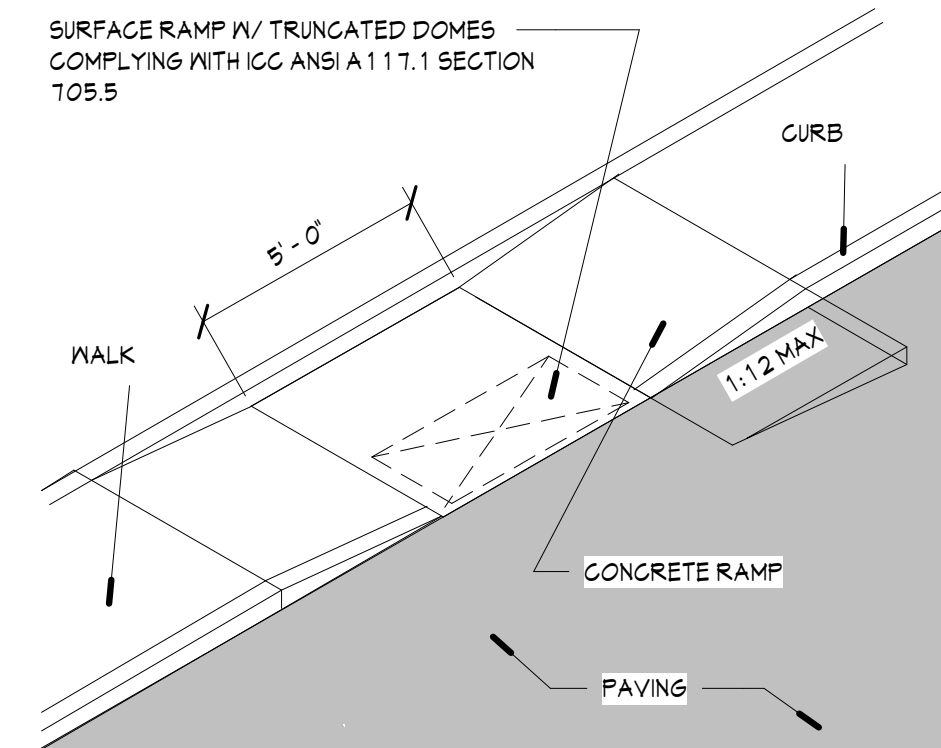
D1 ADDRESS NUMBER
1 1/2" = 1'-0"



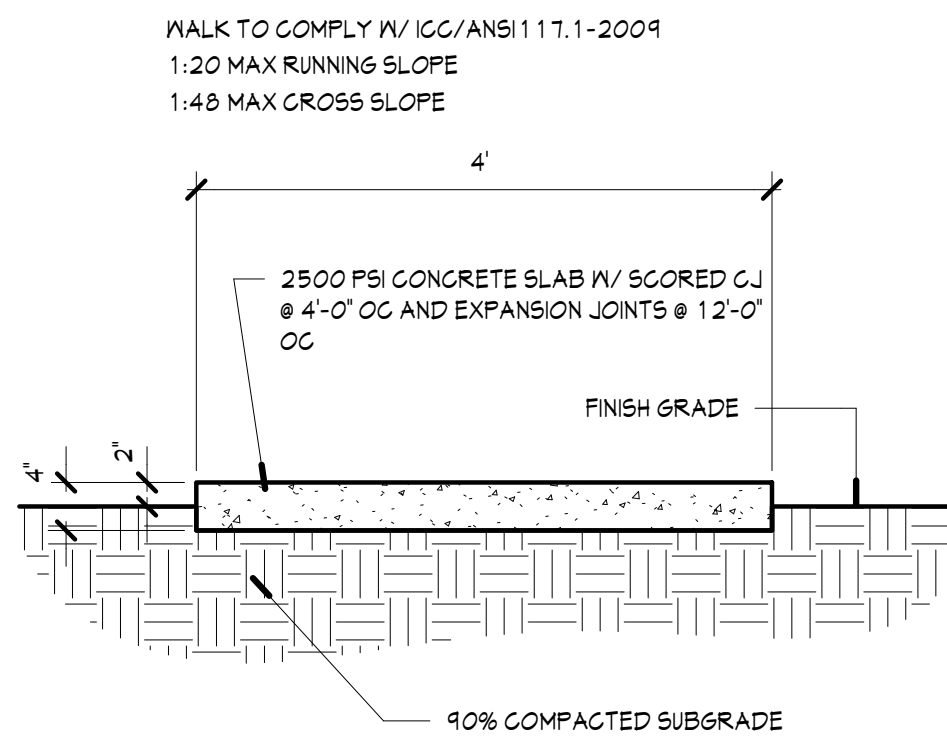
D2 TYPICAL PARKING
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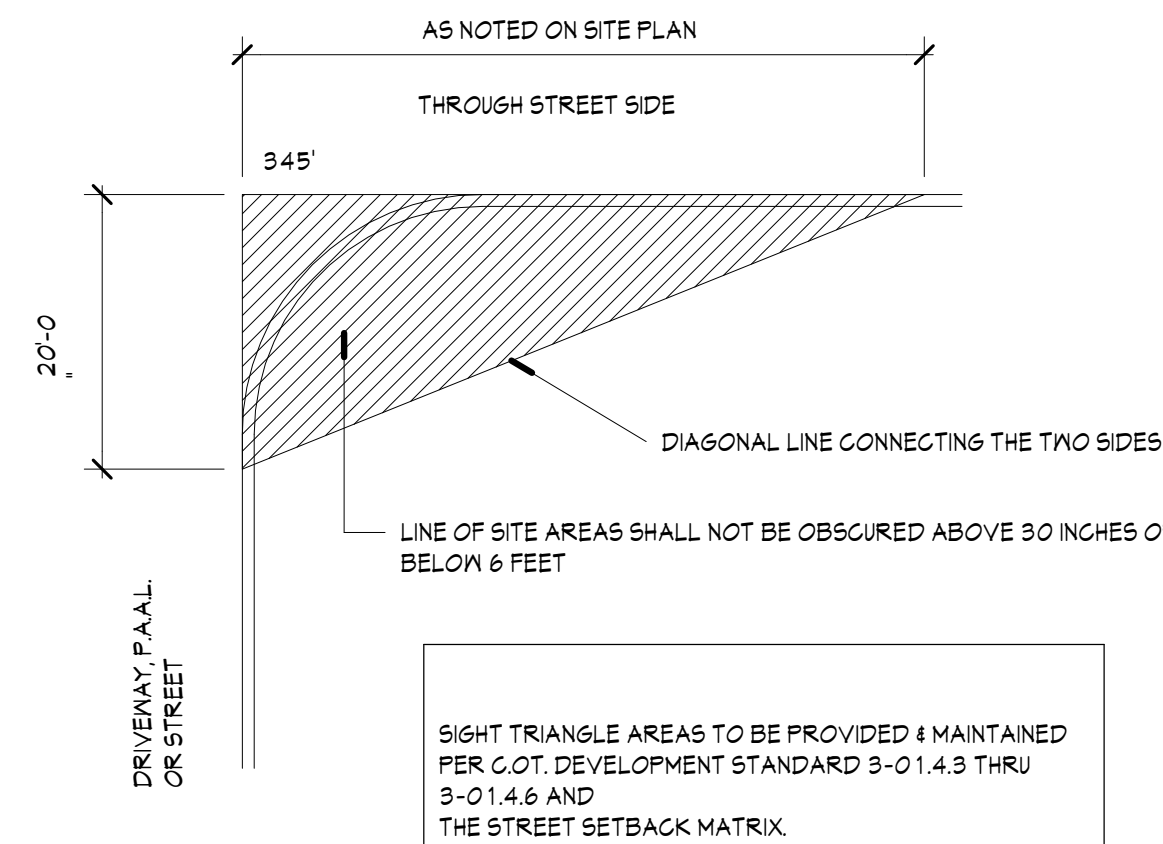
D3 VAN ACCESSIBLE PARKING
1/8" = 1'-0"



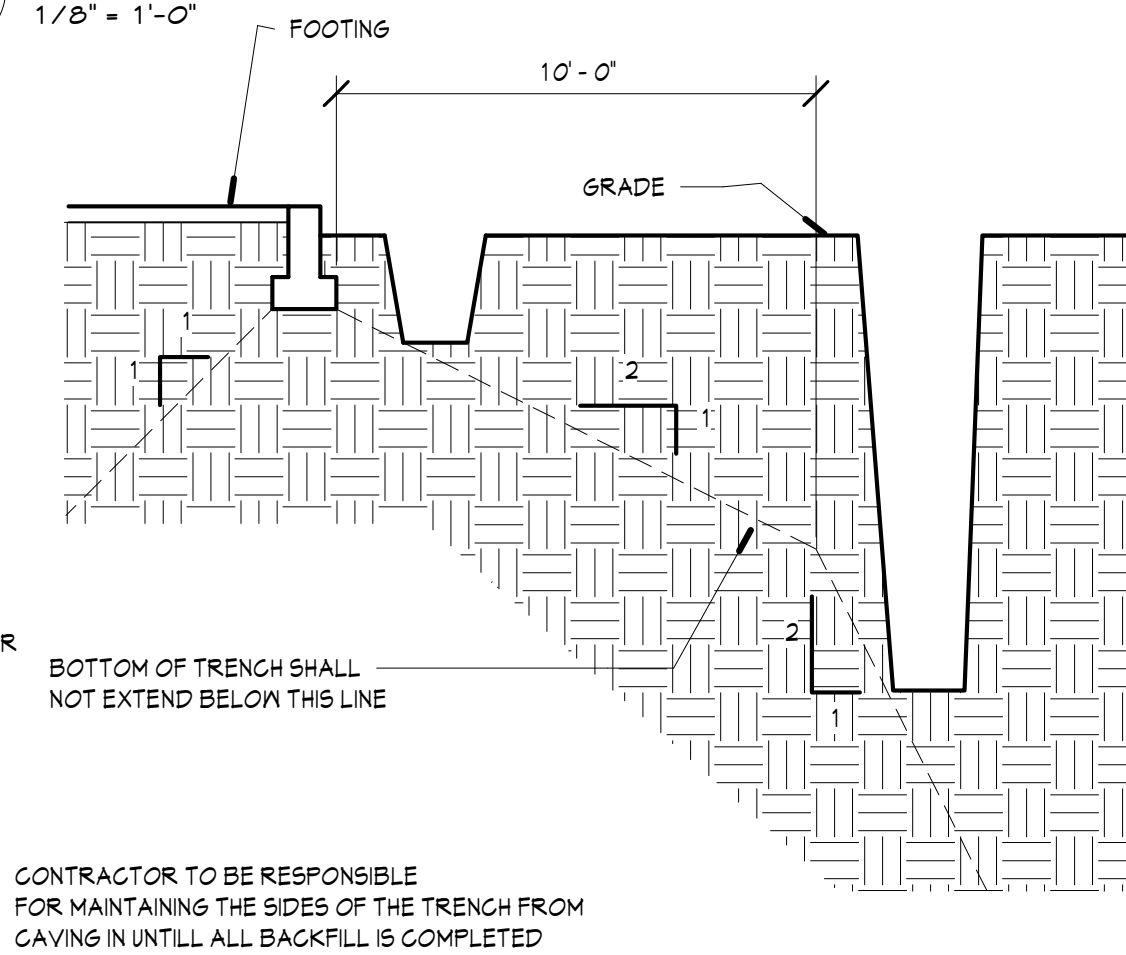
D4 CONCRETE RAMP
NTS



C1 CONCRETE WALK
3/4" = 1'-0"



C2 SIGHT VISIBILITY TRIANGLE
NTS



C3 UTILITY TRENCH
NTS

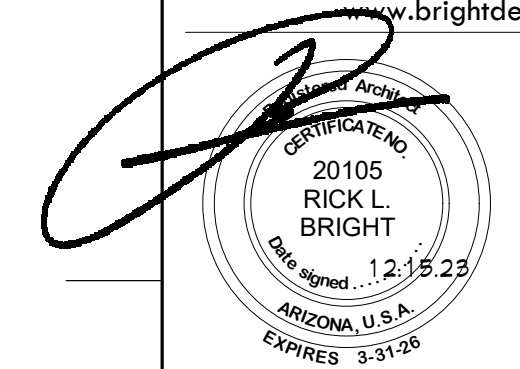


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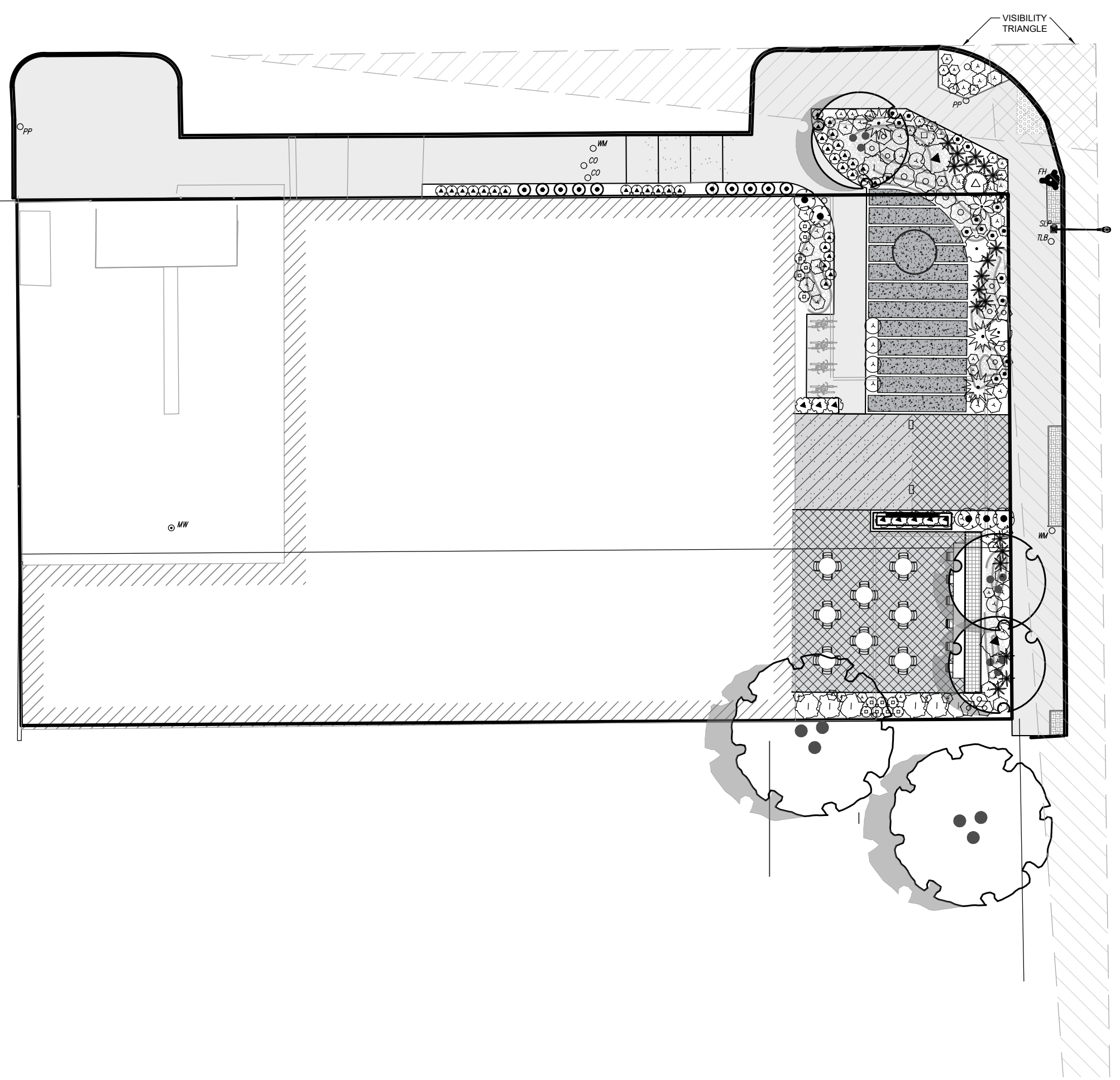
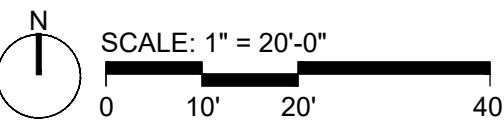
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SITE DETAILS

Sheet No. **C5.1** Of 12

01 OVERALL PLAN VIEW



GENERAL NOTES

- 1. ZONING: EXISTING ZONING IS "C-3" BUSINESS ZONE TO REMAIN.
2. THE PROPERTY IS OPTING INTO THE INFILL INCENTIVE DISTRICT.
3. AREA: GROSS: 0.18 ACRES OR 18,119.98 SF.
4. THE ASSESSOR'S PARCEL NO. IS 117-03-1120.
5. EXISTING USE: "VACANT BUILDING"
6. PROPOSED USE: "GEM AND MINERAL GALLERY AND COFFEE SHOP"
7. SIGHT VISIBILITY TRIANGLES: PLANT MATERIAL INSTALLED WITHIN THE SIGHT VISIBILITY TRIANGLES SHALL BE MAINTAINED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED AS TWO HORIZONTAL LINES AT LOCATED AT 18" AND 72" ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
8. PLANT SIZE: PLANT MATERIAL SHALL BE INSTALLED AT THE FOLLOWING MINIMUM SIZES: TREES = 24 GAL. SHRUBS/ACCENTS = 5 GAL. GROUNDCOVER/VINES = 1 GAL.
9. IRRIGATION: LANDSCAPE WILL BE IRRIGATED BY MEANS OF A PERMANENT UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC CONTROLLER. ALL WATER USE FOR IRRIGATION PURPOSES WILL CONFORM TO THE ARIZONA GROUNDWATER CODE, ARIZONA REVISED STATUTES TITLE 45, CHAPTER 2.
10. HARDSCAPE, LANDSCAPE, AND IRRIGATION CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND CITY OF TUCSON STANDARD SPECIFICATIONS. DEVIATIONS FROM APPROVED PLANS REQUIRE LANDSCAPE ARCHITECT AND CITY OF TUCSON APPROVAL PRIOR TO IMPLEMENTATION.
11. ALL CITY OF TUCSON AND LANDSCAPE ARCHITECT INSPECTIONS REQUIRE A MINIMUM ADVANCE NOTICE OF 48 HOURS. A SUBSTANTIAL COMPLETION INSPECTION BY OWNER'S AUTHORIZED REPRESENTATIVE WILL BE CONDUCTED AND ALL DEFICIENCIES LISTED. SEPARATE INSPECTIONS MAY BE REQUIRED FOR BACKFLOW PREVENTION ASSEMBLIES AND ELECTRICAL WORK. CONTRACTOR SHALL RECTIFY ALL DEFICIENCIES PRIOR TO FINAL INSPECTION BY OWNER'S AUTHORIZED REPRESENTATIVE AND CITY OF TUCSON.
12. ALL EQUIPMENT, MATERIALS, LABOR, AND TRANSPORTATION NOT INDICATED OR EXPLICITLY SPECIFIED BY THESE PLANS OR CITY OF TUCSON STANDARD SPECIFICATIONS, BUT REQUIRED FOR THE EXECUTION OF THE WORK SHALL BE SUPPLIED BY THE CONTRACTOR AND ARE CONSIDERED INCIDENTAL TO THE WORK.
13. PROJECT MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR ITS SUCCESSORS.
14. ALL WALLS, FENCES, SIGNS AND GATES REQUIRE SEPARATE PERMITS.
15. ALL SCREEN AND DECORATIVE WALLS MUST BE CONSTRUCTED OF GRAFFITI RESISTANT MATERIALS.
16. PROJECT MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR ITS SUCCESSORS.
17. DUST CONTROL: ALL DISTURBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED WITH VEGETATION SHALL BE TREATED WITH AN APPROVED DUST CONTROL AGENT TO REDUCE DUST POLLUTION. ALL LANDSCAPE AND OPEN AREAS, AREAS BETWEEN THE PROPERTY LINE AND THE SIDEWALK AND AREAS BETWEEN THE SIDEWALK AND THE STREET CURB MUST RECEIVE DECOMPOSED GRANITE AT A 2" DEPTH. GROUND SURFACES IN PLANTING BEDS, PLANTERS, MEDIANS, OR TREE UNDER STORY WITHIN A LANDSCAPED AREA THAT ARE NOT COVERED WITH VEGETATION SHALL BE TREATED WITH THE SAME INORGANIC GROUND COVER. ALL LANDSCAPE AREAS SHALL COMPLY WITH REQUIREMENTS OF LUC 3.7.2.4.A.4

MAINTENANCE NOTES:

- 18. ANY PLANT MATERIAL IN AREAS OF REQUIRED LANDSCAPING THAT DOES NOT SURVIVE MUST BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
19. PLANT MATERIAL MUST BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT, EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
20. CLIPPING AND PRUNING OF THE PLANT MATERIAL ARE REQUIRED TO ALLOW MAXIMUM SHADING WHILE PRESERVING SURVEILLANCE OPPORTUNITIES AND PREVENTING OBSTRUCTIVE OVERHANG INTO WALKS, CURB AREAS, DRIVES AND LINE OF SIGHT TRIANGLES AS REQUIRED BY THE UNIFIED DEVELOPMENT CODE.
21. ALL DEAD OR REMOVED PLANT MATERIAL MUST BE REPLACED WITH PLANT MATERIAL ACCEPTABLE UNDER THE STANDARDS OF THE APPLICABLE LANDSCAPING STANDARDS.
22. REPLACEMENT MATERIAL MUST BE A MINIMUM FIFTEEN (15) GALLON SIZE FOR TREES AND FIVE (5) GALLON SIZE FOR SHRUBS
23. REGULAR LANDSCAPE MAINTENANCE SHALL ENSURE WATER EFFICIENCY AND INCLUDE: BUT NOT BE LIMITED TO, PRUNING, MULCHING, WEEDING, LITTER REMOVAL, AERATING AND DETHATCHING TURF AREAS AS NECESSARY.
24. EXTERIOR IMPROVEMENTS, SUCH AS BENCHES, WALLS OR RAMADAS, MUST BE OF DURABLE MATERIALS APPROPRIATE TO THE DESERT CLIMATE. MATERIAL WITH INTEGRAL COLORING OR STUCCO IS PREFERRED FOR SEATING FIXTURES AND OTHER PERMANENT IMPROVEMENTS.
25. INERT MATERIALS USED IN LANDSCAPE AREAS MUST BE OF A NATURE TO WITHSTAND THE EXTREMES OF THE DESERT CLIMATE AND MINIMIZE HEAT GAIN OR REFLECTED HEAT.
26. INERT MATERIALS MUST BE REPLACED AS NEEDED DUE TO DISPLACEMENT OR EROSION.
27. LANDSCAPE AREAS MUST BE KEPT FREE OF TRASH, WEEDS, DEBRIS AND DEAD PLANT MATERIAL AND MUST BE MAINTAINED IN A CLEAN AND NEAT FASHION.
28. SUBSTANTIAL MODIFICATIONS, AS DETERMINED BY THE PSDS DIRECTOR, AND/OR REMOVAL OF PLANT MATERIALS OR OTHER LANDSCAPE ELEMENTS SHALL REQUIRE REVIEW AND APPROVAL OF A REVISED LANDSCAPE PLAN BY PSDS.
29. THE REMOVAL OR DESTRUCTION OF LANDSCAPE MATERIAL THAT HAS BEEN INSTALLED ACCORDING TO AN APPROVED LANDSCAPE PLAN AND NOT REPLACED CONSTITUTES A VIOLATION OF THE UDC.
30. MINOR MODIFICATIONS OF THE LANDSCAPING OCCURRING AS A RESULT OF ROUTING MAINTENANCE, NECESSARY REPLACEMENT OF ELEMENTS BECAUSE OF DAMAGE OR DISEASE, OR OTHER CAUSES IS NOT SUBJECT TO REVIEW BY PSDS.
31. PAINT AND STUCCO MUST BE RENEWED ON THE SURFACES OF FENCES AND WALLS AS NEEDED.
32. ANY SCREENING DEVICE THAT HAS DETERIORATED TO THE POINT WHERE IT DOES NOT SERVE AS A SCREEN MUST BE REPLACED BY THE PROPERTY OWNER.
33. AUTOMATIC IRRIGATION CONTROLLERS ARE RECOMMENDED TO BE RESET A MINIMUM OF FOUR TIMES A YEAR (SPRING, SUMMER, FALL AND WINTER) TO ADJUST FOR PLANT WATER REQUIREMENTS THAT VARY ACCORDING TO THE SEASON.
34. WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT MUST BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENT.

NOTES FOR PLANTING IN PUBLIC R.O.W.

- 1. IT IS THE OWNER'S RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA CLEAR OF VEGETATION AT ALL TIMES, PER LAND USE CODE (LUC) SECTION.
2. IT IS THE OWNER RESPONSIBLE TO KEEP VEGETATION FROM GROWING PAST THE CURB LINE CLEAR, AND KEEP A 15' HIGH CLEAR ZONE OVER THE TRAVEL LANE.
3. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
4. THE OWNER UNDERSTANDS THAT IF THE CITY OF TUCSON TRANSPORTATION DEPARTMENT OR ANY UTILITY COMPANY NEEDS TO WORK WITHIN THE ROW IN THE LANDSCAPED AREA, PLANTS AND IRRIGATION MAY BE DESTROYED WITHOUT REPLACEMENT OR REPAIR.
5. THE OWNER TAKES FULL LIABILITY FOR THIS LANDSCAPE AND IRRIGATION, AND ANY DAMAGE TO ROADWAY, SIDEWALK AND UTILITIES.
6. THE ONLY PRIVATE IRRIGATION EQUIPMENT THAT IS ALLOWED WITHIN THE ROW ARE LATERAL LINES, TUBING AND EMITTERS THAT ARE NOT UNDER CONSTANT PRESSURE. ALL OTHER EQUIPMENT MUST BE ON PRIVATE PROPERTY. (EXCLUDING WATER METER).
CONTRACTOR TO OBTAIN A ROW EXCAVATION PERMIT PRIOR TO CONSTRUCTION WITHIN THE ROW.

WATER HARVESTING NOTES:

- 7. WHEREVER POSSIBLE, SWALES AND MICROBASINS WILL BE GRADED TO TAKE ADVANTAGE OF STORMWATER TO IRRIGATE VEGETATION.
8. OVERFLOW PIPES WILL BE INSTALLED AS NEEDED TO DIRECT AND DISTRIBUTE STORMWATER WITHIN THE MICROBASINS AND SWALES.
9. WHEN PLACING BERMS AND DEPRESSIONS, CONFIGURE THEM IN SUCH A WAY AS TO MINIMIZE TRIPPING HAZARDS.
10. MICROBASINS MUST BE DESIGNED TO ALLOW FOR RAPID INFILTRATION OF STANDING WATER. TIME OF STANDING WATER IS NOT TO EXCEED 12 HOURS. ALL WATER HARVESTING BASINS SHALL BE NO DEEPER THAN 6".
11. KEEP PONDING/STANDING WATER AT LEAST 10 FEET FROM STRUCTURE FOUNDATIONS.

NOTE: PER TUCSON TECHNICAL STANDARDS MANUAL 5-01-5.2: ALL PLANTS WITHIN BUFFERYARDS AND USED FOR SCREENING SHALL BE MINIMUM OF 5 GALLON SIZE.

ADDRESSING:

Empty box for addressing information.

01 BUFFERYARD TABLE

Table with columns: General Cardinal Direction, Landscape Border Required, Landscape Border Provided, Linear Feet, Screen Required, Screen Provided, Trees Required, Trees Provided, Area, Planting Area Provided.

bda BRIGHT DESIGN ASSOCIATES logo and contact information including address, phone, fax, and email.

Bowman Consulting Group Ltd. logo and contact information including address, phone, and website.

CRYTAL CAFE GEM GALLERY 847 N STONE TUCSON, ARIZONA

MARCO SCHREIER

Table with columns: Mark, Date, Description. Includes project number 051595, date DECEMBER 2023, and sheet title LANDSCAPE PLAN.

LANDSCAPE PLAN

1

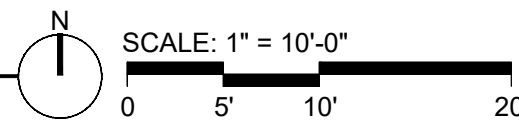
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01 PLANTING PLAN



SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
	CERCIDIUM FLORIDUM BLUE PALO VERDE	EXISTING	2
	CHILOPSIS LINEARIS 'BURGUNDY' 'BURGUNDY' DESERT WILLOW	15 GAL.	3
ACCENTS			
	AGAVE WEBERI WEBER'S AGAVE	5 GAL.	1
	CHARGEIA GIGANTEA SAGUARO	MIN. 20' HT W/ MIN TWO 4' ARMS EACH	1
	DASYLIRION ACROTRICHUM GREEN DESERT SPOON	5 GAL.	3
	DASYLIRION WHEELERII GREY DESERT SPOON	5 GAL.	2
	FOUQUIERIA SPLENDENS OCOTILLO	5 GAL.	1
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.	7
	HESPERALOE PARVIFLORA 'PERPA' TM BRANDELIGHT'S RED YUCCA	5 GAL.	26
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM	5 GAL.	12
	REGAL MIST MUHLY MUHLENBERGIA RIGIDA 'NASHVILLE' TM	1 GAL.	13
	NASSIELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL.	34
	PEDILANTHUS MACROCARPUS LADY'S SLIPPER	5 GAL.	8
	STENOCHERUS MARGINATA MEXICAN FENCE POST	5 GAL.	9
	YUCCA RUPICOLA TWISTED LEAF YUCCA	5 GAL.	19
GROUND COVERS			
	DALEA CAPITATA 'SIERRA GOLD' SIERRA GOLD DALEA	5 GAL.	4
SHRUBS			
	BAILEYA MULTIRADATA DESERT MARIGOLD	1 GAL.	18
	CAESALPINIA PULCHERRIMA MEXICAN BIRD OF PARADISE	5 GAL.	2
	SALVIA X 'TRIDENT' TM TRIDENT SAGE	5 GAL.	11
	SPHAERALCEA AMBIGUA DESERT GLOBEMALLOW	5 GAL.	30
	VERBENA RIGIDA SANDPAPER VERBENA	5 GAL.	5
FINISHING TREATMENT			
	3/4" RIP RAP ROCK, DESERT BROWN AS MANUFACTURED BY PIONEER SAND AND GRAVEL. RIP RAP TO BE SET INTO GRADE MIN. 0F 1/2" (DO NOT LAY RIP RAP ON TOP OF FINISHED GRADE). CONTRACTOR TO ASSURE TOP OF ROCK IS SET TO FINISHED GRADE TO ASSURE WATER HARVESTING VOLUMES.	NOT SHOWN	DECORATIVE ROCK (DG), 1/2" DESERT BROWN AS MANUFACTURED BY PIONEER SAND AND GRAVEL AT MINIMUM 2" DEPTH. ALL LANDSCAPED AREAS UP TO BACK OF WALK OR CURB OR BUILDING. CONTRACTOR TO ASSURE TOP OF ROCK IS SET TO FINISHED GRADE TO ASSURE WATER HARVESTING VOLUMES.

D

C

B

A

VISIBILITY TRIANGLE

HADED PEDESTRIAN AREA BY CANOPY TREES
5 SqFt



BRIGHT DESIGN ASSOCIATES

A PROFESSIONAL LIMITED LIABILITY COMPANY
660 S. Country Club
Tucson, Arizona 85716
Tel 520.529.1878
Fax 520.292.1142

E-MAIL rbrigh@brightdesignassoc.com

www.brightdesignassoc.com

Professional Engineer
 License No. 38905
 TIMOTHY S. JOHNSON
 12/15/2023
 Exp. 3/31/24

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Bowman Consulting Group Ltd.
3275 W. Ina Road, Suite 220
Tucson, Arizona 85741
Phone: (520) 463-3200
www.bowman.com
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CRYTAL CAFE
GEM GALLERY
847 N STONE
TUCSON, ARIZONA

MARCO SCHREIER

Mark	Date	Description

TD-DEV-0923-00396

ADDRESSING:

Project number	051595
Date	DECEMBER 2023
Drawn by	GM
Checked by	TJ
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Sheet Title	

LANDSCAPE PLAN

Sheet No. L1.00 5 of 16

1

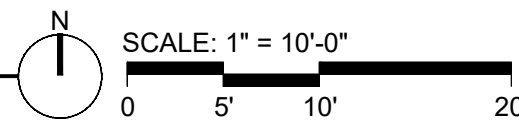
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01 SHADED AREAS PLAN



02 SHADED AREA

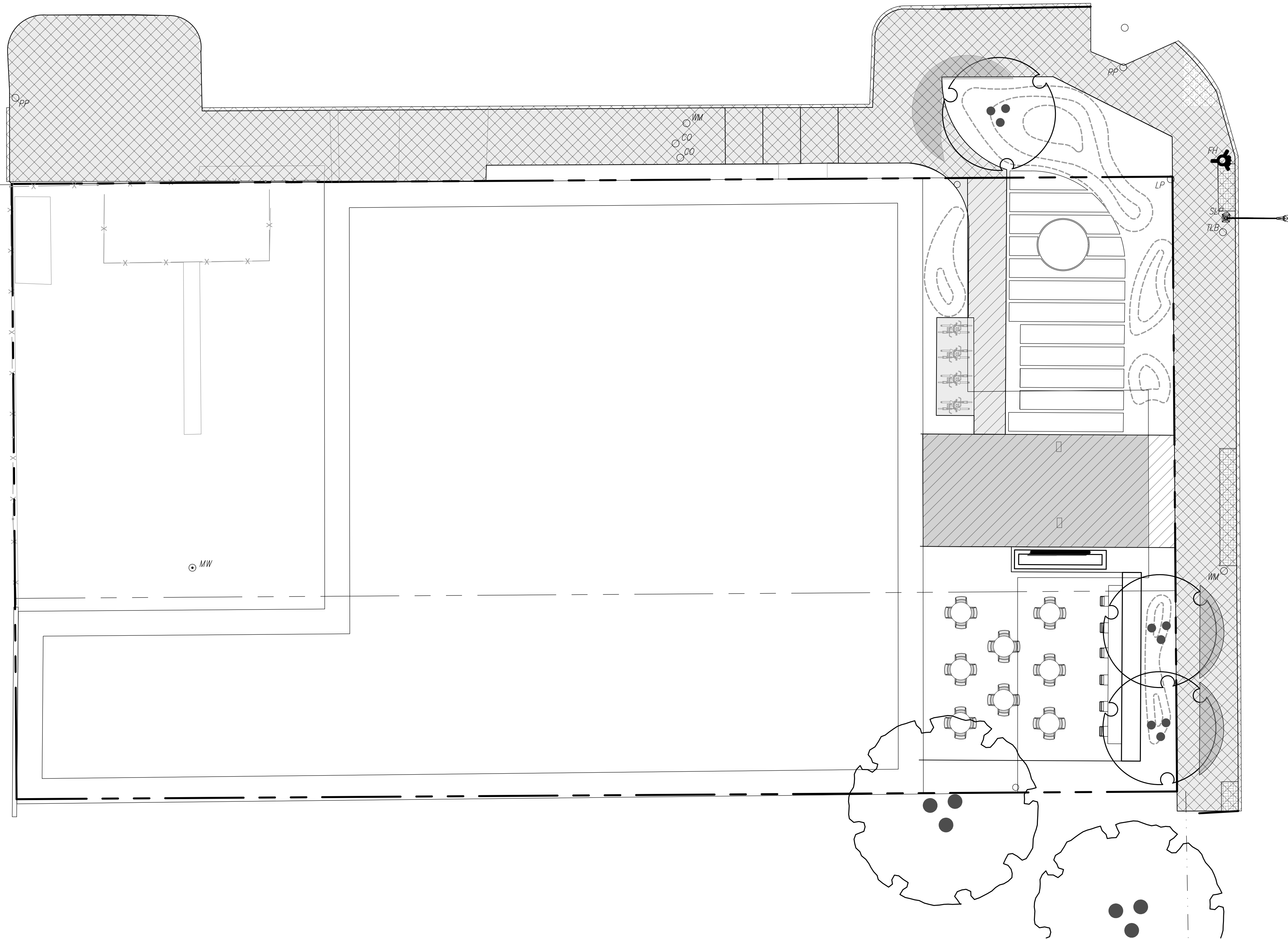
- PEDESTRIAN AREA ON PRIVATE PROPERTY:
949 SqFt - 100% AREA
640 SqFt - 67.4% SHADED AREA
- PEDESTRIAN AREA IN ROW:
3,872 SqFt - 100% AREA
165 SqFt - 4.2% SHADED AREA
- SHADED PEDESTRIAN AREA BY CANOPY OVERHEAD STRUCTURE
640 SqFt
- SHADED PEDESTRIAN AREA BY CANOPY TREES
165 SqFt

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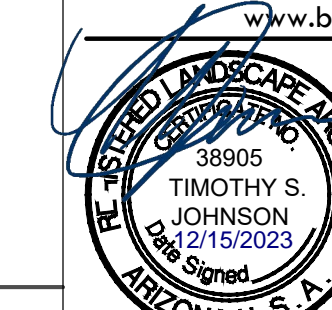
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3275 W. Ina Road, Suite 220
Tucson, Arizona 85741
Phone: (520) 463-3200
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GEM GALLERY
847 N STONE
TUCSON, ARIZONA**

MARCO SCHREIER

Mark	Date	Description

TD-DEV-0923-00396

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Project number **051595**
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 Drawn by **GM**
 Checked by **TJ**
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LANDSCAPE PLAN

Sheet No. **L1.01** 6 of 16

1

2

3

4

5

01 LAYOUT & MATERIALS PLAN

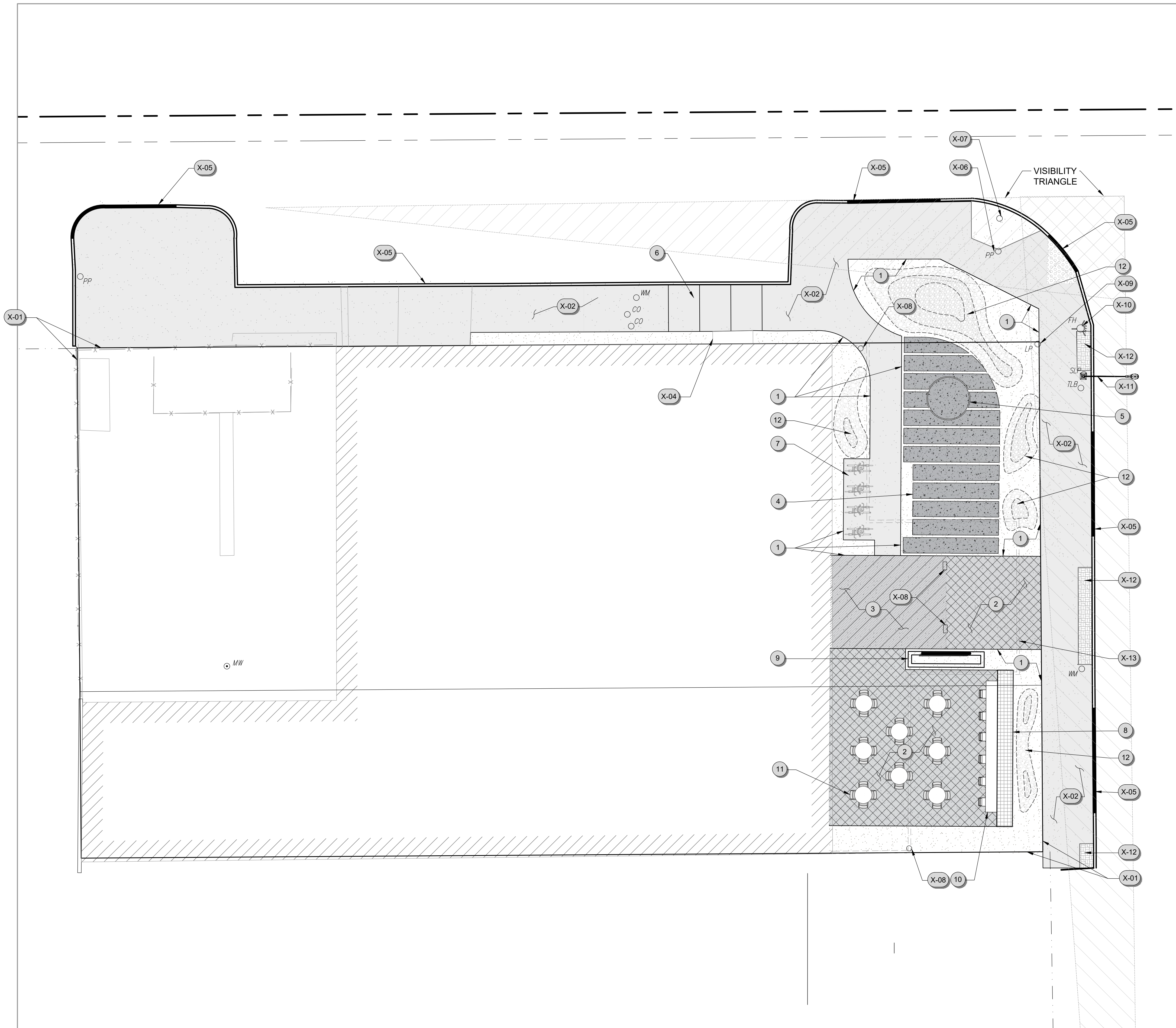
SCALE: 1" = 10'-0"
0 5' 10' 20'

D

C

B

A



- SYMBOL DESCRIPTION**
- 1 NEW EDGE OF EXISTING CONCRETE (SAW CUT)
 - 2 EXISTING CONCRETE, GROUND (EXPOSED AGGREGATE- NOT POLISHED)
 - 3 EXISTING CONCRETE, MAIN ENTRANCE, (FINISH TO MATCH THE INTERIOR)
 - 4 PROPOSED CONCRETE, LIGHT TAN INTEGRAL COLOR W/ ACID WASH, EXPOSED AGGREGATE, (PER PAG 200)
 - 5 CONCRETE PEDESTAL, NO COLOR, THICKNESS AND REINFORCEMENT PER REQUIREMENTS FOR 4 TONS BEARING CAPACITY (BASE FOR SEMI-PERMANENT DISPLAY OF LARGE ITEMS)
 - 6 NEW ACCESS RAMP PER PAG STANDARDS
 - 7 BICYCLE RACKS TYPE 02
 - 8 GABION WALL, LIGHT COLORED CATALINA SCHIST WITH ACCENT GEMS STONES, METAL CAGE
 - 9 RAISED PLANTER (SEE DETAILS)
 - 10 HIGH-TOP COFFEE TABLE
 - 11 COFFEE TABLES & CHAIRS (TYP)
 - 12 WATER HARVESTING / RECESSED LANDSCAPE AREA, LARGE DIAMETER ROCK

- EXISTING SYMBOL DESCRIPTION**
- X-01 PROPERTY LINE
 - X-02 EXISTING CONCRETE SIDEWALK, NO FINISH (TO REMAIN)
 - X-03 EXISTING SIDEWALK SCUPPER (TO REMAIN)
 - X-04 EXISTING CONCRETE STEPS (TO REMAIN)
 - X-05 EXISTING H/C RAMP / DEPRESSED CURB (TO REMAIN)
 - X-06 EXISTING POWER POLE (TO REMAIN)
 - X-07 EXISTING TRAFFIC STOP SIGN (TO REMAIN)
 - X-08 EXISTING OVERHEAD CANOPY STEEL COLUMNS (TO REMAIN)
 - X-09 EXISTING PRIVATE LIGHT POLE (TO BE REMOVED)
 - X-10 EXISTING FIRE HYDRANT (TO REMAIN)
 - X-11 EXISTING STREET LIGHT (TO REMAIN)
 - X-12 EXISTING BRICK PAVERS IN ROW, TO REMAIN
 - X-13 EXISTING CANOPY OVERHANG (SEE ARCH. PLANS)

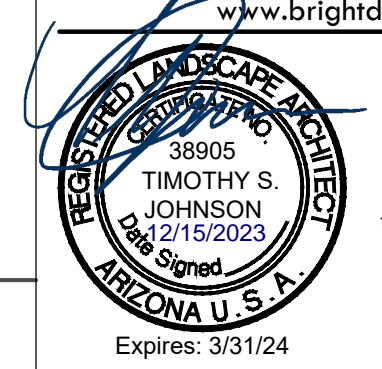


BRIGHT DESIGN ASSOCIATES

A PROFESSIONAL LIMITED LIABILITY COMPANY
 660 S. Country Club
 Tucson, Arizona 85716
 Tel 520.529.1878
 Fax 520.292.1142

E-MAIL rbright@brightdesignassoc.com

www.brightdesignassoc.com



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Bowman Consulting Group Ltd.
 3275 W. Ina Road, Suite 220
 Tucson, Arizona 85741
 Phone: (520) 463-3200
 www.bowman.com
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**CRYTAL CAFE
 GEM GALLERY
 847 N STONE
 TUCSON, ARIZONA**

MARCO SCHREIER

Mark	Date	Description

TD-DEV-0923-00396

ADDRESSING:

Project number	051595
Date	DECEMBER 2023
Drawn by	GM
Checked by	TJ
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LAYOUT AND MATERIAL PLAN

1

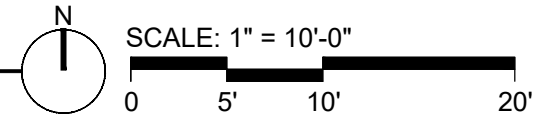
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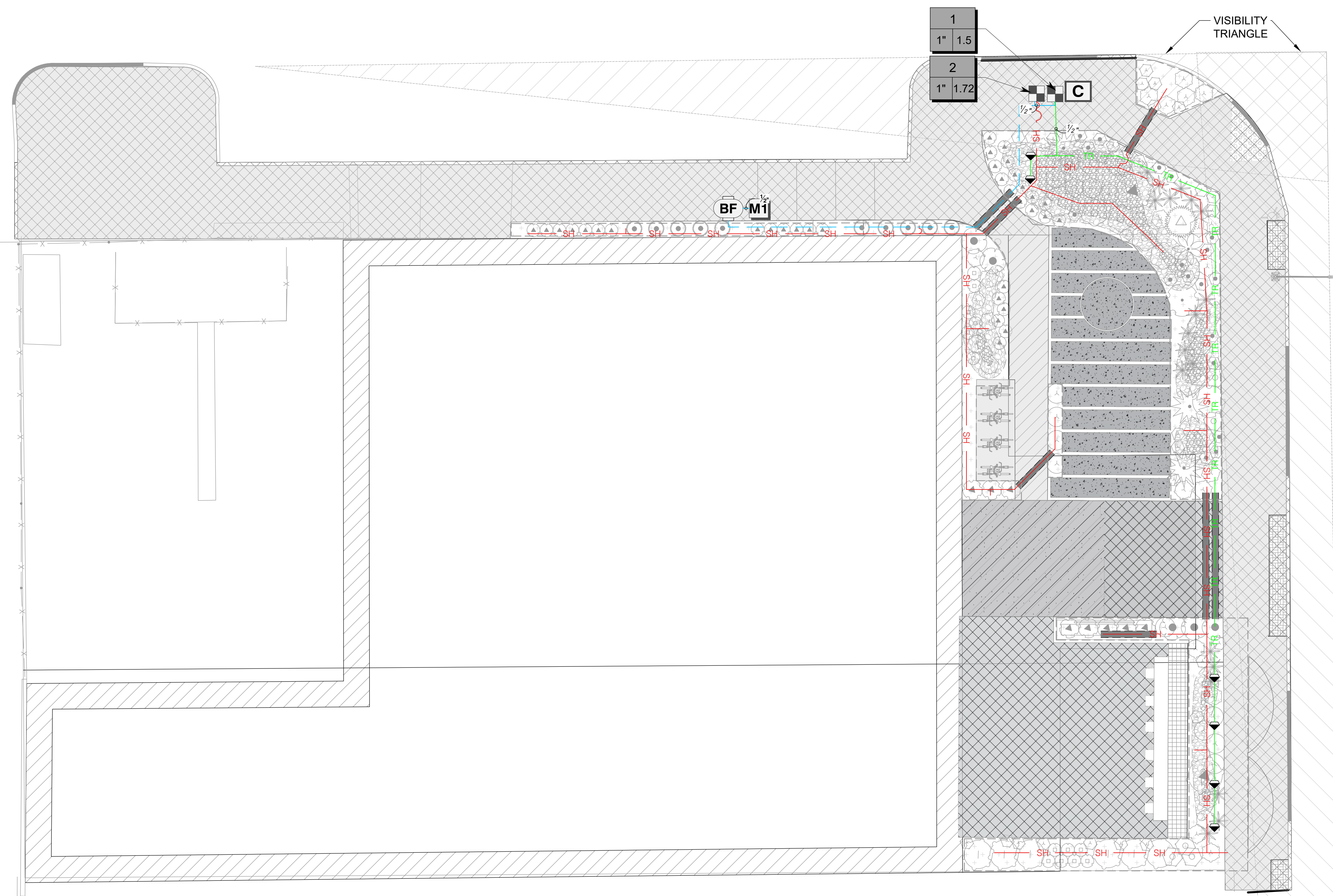
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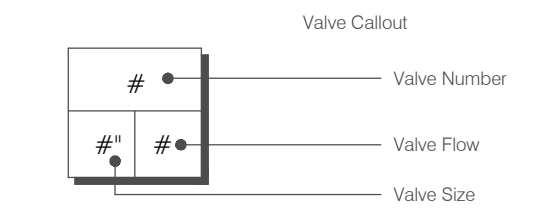
01 IRRIGATION PLAN



D
C
B
A



IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	RAIN BIRD RWS-B-C, 1400 SERIES ROOT WATERING SYSTEM WITH 4.0IN. DIAMETER X 36.0IN. LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE, AND CHECK VALVE. RAIN BIRD BUBBLER OPTION AS INDICATED: 1401 0.25 GPM, 1402 0.5 GPM, 1404 1.0 GPM, 1408 2.0 GPM.	35
	RAIN BIRD XCZ-100-PRB-COM 1" WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	PSI
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XBCVT-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A 1/2IN. FPT INLET X BARB OUTLET. W/ CHECK VALVE.	40
	Emitter Notes: 05PC emitters (1 assigned to each 1 gal. plant)	
	05PC emitters (1 assigned to each 2 gal. plant)	
	05PC emitters (1 assigned to each 3 gal. plant)	
	05PC emitters (1 assigned to each 5 gal. plant)	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	
	RAIN BIRD ESP-9V1 1 ZONE, 9V BATTERY-OPERATED CONTROLLER. INSTALL WITH (TBOSPSOL) 9V . DC LATCHING SOLENOID. USE (TBOSADAPP OR TBOSADAPB) ADAPTERS FOR NON-RAIN BIRD PLASTIC/BRASS VALVES.	
	WATER METER 1"	
TR	IRRIGATION LATERAL LINE: LATERAL - TREES 1/2"	
SH	IRRIGATION LATERAL LINE: LATERAL - SHRUB	
SH	IRRIGATION LATERAL LINE: LATERAL - SHRUB 1/2"	
	IRRIGATION MAINLINE: PVC SCHEDULE 40 1/2"	
	PIPE SLEEVE: PVC CLASS 200 SDR 21	



CRITICAL ANALYSIS

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P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.5 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 70 PSI
Elevation Change: 1.00 ft
Service Line Size: 8"
Length of Service Line: 20 ft
Pressure Available: 70 PSI

DESIGN ANALYSIS
Maximum Station Flow: 1.72 GPM
Flow Available at POC: 37.5 GPM
Residual Flow Available: 35.78 GPM

Critical Station: 2
Design Pressure: 40 PSI
Friction Loss: 0.67 PSI
Fittings Loss: 0.07 PSI
Elevation Loss: 0 PSI
Loss through Valve: 1.68 PSI
Pressure Req. at Critical Station: 42.4 PSI
Loss for Fittings: 0 PSI
Loss for Main Line: 0.93 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 11.8 PSI
Loss for Water Meter: 0.2 PSI
Critical Station Pressure at POC: 55.4 PSI
Pressure Available: 70 PSI
Residual Pressure Available: 14.6 PSI

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Tucson, Arizona 85716
Tel 520.529.1878
Fax 520.292.1142
E-MAIL rbright@brightdesignassoc.com
www.brightdesignassoc.com

Professional Engineer Seal for Timothy S. Johnson, License No. 38905, State of Arizona, U.S.A., signed 12/15/2023. Expires: 3/31/24.

Bowman
Bowman Consulting Group Ltd.
3275 W. Ina Road, Suite 220
Tucson, Arizona 85741
Phone: (520) 463-3200
www.bowman.com
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IRRIGATION PLAN

1

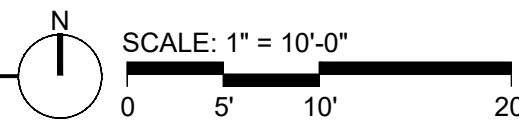
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01 RAIN WATER HARVESTING PLAN



02 WATER HARVESTING LEGEND

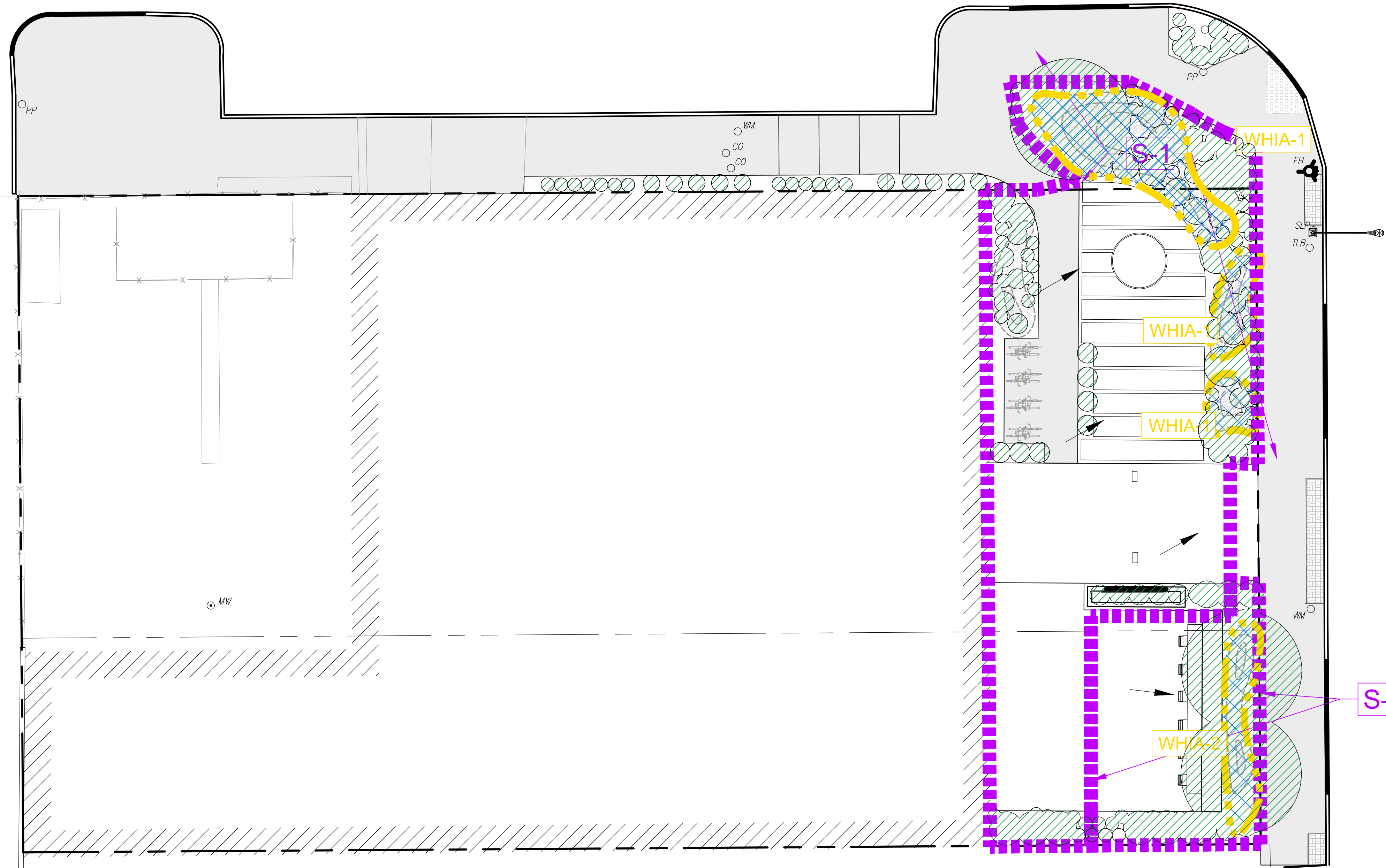
-  SUB WATERSHED BOUNDARY
-  FLOW ARROW
-  RECESSED PLANTED AREA (WHIA)

D

C

B

A

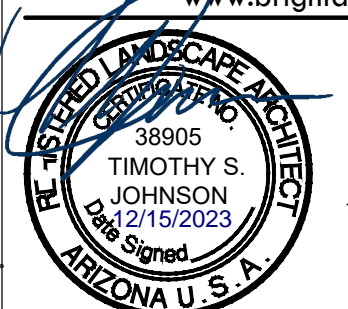


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LANDSCAPE PLAN

01 WATER HARVESTING TABLE

02 WATER HARVESTING NOTES

- a. This site is an urban infill redevelopment with existing conditions. No re-grading of the hardscape is planned. To the extent practical, this landscape plan proposes to recess some areas of the proposed planted areas in order to harvest rainwater from the canopy and ground level hardscape. Without a full survey with detailed grading info, this Rainwater Harvesting Implementation Plan attempts to meet the intent of 4-10-3.0.

SITE WATER BUDGET

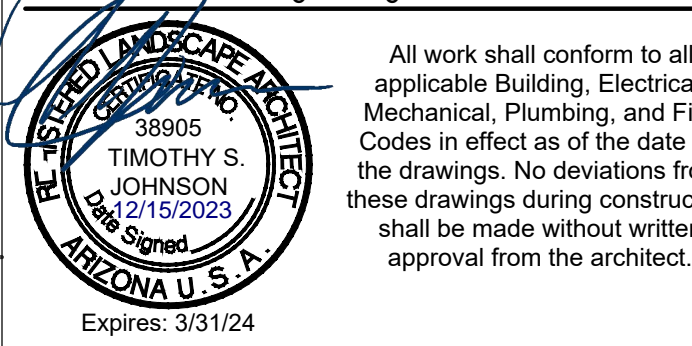
	DATA AND CALCULATION SOURCES FOR WHIAs	Column A	Column B	DATA AND CALCULATION SOURCES FOR TOTAL SITE	Column L
PLANT WATER DEMAND	Source for data, and how calculations are done for each Water Harvesting Infiltration Areas (WHIA) in columns A through J	Individual Water Harvesting Infiltration area (WHIA)	Individual Water Harvesting Infiltration area (WHIA)	Source for data, and how calculations are done for Total of all Water Harvesting Infiltration Areas at the Site	Total for all Water Harvesting Infiltration Areas at the Site
Individual WHIA identifier	APPLICANT	WHIA - 1	WHIA - 2	----	
Plant water demand category for this WHIA	APPLICANT: BASED ON ADWR PLANT LIST	low	low	----	
Plant canopy area (square feet) for this WHIA. Add the canopies of understory, midstory and overstory plant areas to get total canopy area for each WHIA	APPLICANT. CAN BE BASED ON LANDSCAPE PLAN OR PLANT LIST	2,864	607	= sum (line 3 for columns A through B)	3,471
Plant water demand per year (vertical feet of water per year per square foot of canopy) for this WHIA	GET APPROPRIATE NUMBER FROM TABLE 1 BASED ON ON PLANT WATER DEMAND CATEGORY FOR THIS WHIA	1.7	1.7	----	
CALCULATE: Annual plant water demand for this WHIA based on plant canopy area (gallons)	= line 3 times line 4 times 7.48 gallons per cubic foot of water	36,419	7,719	=sum (line 5 for columns A through B)	44,137
OVERALL WATER HARVESTING SUPPLY					
WHIA area (square feet)	APPLICANT	462	123	----	
WHIA average depth (feet)	APPLICANT	0.5	0.5	----	
CALCULATE: WHIA capacity (gallons)	line 7 times line 8 times 7.48 gallons/sq ft	1,728	460	----	
If Passive water harvesting is used:					
Subwatershed identifier	APPLICANT	S-1	S-2	----	
Ratio of subwatershed area to plant canopy area needed to meet plant water demand in July through March (use March plant water demand as the indicator month, and effective rainfall in March of 0.41 inches, as shown on Table 3) (no units)	GET APPROPRIATE NUMBER FROM TABLE 2 BASED ON PLANT WATER DEMAND CATEGORY FOR EACH WHIA	3.85	3.85	----	
CALCULATE: Total catchment area ideally needed to meet plant water demand in March (square feet)	= line 3 x line 12	11,026	2,337	----	
Actual total catchment area designed for this WHIA including the WHIA area itself (square feet)	APPLICANT	3,443	1,027	----	
CALCULATE: Actual catchment ratio for this WHIA based	= line 14 divided by line 3	1.20	1.69	----	
CALCULATE: Actual percent of plant water demand that will be met for this WHIA	=64% times line 15 divided by line 12	20%	28%	----	
If Active water harvesting is used:					
Tank identifier	APPLICANT			----	
above or below ground?	APPLICANT			----	
tank height (feet)	APPLICANT			----	
tank diameter (feet)	APPLICANT			----	
tank capacity (gallons)	APPLICANT			----	
tank location	APPLICANT			----	
CALCULATE: Percent of plant water demand for this WHIA met by this tank	(Assume tank will be filled and emptied 4 times per year) Total water provided = 4 times line 22 divided by line 5	0%	0%	----	
CALCULATE: Percent of plant water demand for this WHIA met using harvested rainwater from passive systems and active systems (as applicable)	= line 16 + line 24	20%	28%	----	
TOTAL SITE INFORMATION					
Percent to total site annual landscape demand met using harvested water				Prorate the percent provided per WHIA based on size of WHIA. Total =(A25 x A3/L3)+ (B25x B3/L3)+... etc. for all individual WHIA columns. IMPORTANT NOTE: WHEN USING THE SPREADSHEET CALCULATOR IN THE CELL TO THE LEFT, DELETE ANY CELLS ON "LINE 25" (TRUE LINE 28) THAT STILL SAY "#DIV/0" AFTER ALL OTHER DATA HAS BEEN FILLED IN ON THE TABLE.	21%
Water harvesting capacity offsetting retention basin size capacity				APPLICANT'S ENGINEER	
Projected annual metered water use for the site if 50% of annual water use is provided by metered irrigation water (gallons) [50% is the allowed metered water use per the Commercial Rainwater Harvesting Ordinance]				Line L5 times 50%	22,069



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 Tucson, Arizona 85716
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LANDSCAPE PLAN

Sheet No. **L4.01** 10 of 16

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01 LANDSCAPE NOTES

GENERAL NOTES

1. ZONING: EXISTING ZONING IS "C-3" BUSINESS ZONE TO REMAIN.
2. THE PROPERTY IS OPTING INTO THE INFILL INCENTIVE DISTRICT.
3. AREA: GROSS: 0.18 ACRES OR 18,119.88 SF.
4. THE ASSESSORS PARCEL NO. IS 117-03-1120.
5. SIGHT VISIBILITY TRIANGLES: PLANT MATERIAL INSTALLED WITHIN THE SIGHT VISIBILITY TRIANGLES SHALL BE MAINTAINED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED AS TWO HORIZONTAL LINES AT LOCATED AT 18" AND 72" ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
6. PLANT SIZE: PLANT MATERIAL SHALL BE INSTALLED AT THE FOLLOWING MINIMUM SIZES: TREES = 15 GAL, SHRUBS/ACCENTS = 5 GAL, GROUND COVER/VINES = 1 GAL.
7. IRRIGATION: LANDSCAPE WILL BE IRRIGATED BY MEANS OF A PERMANENT UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC CONTROLLER. ALL WATER USE FOR IRRIGATION PURPOSES WILL CONFORM TO THE ARIZONA GROUNDWATER CODE, ARIZONA REVISED STATUTES TITLE 45, CHAPTER 2.
8. HARDSCAPE, LANDSCAPE, AND IRRIGATION CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND CITY OF TUCSON STANDARD SPECIFICATIONS. DEVIATIONS FROM APPROVED PLANS REQUIRE LANDSCAPE ARCHITECT AND CITY OF TUCSON APPROVAL PRIOR TO IMPLEMENTATION.
9. ALL CITY OF TUCSON AND LANDSCAPE ARCHITECT INSPECTIONS REQUIRE A MINIMUM ADVANCE NOTICE OF 48 HOURS. A SUBSTANTIAL COMPLETION INSPECTION BY OWNER'S AUTHORIZED REPRESENTATIVE WILL BE CONDUCTED AND ALL DEFICIENCIES LISTED. SEPARATE INSPECTIONS MAY BE REQUIRED FOR BACKFLOW PREVENTION ASSEMBLIES AND ELECTRICAL WORK. CONTRACTOR SHALL RECTIFY ALL DEFICIENCIES PRIOR TO FINAL INSPECTION BY OWNER'S AUTHORIZED REPRESENTATIVE AND CITY OF TUCSON.
10. ALL EQUIPMENT, MATERIALS, LABOR, AND TRANSPORTATION NOT INDICATED OR EXPLICITLY SPECIFIED BY THESE PLANS OR CITY OF TUCSON STANDARD SPECIFICATIONS, BUT REQUIRED FOR THE EXECUTION OF THE WORK SHALL BE SUPPLIED BY THE CONTRACTOR AND ARE CONSIDERED INCIDENTAL TO THE WORK.
11. PROJECT MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR ITS SUCCESSORS.
12. ALL WALLS, FENCES, SIGNS AND GATES REQUIRE SEPARATE PERMITS.
13. ALL SCREEN AND DECORATIVE WALLS MUST BE CONSTRUCTED OF GRAFFITI RESISTANT MATERIALS.
14. PROJECT MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR ITS SUCCESSORS.
15. DUST CONTROL: ALL DISTURBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED WITH VEGETATION SHALL BE TREATED WITH AN APPROVED DUST CONTROL AGENT TO REDUCE DUST POLLUTION. ALL LANDSCAPE AND OPEN AREAS, AREAS BETWEEN THE PROPERTY LINE AND THE SIDEWALK AND AREAS BETWEEN THE SIDEWALK AND THE STREET CURB MUST RECEIVE DECOMPOSED GRANITE AT A 2" DEPTH. GROUND SURFACES IN PLANTING BEDS, PLANTERS, MEDIANS, OR TREE UNDER STORY WITHIN A LANDSCAPED AREA THAT ARE NOT COVERED WITH VEGETATION SHALL BE TREATED WITH THE SAME INORGANIC GROUND COVER. ALL LANDSCAPE AREAS SHALL COMPLY WITH REQUIREMENTS OF LUC 3.7.2.4.A.4

MAINTENANCE NOTES:

16. ANY PLANT MATERIAL IN AREAS OF REQUIRED LANDSCAPING THAT DOES NOT SURVIVE MUST BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
17. PLANT MATERIAL MUST BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT, EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
18. CLIPPING AND PRUNING OF THE PLANT MATERIAL ARE REQUIRED TO ALLOW MAXIMUM SHADING WHILE PRESERVING SURVEILLANCE OPPORTUNITIES AND PREVENTING OBSTRUCTIVE OVERHANG INTO WALKS, CURB AREAS, DRIVES AND LINE OF SIGHT TRIANGLES AS REQUIRED BY THE UNIFIED DEVELOPMENT CODE.
19. ALL DEAD OR REMOVED PLANT MATERIAL MUST BE REPLACED WITH PLANT MATERIAL ACCEPTABLE UNDER THE STANDARDS OF THE APPLICABLE LANDSCAPING STANDARDS.
20. REPLACEMENT MATERIAL MUST BE A MINIMUM FIFTEEN (15) GALLON SIZE FOR TREES AND FIVE (5) GALLON SIZE FOR SHRUBS
21. REGULAR LANDSCAPE MAINTENANCE SHALL ENSURE WATER EFFICIENCY AND INCLUDE: BUT NOT BE LIMITED TO, PRUNING, MULCHING, WEEDING, LITTER REMOVAL, AERATING AND DETHATCHING TURF AREAS AS NECESSARY.
22. EXTERIOR IMPROVEMENTS, SUCH AS BENCHES, WALLS OR RAMADAS, MUST BE OF DURABLE MATERIALS APPROPRIATE TO THE DESERT CLIMATE. MATERIAL WITH INTEGRAL COLORING OR STUCCO IS PREFERRED FOR SEATING FIXTURES AND OTHER PERMANENT IMPROVEMENTS.
23. INERT MATERIALS USED IN LANDSCAPE AREAS MUST BE OF A NATURE TO WITHSTAND THE EXTREMES OF THE DESERT CLIMATE AND MINIMIZE HEAT GAIN OR REFLECTED HEAT.
24. INERT MATERIALS MUST BE REPLACED AS NEEDED DUE TO DISPLACEMENT OR EROSION.
25. LANDSCAPE AREAS MUST BE KEPT FREE OF TRASH, WEEDS, DEBRIS AND DEAD PLANT MATERIAL AND MUST BE MAINTAINED IN A CLEAN AND NEAT FASHION.
26. SUBSTANTIAL MODIFICATIONS, AS DETERMINED BY THE PDS DIRECTOR, AND/OR REMOVAL OF PLANT MATERIALS OR OTHER LANDSCAPE ELEMENTS SHALL REQUIRE REVIEW AND APPROVAL OF A REVISED LANDSCAPE PLAN BY PDS.
27. THE REMOVAL OR DESTRUCTION OF LANDSCAPE MATERIAL THAT HAS BEEN INSTALLED ACCORDING TO AN APPROVED LANDSCAPE PLAN AND NOT REPLACED CONSTITUTES A VIOLATION OF THE UDC.
28. MINOR MODIFICATIONS OF THE LANDSCAPING OCCURRING AS A RESULT OF ROUTING MAINTENANCE, NECESSARY REPLACEMENT OF ELEMENTS BECAUSE OF DAMAGE OR DISEASE, OR OTHER CAUSES IS NOT SUBJECT TO REVIEW BY PDS.
29. PAINT AND STUCCO MUST BE RENEWED ON THE SURFACES OF FENCES AND WALLS AS NEEDED.
30. ANY SCREENING DEVICE THAT HAS DETERIORATED TO THE POINT WHERE IT DOES NOT SERVE AS A SCREEN MUST BE REPLACED BY THE PROPERTY OWNER.
31. AUTOMATIC IRRIGATION CONTROLLERS ARE RECOMMENDED TO BE RESET A MINIMUM OF FOUR TIMES A YEAR (SPRING, SUMMER, FALL AND WINTER) TO ADJUST FOR PLANT WATER REQUIREMENTS THAT VARY ACCORDING TO THE SEASON.
32. WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT MUST BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENT.

NOTES FOR PLANTING IN PUBLIC R.O.W.

1. IT IS THE OWNER'S RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA CLEAR OF VEGETATION AT ALL TIMES, PER UNIFIED DEVELOPMENT CODE TECHNICAL STANDARDS MANUAL SECTION 10.
2. IT IS THE OWNER'S RESPONSIBILITY TO KEEP A 5' WIDE MIN. BY 7' TALL CLEAR, AND KEEP A 15' HIGH CLEAR ZONE OVER THE TRAVEL LANE.
3. IT IS THE OWNER RESPONSIBLE TO KEEP VEGETATION FROM GROWING PAST THE CURB LINE CLEAR, AND KEEP A 15' HIGH CLEAR ZONE OVER THE TRAVEL LANE.
4. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
5. THE OWNER UNDERSTANDS THAT IF THE CITY OF TUCSON TRANSPORTATION DEPARTMENT AND MOBILITY, OR ANY UTILITY COMPANY NEEDS TO WORK WITHIN THE ROW IN THE LANDSCAPED AREA, PLANTS AND IRRIGATION MAY BE DESTROYED WITHOUT REPLACEMENT OR REPAIR.
6. THE OWNER TAKES FULL LIABILITY FOR THIS LANDSCAPE AND IRRIGATION, AND ANY DAMAGE TO ROADWAY, SIDEWALK AND UTILITIES.
7. THE ONLY PRIVATE IRRIGATION EQUIPMENT THAT IS ALLOWED WITHIN THE ROW ARE LATERAL LINES, TUBING AND EMITTERS THAT ARE NOT UNDER CONSTANT PRESSURE. ALL OTHER EQUIPMENT MUST BE ON PRIVATE PROPERTY. (EXCLUDING WATER METER).
8. CONTRACTOR TO OBTAIN A ROW EXCAVATION PERMIT PRIOR TO CONSTRUCTION WITHIN THE ROW.

WATER HARVESTING NOTES:

9. WHEREVER POSSIBLE, SWALES AND MICROBASINS WILL BE GRADED TO TAKE ADVANTAGE OF STORMWATER TO IRRIGATE VEGETATION.
10. OVERFLOW PIPES WILL BE INSTALLED AS NEEDED TO DIRECT AND DISTRIBUTE STORMWATER WITHIN THE MICROBASINS AND SWALES.
11. WHEN PLACING BERMS AND DEPRESSIONS, CONFIGURE THEM IN SUCH A WAY AS TO MINIMIZE TRIPPING HAZARDS.
12. MICROBASINS MUST BE DESIGNED TO ALLOW FOR RAPID INFILTRATION OF STANDING WATER. TIME OF STANDING WATER IS NOT TO EXCEED 12 HOURS. ALL WATER HARVESTING BASINS SHALL BE NO DEEPER THAN 6".
13. KEEP PONDING/STANDING WATER AT LEAST 10 FEET FROM STRUCTURE FOUNDATIONS.

NOTE:

PER TUCSON TECHNICAL STANDARDS MANUAL 5-01-5.2: ALL PLANTS WITHIN BUFFERYARDS AND USED FOR SCREENING SHALL BE MINIMUM OF 5 GALLON SIZE.



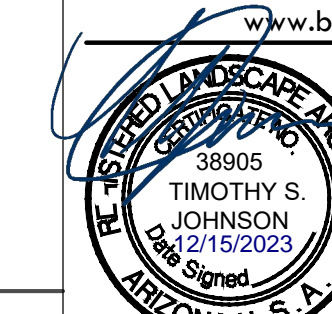
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LANDSCAPE
DETAILS

01 LANDSCAPE CONTRACTOR NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. SIGHT VISIBILITY TRIANGLES SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SIGHT VISIBILITY TRIANGLES SHALL HAVE A CANOPY THAT BEGINS AT 6 FEET IN HEIGHT UPON INSTALLATION.
3. LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
4. MAINTENANCE: ALL LANDSCAPING AND IRRIGATION SYSTEMS SHALL BE MAINTAINED TO ACHIEVE PERMANENT, SAFE AND SUCCESSFUL LANDSCAPING.
5. ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEEDED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUND COVER.
6. THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. PLANT SIZE, LOCATION AND SPACING.
 - a. TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFFSITE UTILITY SERVICE LINES, UTILITY EASEMENTS OR SOLAR ACCESS TO AN ADJACENT PROPERTY.
 - b. ALL SHRUBS AND GROUNDCOVERS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
8. PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID UTILITIES, EXISTING PRESERVED VEGETATION AND OTHER FIELD CONDITIONS. CONTACT THE PROJECT REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
9. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
10. THE CONTRACTOR SHALL TAKE EXTREME CARE WHILE WORKING WITHIN THE PROJECT AREA AS TO NOT DISTURB ANY EXISTING UTILITIES OR STRUCTURES ON OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND OR REPAIRING ANY EXISTING STRUCTURES OR UTILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
11. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
12. NOTIFY THE PROJECT REPRESENTATIVE 48 HOURS IN ADVANCE OF ANY INSPECTIONS AND / OR APPROVALS OF LANDSCAPE MATERIAL AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
13. THE CONTRACTOR SHALL WARRANTY THE PLANT MATERIAL, IRRIGATION SYSTEM AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR.
14. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES ON SLOPES EXCEEDING 3:1 OR AS DEFINED BY THE SWPPP.
15. IN THE EVENT OF ANY DISPUTE BETWEEN THESE PLANS AND THE STANDARD SPECIFICATION, THE STANDARD SPECIFICATION SHALL PREVAIL.
16. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A MINIMUM PERIOD OF ONE YEAR, AS NECESSARY OR AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL REMOVE STAKING AND GUYING PRIOR TO THE FINAL ONE YEAR WALK THROUGH.
17. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
18. MAINTENANCE: ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, AND SCREENING DEVICES ON THE SITE SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING AS REQUIRED BY THE UDC. MAINTENANCE RESPONSIBILITY FOR LANDSCAPE AND IRRIGATION IS ASSIGNED TO THE PROPERTY OWNER:
 - a. PRUNING SCHEDULES SHALL FOLLOW THE ALCA GUIDELINES TO MAINTAIN PEDESTRIAN AND VEHICULAR CLEARANCES
 - b. REPLACEMENT OF ANY PLANT MATERIAL, SHOULD ANY NOT SURVIVE
 - c. REPLACEMENT OR UPKEEP MAINTENANCE SCHEDULES FOR INERT GROUNDCOVERS AND HARDSCAPE MATERIALS

02 IRRIGATION CONTRACTOR NOTES

1. WATER PRESSURE: THE SYSTEM HAS BEEN DESIGNED FOR A REQUIRED MINIMUM STATIC PRESSURE AND MAXIMUM FLOW AS INDICATE DON THE IRRIGATION PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE IRRIGATION SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY THE OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE DESIGN PRESSURE.
2. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO
3. INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
4. IT IS CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
5. CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK
6. CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
7. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK THE IRRIGATION CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
8. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OR THE IRRIGATION SYSTEM AND IT'S COMPONENTS.
9. CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
10. ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED, OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
11. EACH CONTROL BOX TO BE IN A SEPARATE VALVE BOX. ALL VALVE BOXES / LIDS SHALL BE -PLASTIC WITH LOCKING COVERS, COLOR TO BE DESERT TAN. INSTALL PER THE CONSTRUCTION DETAILS.
12. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE.
13. GROUNDING FOR THE IRRIGATION CONTROLLER AND ICD DECODERS IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx.
14. IT IS CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
15. PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL STAKE THE LOCATION OF THE MAINLINE, DRIP IRRIGATION LINES, CONTROL VALVES, GATE VALVES, ETC. AND SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
17. INSTALL DRIP LATERALS PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" DRIP LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
18. TREES, SHRUBS, GROUND COVER AND CACTI SHALL BE IRRIGATED BY MULTI-PORT OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.
19. CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE TO ENSURE THE EFFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM. THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF BEST MANAGEMENT PRACTICES:
 - a. MONTHLY CHECK EMITTERS AND HEADS FOR COVERAGE AND LEAKAGE.
 - b. MONTHLY CHECK CONTROLLER PROGRAMMING AND ADJUST FOR SEASONAL CHANGES AS NECESSARY.
 - c. MONTHLY VERIFY THAT THE SENSORS IN THE IRRIGATION SYSTEM ARE OPERATING CORRECTLY.
 - d. ANNUALLY VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE DESIGN.
 - e. ANNUALLY CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER.



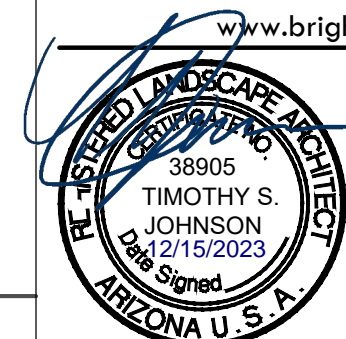
BRIGHT DESIGN ASSOCIATES

A PROFESSIONAL LIMITED LIABILITY COMPANY

660 S. Country Club
Tucson, Arizona 85716
Tel 520.529.1878
Fax 520.292.1142

E-MAIL rbright@brightdesignassoc.com

www.brightdesignassoc.com



All work shall conform to all applicable Building, Electrical, Mechanical, Plumbing, and Fire Codes in effect as of the date on the drawings. No deviations from these drawings during construction shall be made without written approval from the architect.

Expires: 3/31/24



Bowman Consulting Group Ltd.
3275 W. Ina Road, Suite 220
Tucson, Arizona 85741
Phone: (520) 463-3200
www.bowman.com
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CRYTAL CAFE
GEM GALLERY
847 N STONE
TUCSON, ARIZONA

MARCO SCHREIER

Mark	Date	Description

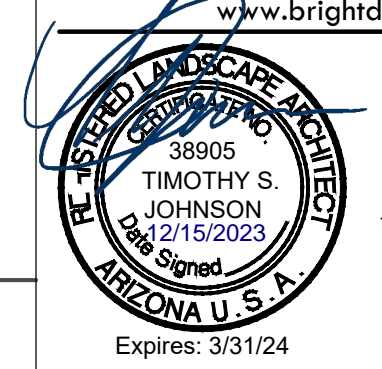
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ADDRESSING:

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Project number	051595
Date	DECEMBER 2023
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Checked by	TJ
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LANDSCAPE
DETAILS



All work shall conform to all applicable Building, Electrical, Mechanical, Plumbing, and Fire Codes in effect as of the date on these drawings during construction shall be made without written approval from the architect.

Expires: 3/31/24

Bowman Consulting Group Ltd.
 3275 W. Ina Road, Suite 220
 Tucson, Arizona 85741
 Phone: (520) 463-3200
www.bowman.com
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**CRYTAL CAFE
 GEM GALLERY**
 847 N STONE
 TUCSON, ARIZONA

MARCO SCHREIER

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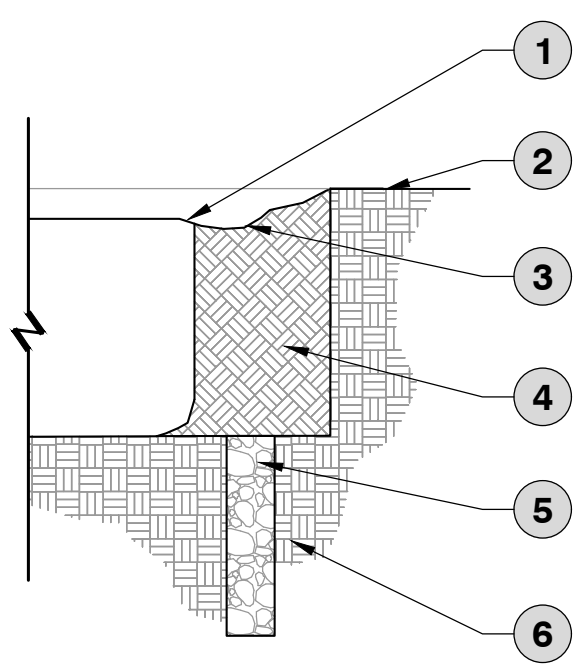
**LANDSCAPE
 DETAILS**
 Sheet No. **L5.03** 13 of 16

TD-DEV-0923-00396

ADDRESSING:

5

- 1 SET TOP OF ROOT BALL INITIALLY 1" ABOVE BOTTOM OF BASIN GRADE
- 2 FINISH GRADE
- 3 TREE BASIN DEPTH: 3"-4"
- 4 PLANTING PIT BACKFILL MIX
- 5 DRILL 4" DIA. 36" DEEP HOLE INTO UNDISTRIBUTED SOIL AND BACK FILL WITH 3/8" PEAGRAVEL FOR DRAINAGE HARDPAN (CALICHE) DRILL THROUGH HARDPAN, DEPTH OF HOLE WILL VARY.
- 6 UNDISTURBED SOIL/SUBGRADE



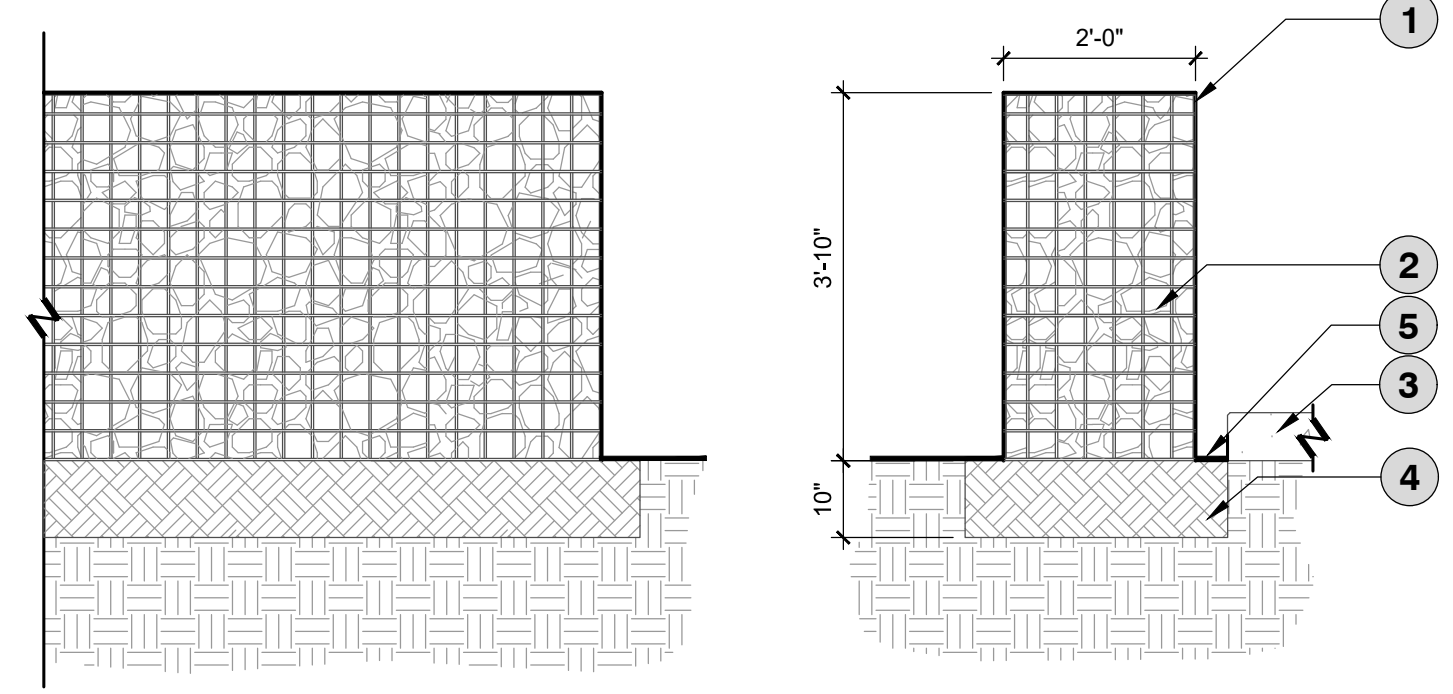
- NOTES:
1. WATER WELL BASIN DEPTH NOT TO EXCEED 4"
 2. DO NOT ADD SOIL TO TOP OF ROOTBALL
 3. BOTTOM OF PLANTING PIT SHALL BE EQUAL TO DEPTH OF ROOTBALL

3 TREE BASIN (CHIMENEY DRAIN)

3/4" = 1'-0"

P-CR-01

- 1 3" X 3" STEEL GALVANIZED WIRE MESH
- 2 LIGHT COLORED CATALINA SCHIST WITH ACCENT GEMS STONES
- 3 EXISTING CONCRETE
- 4 COMPACTED SOIL TO 95%
- 5 DIMENTION AVOID TO CONCRETE



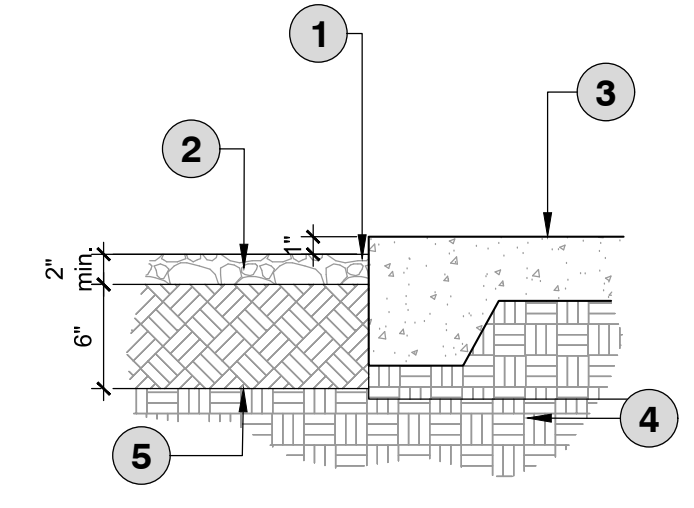
6 GABION WALL

P-CR-04

04-18

3

- 1 FINAL GRADE - GRADING CONTRACTOR TO COMPLETE WORK WITHIN +/- 0.10 FEET AND ALLOW FOR 2" OF DECORATIVE ROCK
- 2 DECORATIVE ROCK MULCH
- 3 HARDSCAPE (WALK, CONCRETE, PAVERS, ETC) REFER TO GRADING PLANS
- 4 COMPACTED SUBGRADE
- 5 SCARIFY TO MINIMUM OF 6" DEEP
- 6 FINISH GRADE AT LANDSCAPE
- 7 3" THICK STABILIZED DECOMPOSED GRANITE, 45 DEG. TURNDOWN AFTER WIDTH OF PLAZA, TRAIL, ETC.
- 8 FLUSH AT EDGE OF ADJACENT HARDSCAPE



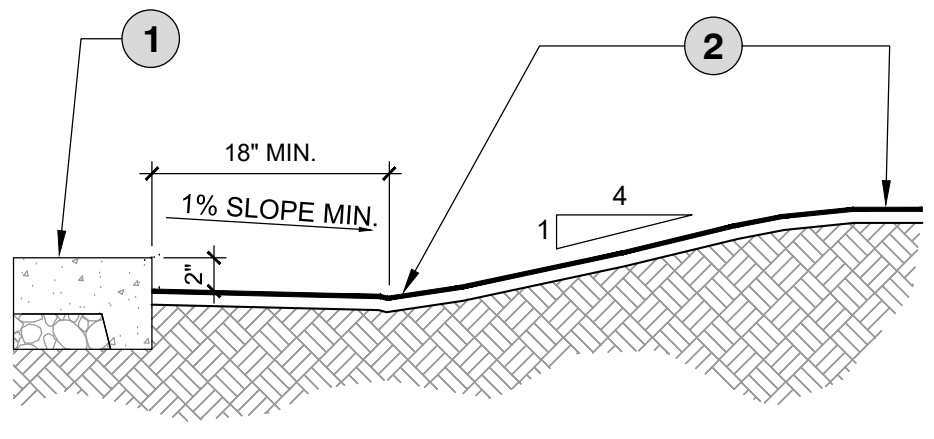
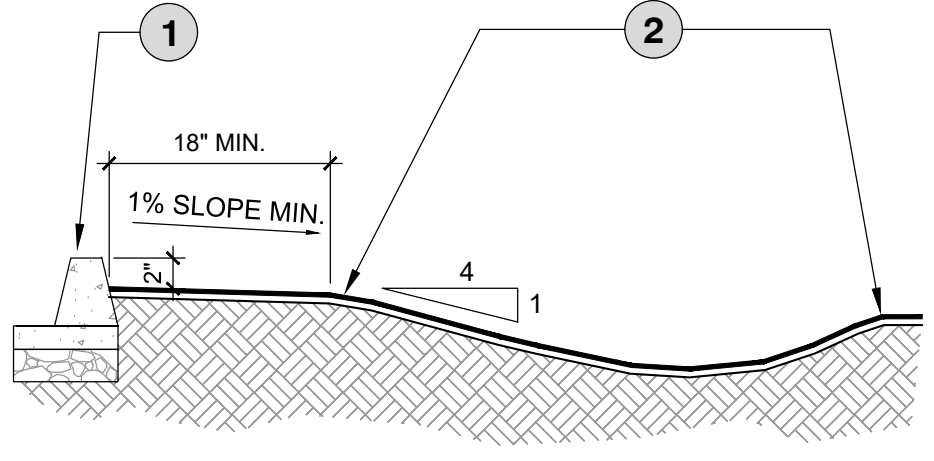
- NOTES:
1. CONTRACTOR TO PROVIDE 10' SECTION MOCK UP OF 10' STABILIZED DECOMPOSED GRANITE (DG) PATH FOR APPROVAL PRIOR TO CONTINUATION OF WORK
 2. STABILIZED DG TO BE PREMIXED OFF SITE.
 3. TOTAL DEPTH OF DG PATH TO BE 3" AND INSTALLED IN TWO LIFTS WITH TACKIFIER AND PER MANUFACTURE'S RECOMMENDATIONS.

2 GRADE AT HARDSCAPE-CURB / WALK

1" = 1'-0"

P-CR-02

- 1 TOP OF HARDSCAPE (WALK, CURB, ETC.)
- 2 REVERSE CURVE FINISHED GRADE TO CREATE SMOOTH TRANSITION



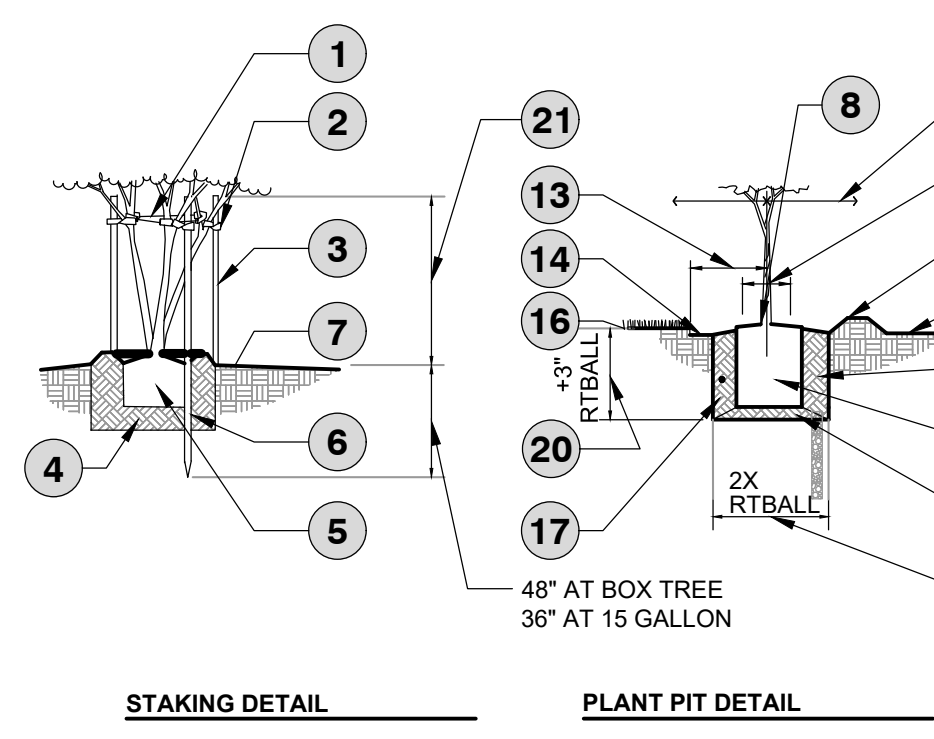
- NOTES:
1. ALL EARTHWORK TO BE PLACED AND WORKED SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS AND STRUCTURES.
 2. GRADE ALL MATERIAL TO FINISHED GRADE.
 3. REVERSE GRADE EARTH WORK TO CREATE SMOOTH TRANSITIONS BETWEEN SLOPES.

1 GRADE TRANSITION: SWALE / BERM & HARDSCAPE

1" = 1'-0"

P-CR-05

- 1 AERIAL GUY CABLES TO CONNECT TRUNKS: 9 GA CABLE W/ CLEAR PLASTIC COATING THRU 5/8" DIA. RUBBER HOSE TIE.
- 2 "CINCH-TIE", "GRO-STRAIT", OR EQ. FLEXIBLE RUBBER TREE TIES IN FIGURE EIGHT FASHION. ATTACH TO STAKE W/ 2 GALV. ROOFING NAILS.
- 3 2" LODGEPOLE PINE TREATED TREE STAKES. SET STAKES APPROXIMATELY 120 DEGREES APART.
- 4 SEE PLANT PIT DETAIL.
- 5 ROOTBALL
- 6 AVOID PLACING STAKES THRU ROOTBALL.
- 7 FINISH GRADE
- 8 SET ROOTBALL CROWN 1 1/2" HIGHER THAN THE SURROUNDING FINISHED GRADE. SLOPE BACKFILL AWAY FROM ROOTBALL FOR POSITIVE DRAINAGE. KEEP MULCH 6" - 8" FROM BASE OF TREE.
- 9 3" HIGH WATER WELL
- 10 SEE TREE BASIN DETAIL
- 11 NATIVE SOIL MIX FIRMLY COMPACTED.
- 12 KEEP TURF CLEAR FOR A 18" RADIUS CIRCLE AROUND THE TREE. MULCH W/ A 3" THICK LAYER OF SHREDDED BARK.
- 13 RECESS TURF AREA 1" TO ALLOW FOR MULCH
- 14 FINISH GRADE AT SHRUBS
- 15 FINISHED GRADE AT LAWN
- 16 BACKFILL MIX. SEE NOTES AND SPECIFICATIONS.
- 17 PLANTING AT SHRUB AREAS
- 18 32" AT 15 GALLON 48" AT 24" BOX 60" AT 30" BOX 72" AT 36" BOX
- 19 20" AT 15 GAL 22" AT 24" BOX 26" AT 30" BOX 30" AT 36" BOX
- 20 6 FT TO 8 FT AT BOX TREE 5 FT TO 7 FT AT 15 GALLON
- 21



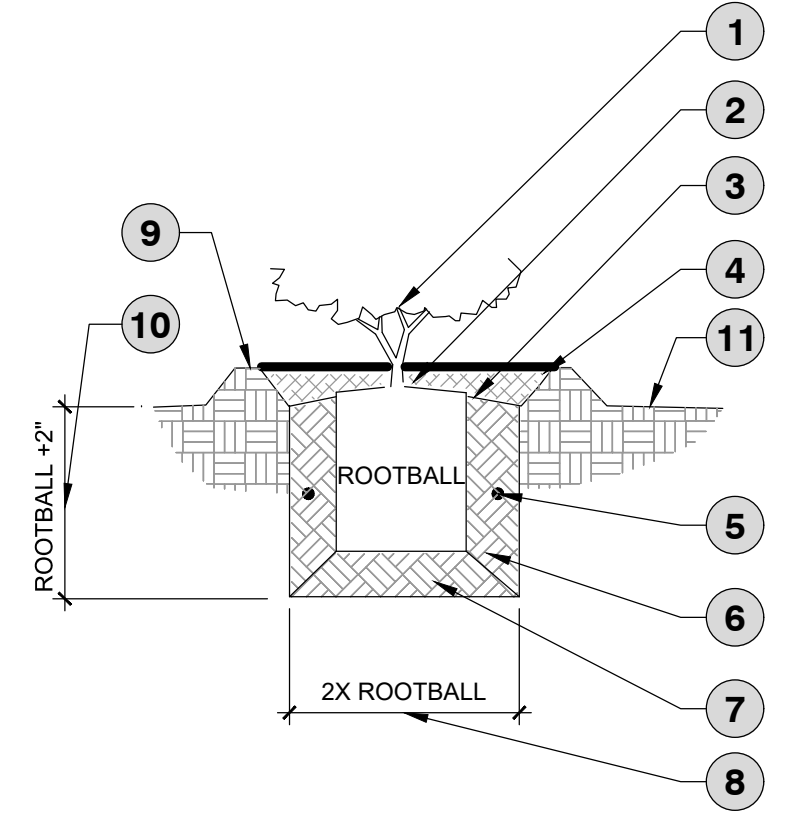
- NOTES:
1. SCARIFY BOTTOM & SIDES OF PIT, AND BORE HOLES ON ALL PITS (SEE PLANTING PIT DETAIL).
 2. SET CROWN OF ROOTBALL 1-2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 3. DO NOT COVER CROWN WITH SOIL.
 4. SETTLE BACKFILL BY WATERING AND REMOVING AIR POCKETS/COMPACTING.
 5. STAKE TREE TO ALLOW FOR SOME FLEXIBILITY AND MOVEMENT IN WIND.
 6. TREES SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.

5 15 GALLON, 40 GALLON, 24" BOX AND 36" BOX TREE PLANTING

1/2" = 1'-0"

P-CR-04

- 1 SHRUB / ACCENT
- 2 1" HIGHER THAN SURROUNDING FINISHED GRADE.
- 3 SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOTBALL
- 4 MULCH TO 2" DEPTH AT WATER WELL.
- 5 PLANT TABLETS AS NOTED OR SPECIFIED.
- 6 BACKFILL MIX. SEE NOTES AND SPECS.
- 7 NATIVE SOIL MIX FIRMLY COMPACTED
- 8 12" AT 1 GAL. 22" AT 5 GAL. 32" AT 15 GAL.
- 9 WATER WELL: 4" HIGH AT SHRUB, NO WATER WELL AT LAWN AREA.
- 10 8" AT 1 GAL. 14" AT 5 GAL. 20" AT 15 GAL.
- 11 FINISHED GRADE

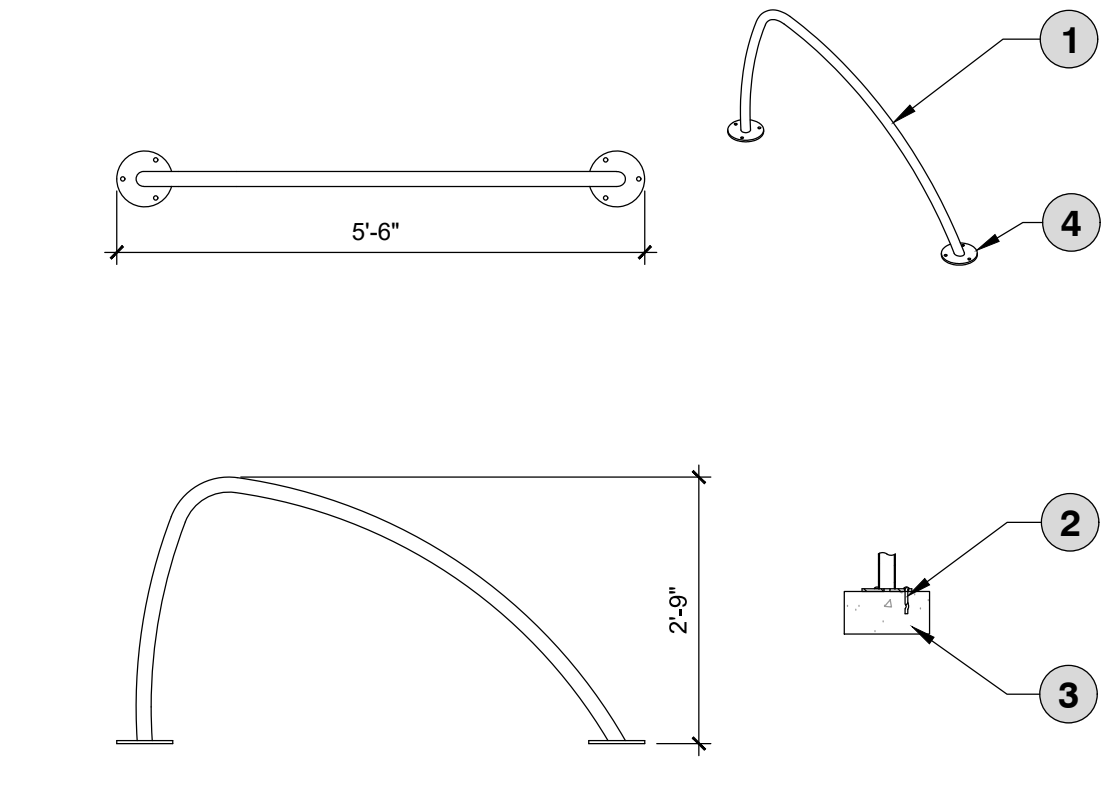


- NOTES:
1. SCARIFY BOTTOM & SIDES OF PLANTING PIT.
 2. SET CROWN OF ROOTBALL 1-2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 3. DO NOT COVER CROWN WITH SOIL.
 4. SETTLE BACKFILL BY WATERING AND REMOVING AIR POCKETS/COMPACTING.
 5. SHRUBS AND ACCENTS SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.

4 SHRUB/ACCENT PLANTING

1 1/2" = 1'-0"

P-CR-09

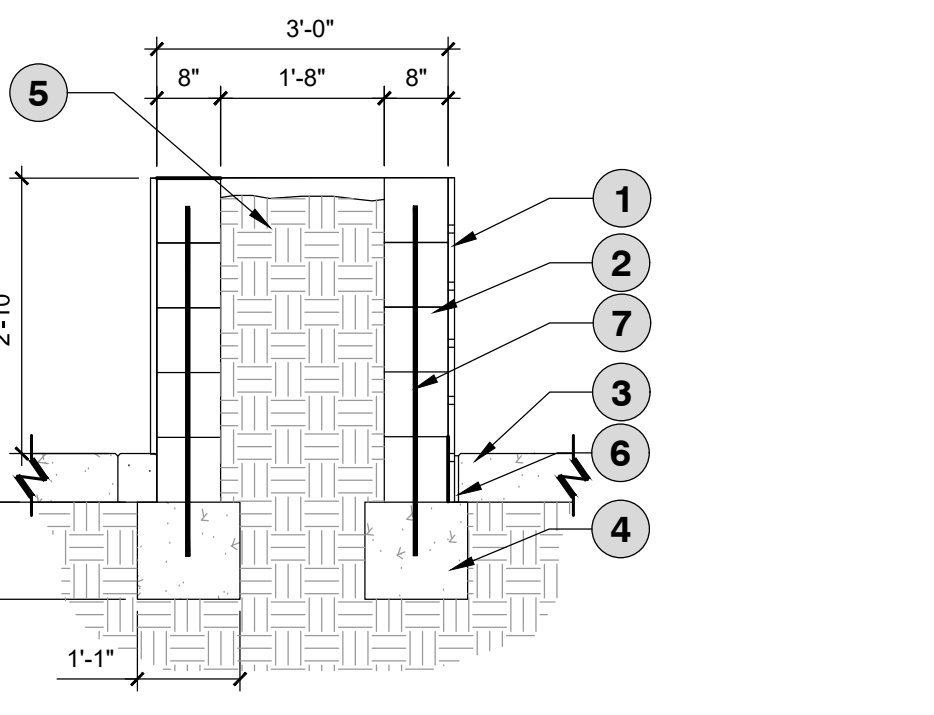


1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. SOLD BY MADRAX: MODEL FINN

8 BIKE RACKS

1/2" = 1'-0"

P-CR-44



- 1 RED BRICK VENEER TO MATCH EXISTING BUILDING
- 2 BLOCK 8" X 8" X 16"
- 3 EXISTING CONCRETE FOR FINISH TREATMENT
- 4 CONCRETE FOOTING
- 5 AREA FOR PLANTING
- 6 FILLER EXPANTION JOINT WITH SOFT POXY
- 7 #8 - 32" L REBAR. EMBED IN CONCRETE FOOTING

7 PLANTER WITH SIGNATURE

1/2" = 1'-0"

P-CR-43

1

2

4

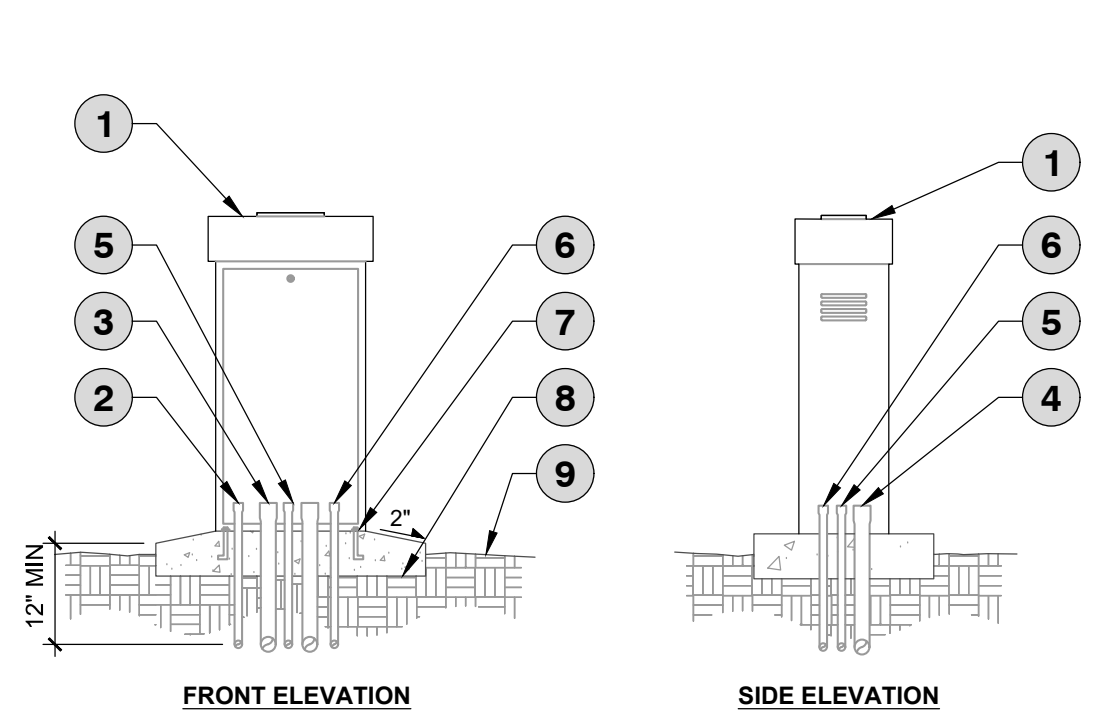
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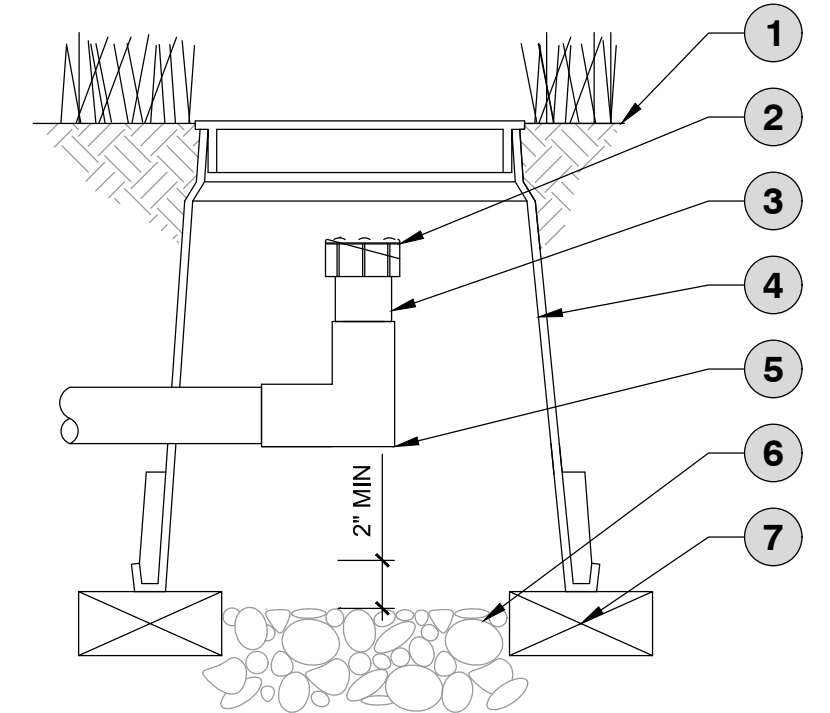
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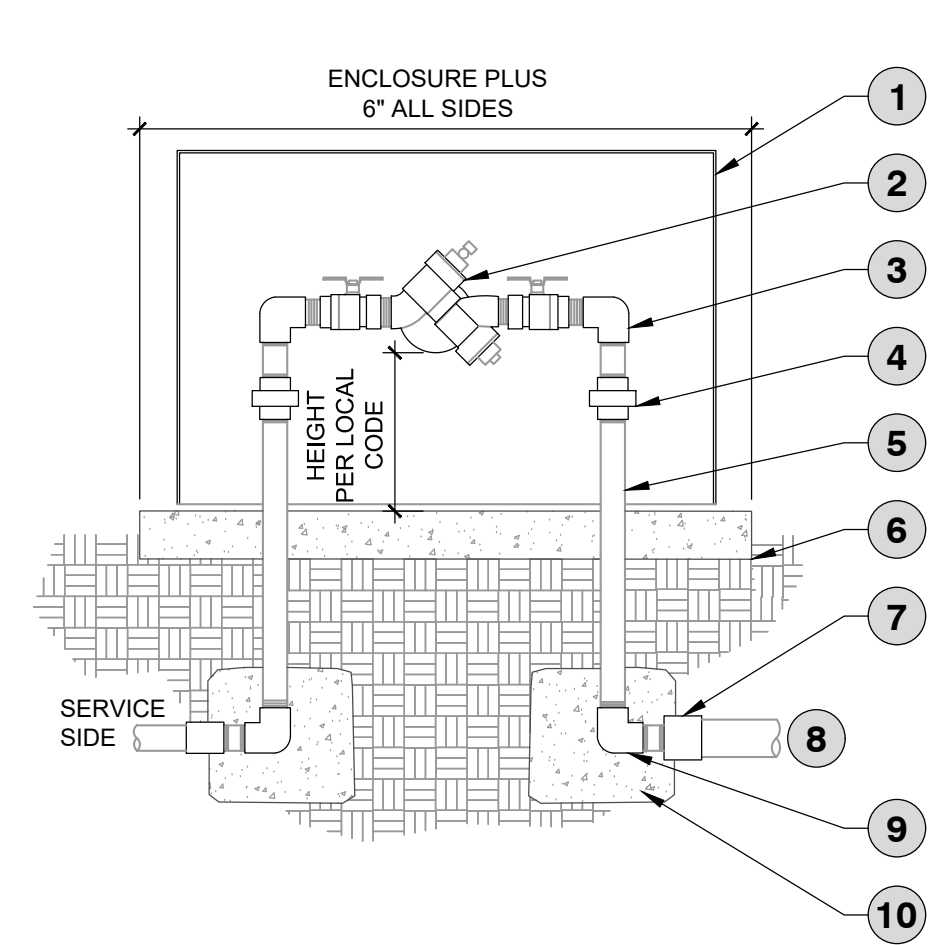
- 1 PEDESTAL MOUNTED CONTROLLER (SEE IRRIGATION LEGEND FOR MAKE AND MODEL. INSTALL CONTROLLER PER MANUFACTURER SPECIFICATIONS)
- 2 1" PVC ELECTRICAL CONDUIT FOR INPUT POWER PER LOCAL AND NATIONAL CODES
- 3 2" PVC ELECTRICAL CONDUIT FOR REMOTE CONTROL WIRES UP TO 24 STATIONS
- 4 OPTIONAL 2" PVC ELECTRICAL CONDUIT FOR AN ADDITIONAL 24 STATIONS
- 5 1" PVC ELECTRICAL CONDUIT FOR GROUNDING WIRE
- 6 1" PVC ELECTRICAL CONDUIT FOR SENSOR WIRES
- 7 1/2" x 4" CADMIUM PLATED 'J' ANCHOR BOLTS AT FOUR LOCATIONS
- 8 CONCRETE FOOTING (INSTALL PER MANUFACTURER'S SPECIFICATION)
- 9 FINISH GRADE

NOTES:

- COMMON AND CONTROLLER WIRE TO BE BUNDLED USING ELECTRICAL TAPE AT 10'-0" ON CENTER.
- GROUNDING RODS SHALL BE LOCATED BETWEEN 8'-0" AND 12'-0" AWAY FROM THE CONTROLLER. GROUNDING RODS SHALL BE 3/8" IN DIAMETER X 8' IN LENGTH. CONNECT THE GROUNDING ROD TO THE CONTROLLER USING 6 GAUGE BARE COPPER WIRE OR PER THE MANUFACTURER'S SPECIFICATIONS. SEE GROUNDING ROD DETAIL.
- ET STATION TO BE INSTALLED NO FURTHER THAN 90' AWAY FROM THE CONTROLLER AND A MINIMUM OF 15' OFF OF THE GROUND, OUT FROM UNDER ANY OVERHEAD OBSTRUCTIONS SUCH AS, BUT NOT LIMITED TO BUILDING OVERHANGS, TREES, OR UTILITIES.



- 1 FINISH GRADE / TOP OF MULCH
- 2 FLUSH CAP
- 3 PVC LATERAL PIPE
- 4 VALVE BOX WITH COVER: RAIN BIRD VB-8RND
- 5 PVC SCHEDULE 40 ELBOW
- 6 6-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 7 BRICK (1 OF 2)



- 1 LOCKABLE BACKFLOW ENCLOSURE AS SPECIFIED
- 2 REDUCED PRESSURE BACKFLOW DEVICE AS SPECIFIED
- 3 GALVANIZED NIPPLES AND ELL AS REQUIRED
- 4 GALVANIZED UNIONS AT EACH SIDE
- 5 GALVANIZED RISERS
- 6 4" THICK MIN. CONCRETE PAD
- 7 PVC COUPLER OR REDUCER AS REQUIRED, TYPICAL
- 8 MAINLINE SIDE
- 9 GALVANIZED ELL AND NIPPLE, TYPICAL
- 10 CONCRETE THRUST BLOCKS: 90 LBS OF CONCRETE EACH

NOTES:

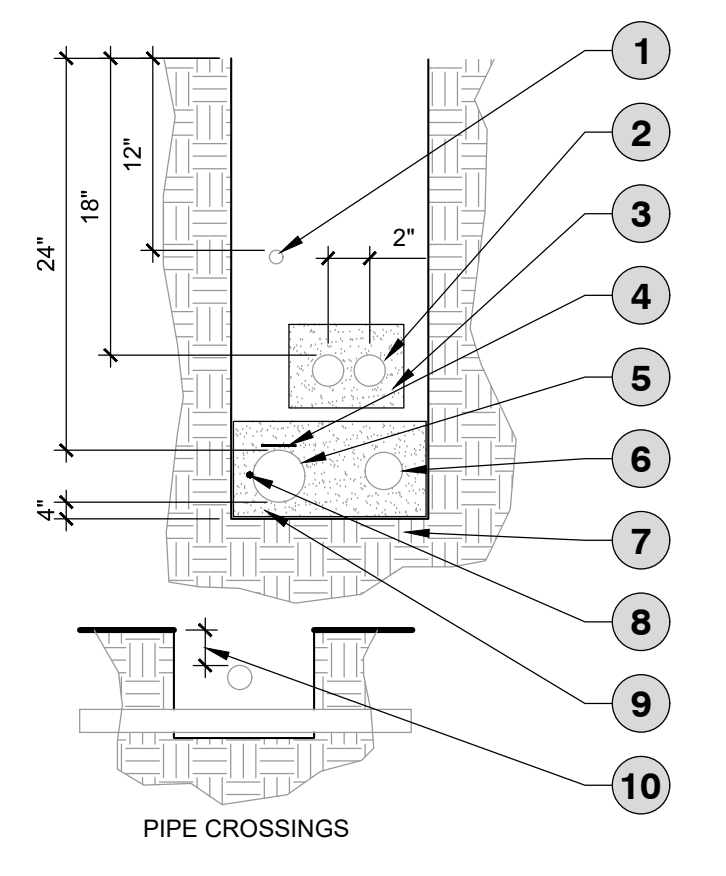
- INSTALL BACKFLOW PREVENTOR AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST.
- PLACE BACKFLOW PREVENTOR WITHIN SECURED ENCLOSURE AND LOCK.

1 IRRIGATION CONTROLLER
1/2" = 1'-0"

2 FLUSH CAP IN 6" ROUND BOX
1 1/2" = 1'-0"

3 REDUCED PRESSURE BACKFLOW PREVENTER
3/4" = 1'-0"

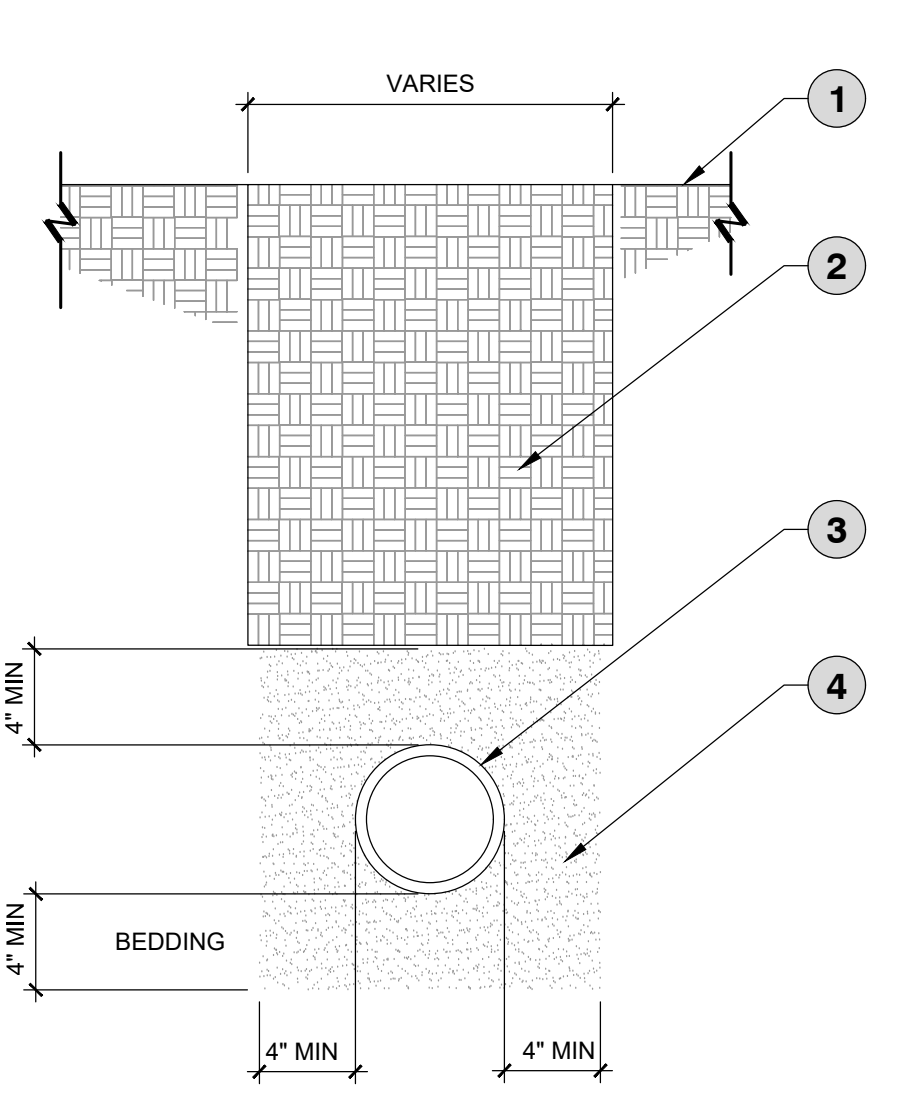
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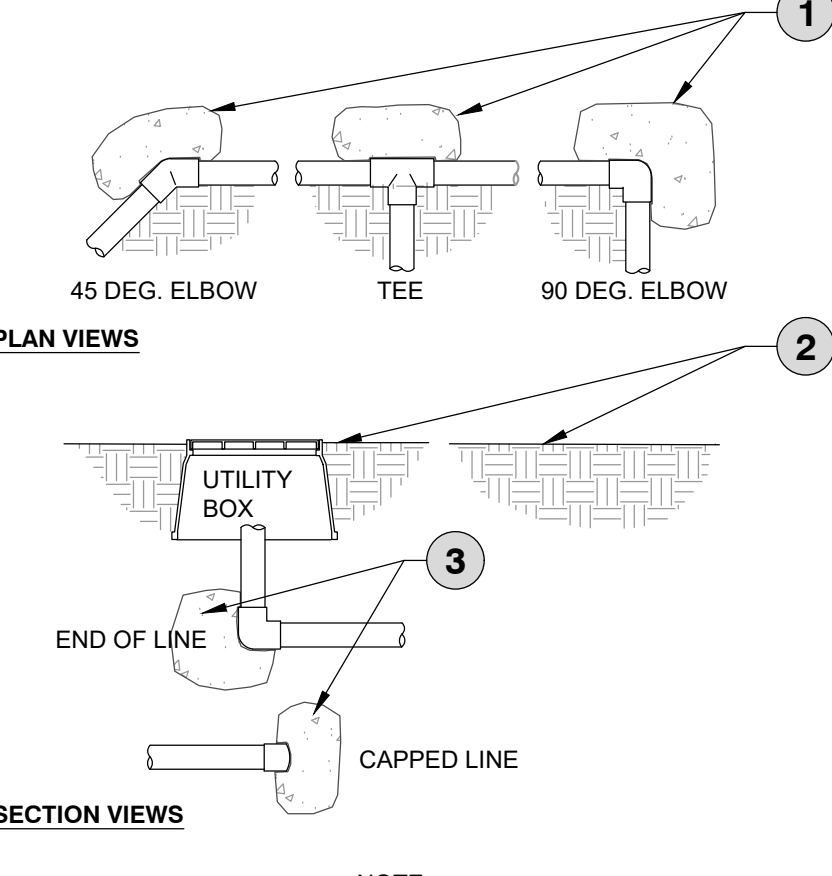
- 1 DRIP LINE (PVC)
- 2 SPRINKLER LATERAL & EMITTER HEADER (PVC)
- 3 EMBED ALL MAINLINES AND LATERALS AND EMITTER HEADERS IN 4-6" BEDDING SAND ALL SIDES
- 4 METALLIC DETECTOR TAPE BURIED WITH ALL MAINLINE
- 5 MAINLINE AND SLEEVE (SCH 40) W/ PURPLE #18 INSULATED TRACER WIRE ATTACHED 8" O.C. 12" OF WIRE ACCESSIBLE AT PIPE TERMINATION BRICK (1 OF 2)
- 6 SECOND MAINLINE
- 7 COMPACTED SUBGRADE
- 8 CONTROLLER WIRES (TAPED AND BUNDLED EVERY 10')
- 9 EMBED ALL MAINLINES AND LATERALS AND EMITTER HEADERS IN 4-6" BEDDING SAND ALL SIDES
- 10 MIN DEPTH PER PIPE

NOTES:

- ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER OF PIPES AND TYPE OF PIPES CONTAINED THEREIN.
- TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.
- 4" PIPE & GREATER SHALL BE 30" BELOW FINISH GRADE.



- 1 FINISH GRADE
- 2 NATIVE SOIL BACKFILL, FREE OF ALL MATERIALS LARGER THAN 1/2" DIAMETER. COMPACT TO 95% COMPACTION
- 3 IRRIGATION MAINLINE
- 4 BACKFILL WITH 100% COARSE SAND, WATER JET AND MECHANICALLY COMPACT TO 90% OPTIMUM DENSITY. ALLOW 48 HOURS TO SETTLE, AND BACKFILL AND COMPACT WITH NATIVE SOIL



PIPE SIZE	TEE AND PLUG	90° BEND	45° BEND
1-1/2"	0.45 FT ²	0.63 FT ²	0.34 FT ²
2"	0.69 FT ²	0.97 FT ²	0.53 FT ²
2-1/2"	1.0 FT ²	1.41 FT ²	0.77 FT ²
3"	1.48 FT ²	2.10 FT ²	1.14 FT ²
4"	2.43 FT ²	3.45 FT ²	1.87 FT ²
6"	5.25 FT ²	7.41 FT ²	4.02 FT ²
8"	9.08 FT ²	12.83 FT ²	6.96 FT ²
10"	14.93 FT ²	21.07 FT ²	11.44 FT ²

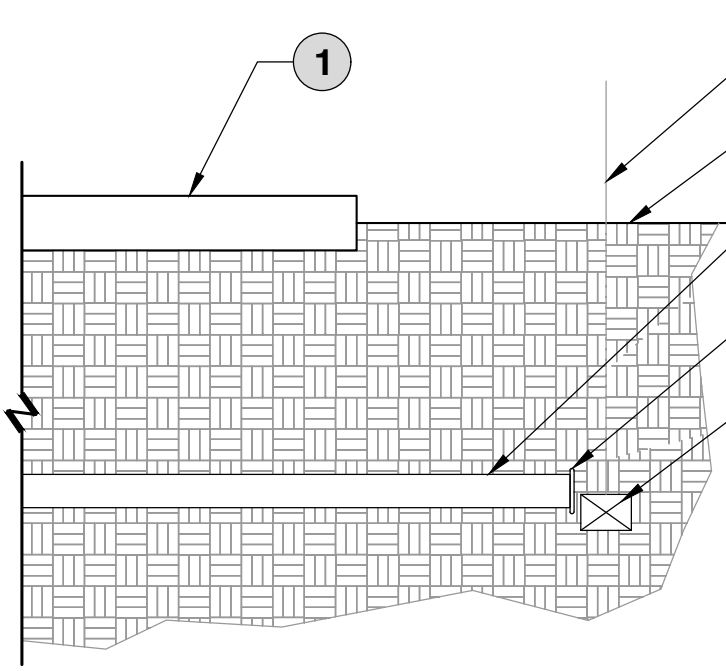
NOTE:

- SIZE THRUST BLOCKS SHALL BE SPECIFIED AS SHOW IN THE TABLE.
- CONTROL WIRES SHALL NOT BE ENCASED IN CONCRETE.
- ALL FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE TO PREVENT CONCRETE FROM ADHERING TO PIPE, FITTINGS OR BOLTS.
- JOINTS AND BOLTS SHALL BE ACCESSIBLE FOR REPAIRS.
- THRUST BLOCKS SHALL BE A MINIMUM OF 6" THICK.
- ONE 80 LBS. SACK OF CONCRETE SHALL COVER .6 FT.³

4 IRRIGATION TRENCHING
1" = 1'-0"

5 MAINLINE SAND BEDDING
1 1/2" = 1'-0"

6 MAINLINE THRUST BLOCKS
1" = 1'-0"

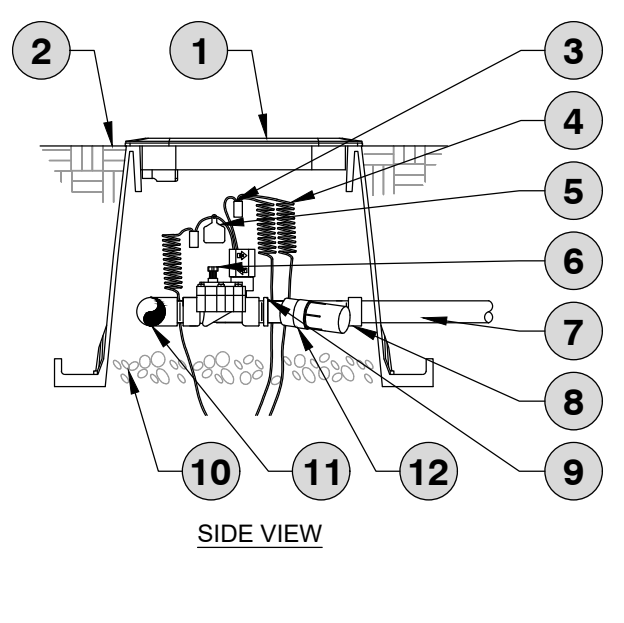


- 1 HARDSCAPE OR WALL LIMITS
- 2 #9 WIRE MARKER ANCHORED WITH BRICK
- 3 FINISH GRADE
- 4 SLEEVE (SIZE PER DRAWINGS OR DOUBLE SIZE OF PIPE BEING SLEEVED) EXTEND MIN 2' BEYOND WALL/PAVEMENT LIMITS
- 5 DUCT TAPE END (TYP)
- 6 BRICK 1.5" X 4"

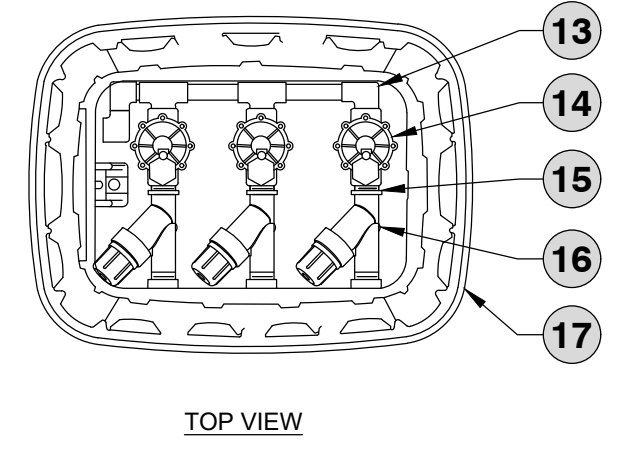
NOTES:

- ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
- ALL JOINTS TO BE SOLVENT WELDED AND WATER TIGHT.
- WHERE THERE IS MORE THAN ONE SLEEVE EXTENDED, THE SMALLER SLEEVE SHALL BE MINIMUM 24" BELOW FINISH GRADE.
- MECHANICALLY TAMP TO 95% COMPACTION.

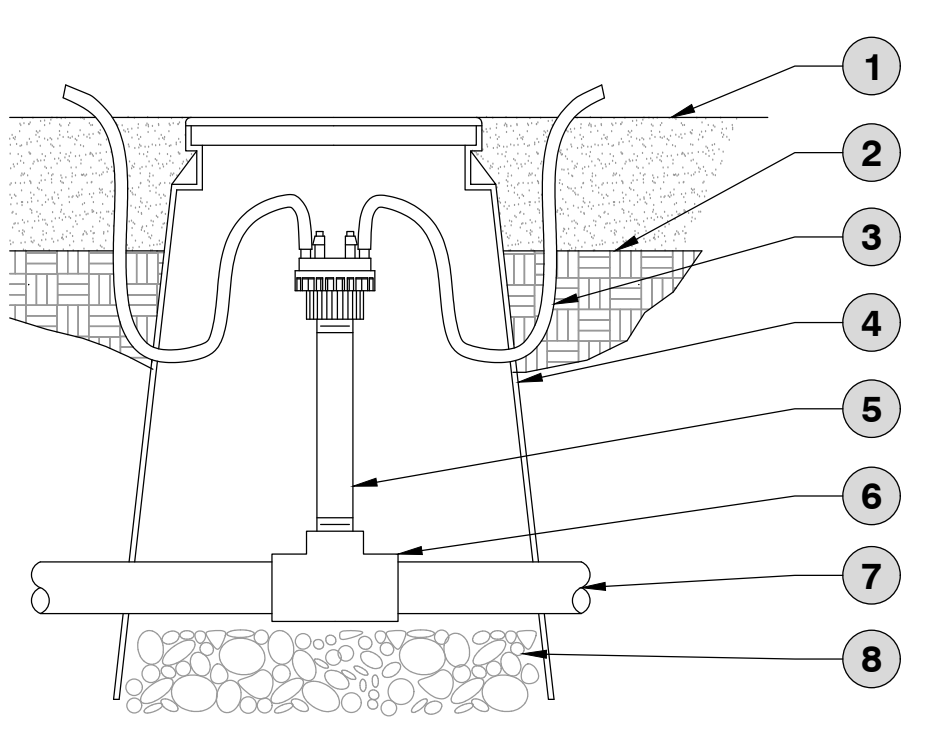
INCLUDE PULL STRING OR WIRE WITHIN SLEEVE



- 1 STANDARD VALVE BOX WITH COVER: RAIN BIRD VB-STD
- 2 FINISH GRADE
- 3 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 4 30-INCH LINEAR LENGTH OF WIRE, COILED
- 5 VALVE ID TAG
- 6 REMOTE CONTROL VALVE: RAIN BIRD LRV-100 (INCLUDED IN XCZ-LF-100-PRF KIT)
- 7 LATERAL PIPE
- 8 PVC SCH 40 FEMALE ADAPTOR OR REDUCER
- 9 1" X 3/4" REDUCING COUPLING (INCLUDED IN XCZ-LF-100-PRF KIT)
- 10 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 11 PVC SCH 40 TEE OR ELL TO MANIFOLD
- 12 PRESSURE REGULATING FILTER: RAIN BIRD PRF-100-RBY (INCLUDED IN XCZ-LF-100-PRF KIT)
- 13 MANIFOLD PIPE AND FITTINGS
- 14 REMOTE CONTROL VALVE: RAIN BIRD LRV-100 (INCLUDED IN XCZ-LF-100-PRF KIT)
- 15 1" X 3/4" REDUCING COUPLING (INCLUDED IN XCZ-LF-100-PRF KIT)
- 16 PRESSURE REGULATING FILTER: RAIN BIRD PRF-100-RBY (INCLUDED IN XCZ-LF-100-PRF KIT)
- 17 STANDARD VALVE BOX WITH COVER: RAIN BIRD VB-STD



8 REMOTE CONTROL VALVE - DRIP ZONE KIT
1 1/2" = 1'-0"



- 1 TOP OF MULCH.
- 2 FINISH GRADE
- 3 1/4" DISTRIBUTION TUBING: RAIN BIRD XQ TUBING (LENGTH: 10' MAX.) (1 OF 2 SHOWN, 6 POSSIBLE)
- 4 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 5 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 6 PVC SCH 40 TEE OR ELL
- 7 PVC LATERAL PIPE
- 8 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

NOTE:

- RAIN BIRD XBT-XX-6 IS AVAILABLE IN THE FOLLOWING MODELS:
XBT-05-6 0.5 GPH
XBT-10-6 1.0 GPH
XBT-20-6 2.0 GPH

7 IRRIGATION SLEEVING
1 1/2" = 1'-0"

9 XERI-BUG MULTI-OUTLET 1/2" FPT X BARB
3" = 1'-0"



BRIGHT DESIGN ASSOCIATES
A PROFESSIONAL LIMITED LIABILITY COMPANY
660 S. Country Club
Tucson, Arizona 85716
Tel 520.529.1878
Fax 520.292.1142

E-MAIL rbright@brightdesignassoc.com
www.brightdesignassoc.com

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Expires: 3/31/24



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3275 W. Ina Road, Suite 220
Tucson, Arizona 85741
Phone: (520) 463-3200
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GEM GALLERY**
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TUCSON, ARIZONA

MARCO SCHREIER

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**LANDSCAPE
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Sheet No. **L5.04** 14 of 16

1

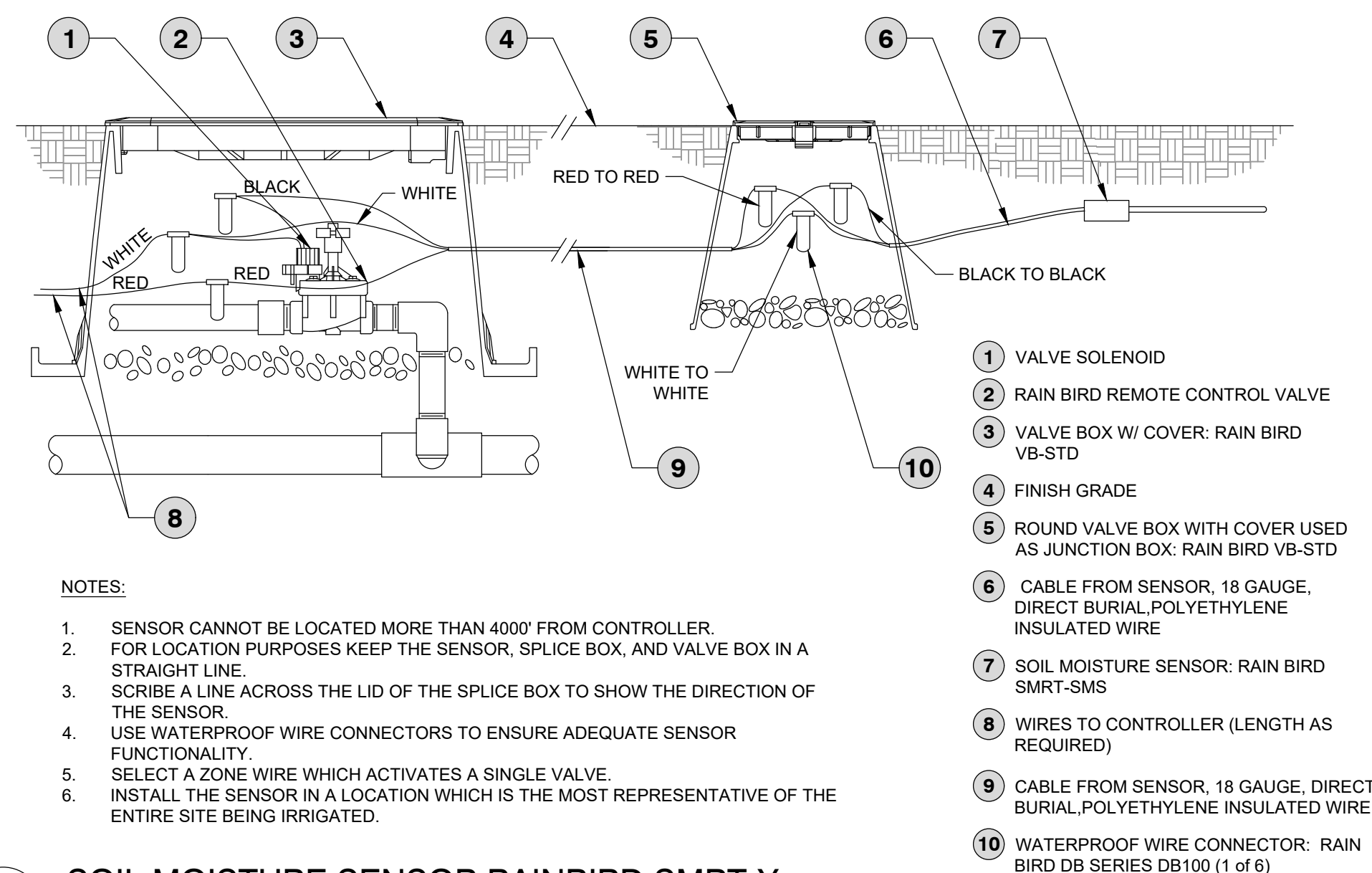
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D



1 SOIL MOISTURE SENSOR RAINBIRD SMRT-Y

3" = 1'-0"

P-CR-30

2 MASTER VALVE

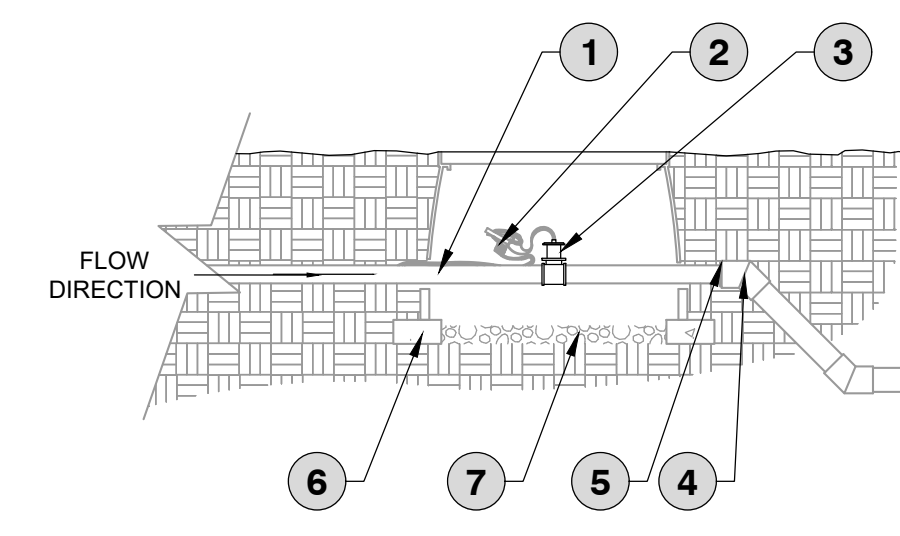
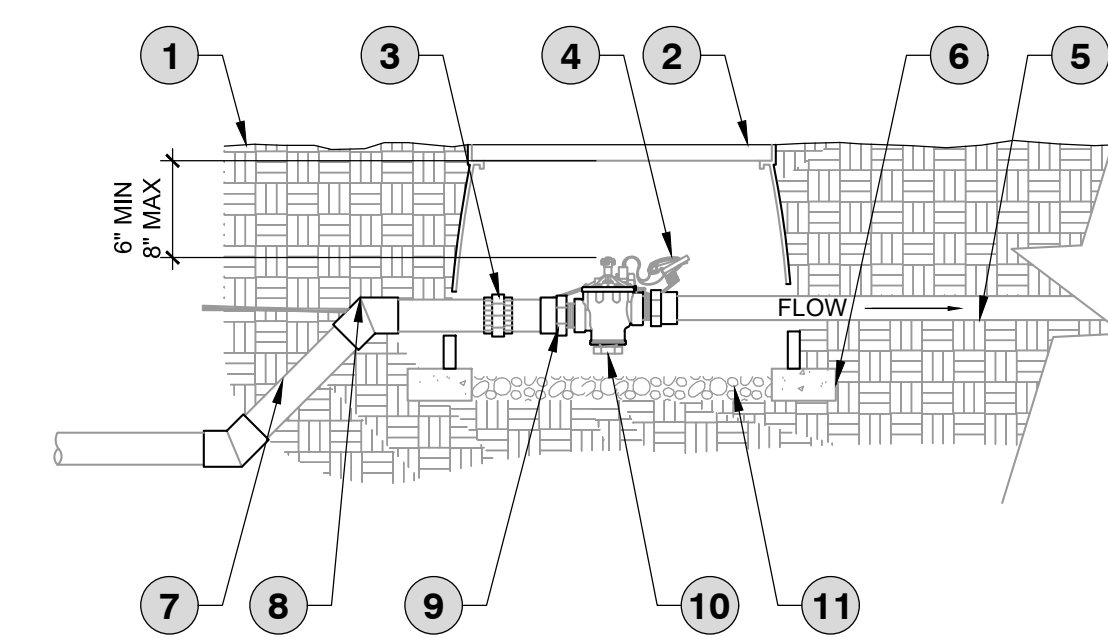
1/2" = 1'-0"

P-CR-20

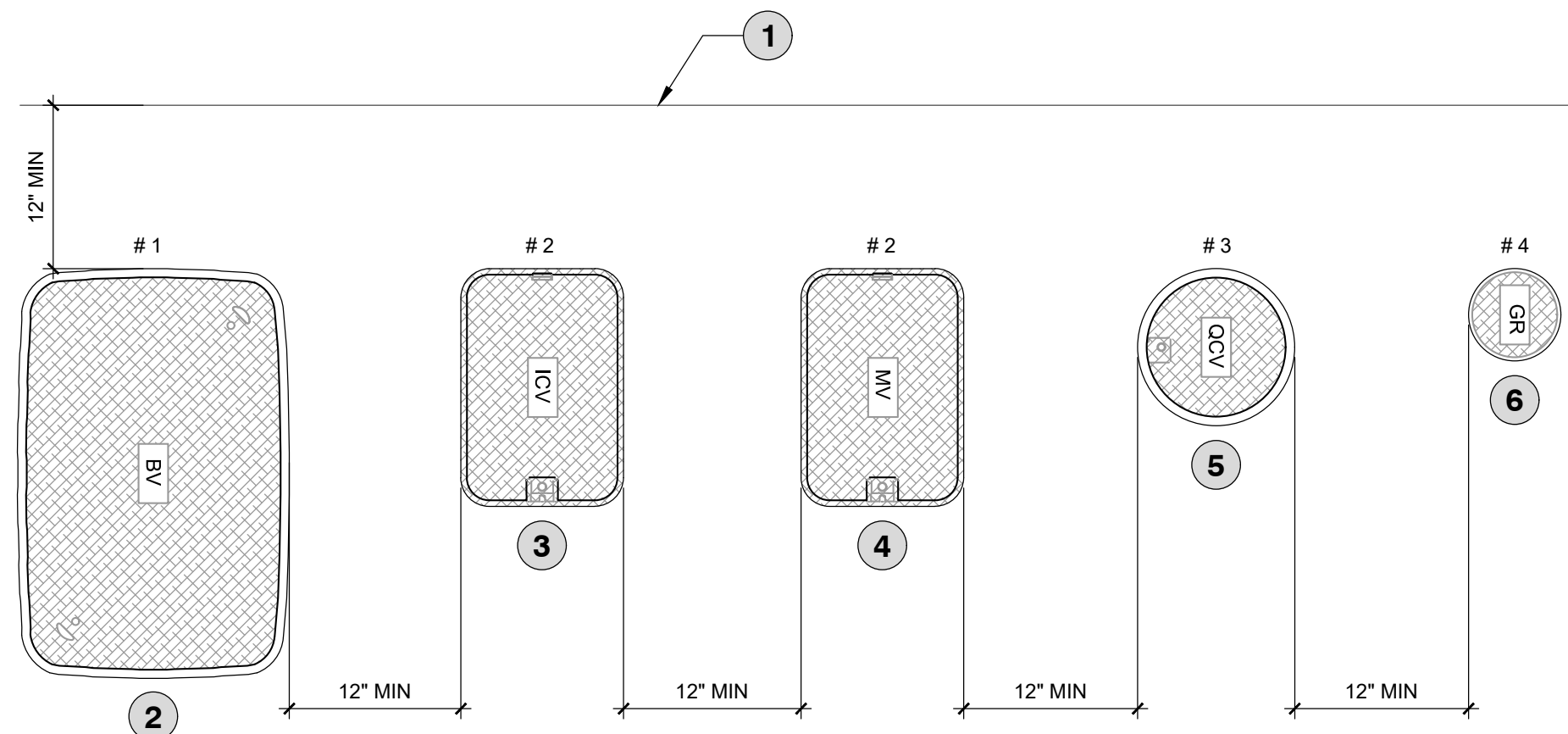
3 FLOW SENSOR

3/8" = 1'-0"

P-CR-21



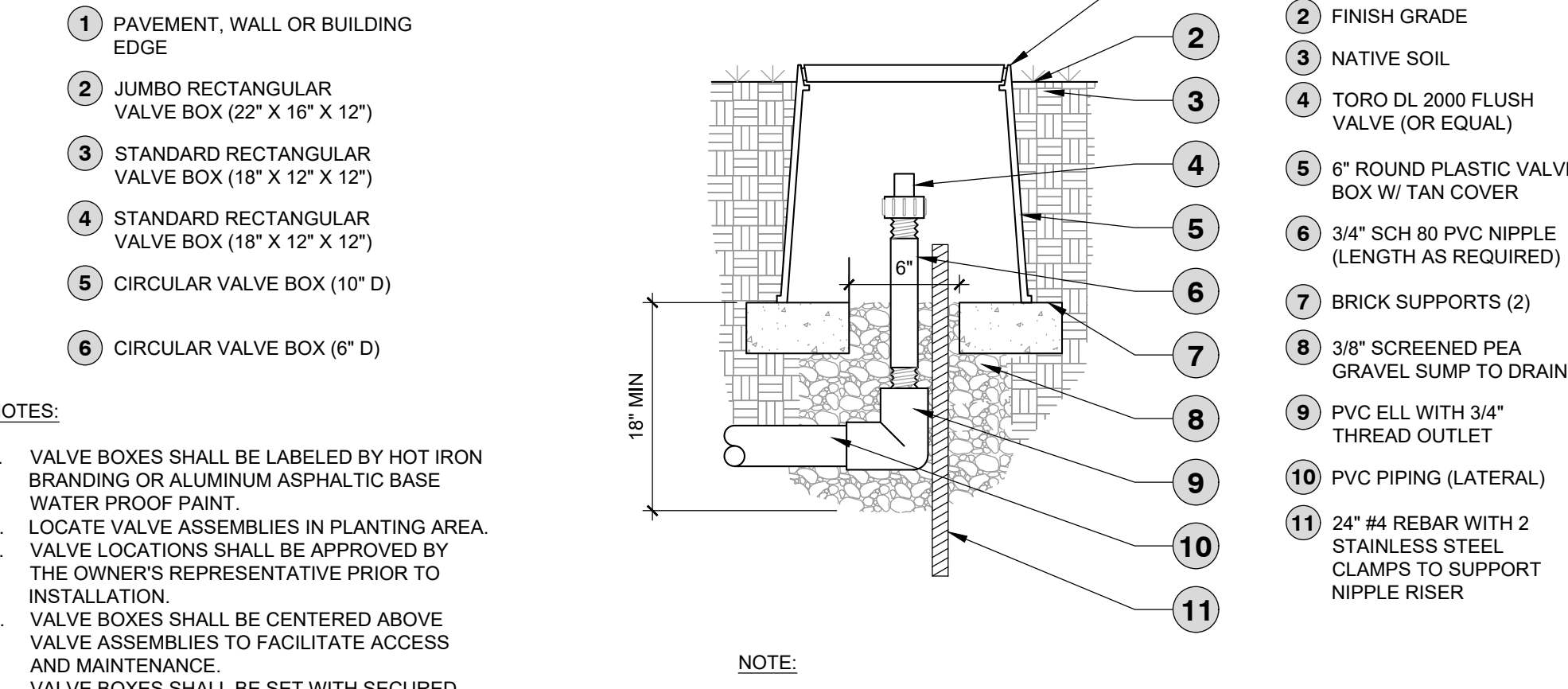
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4 VALVE BOX LOCATION

1" = 1'-0"

P-CR-22



5 END FLUSH VALVE

1" = 1'-0"

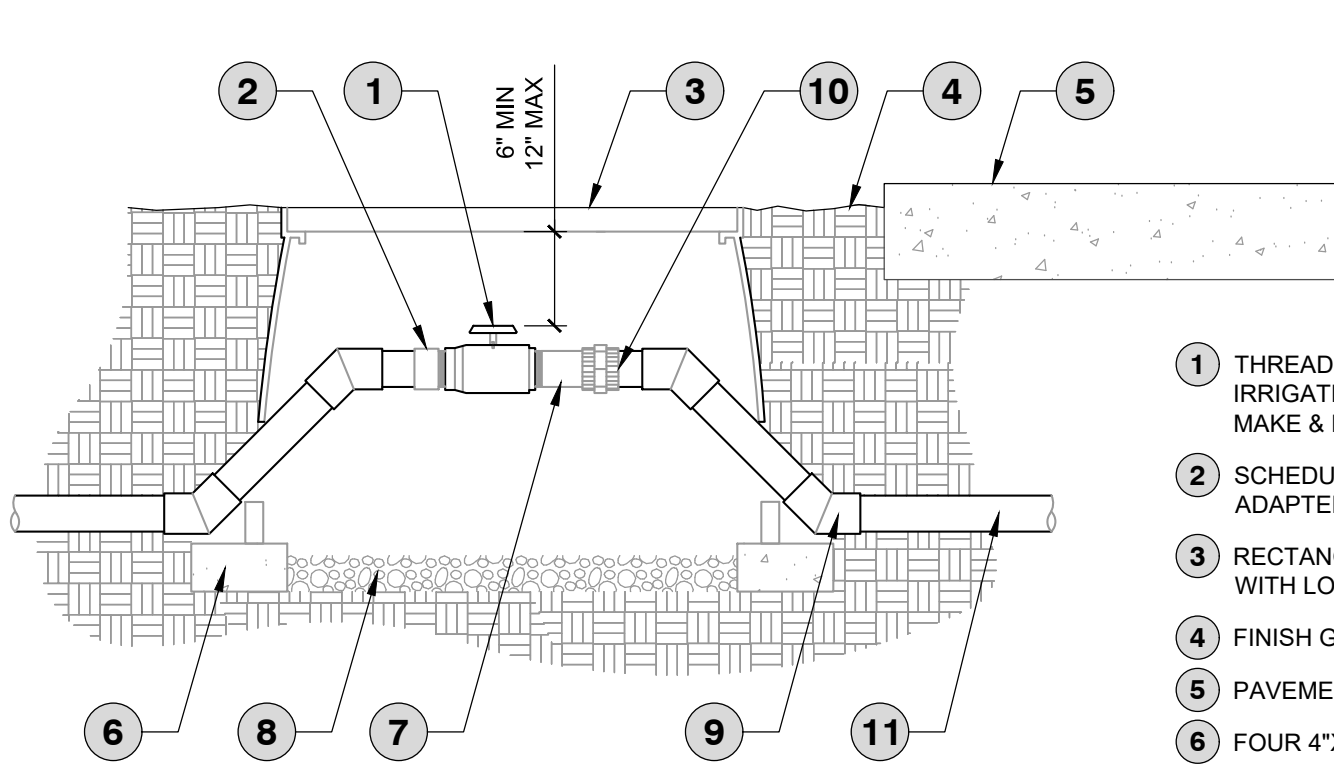
P-CR-23

6 WIRE SPLICING

6" = 1'-0"

P-CR-28

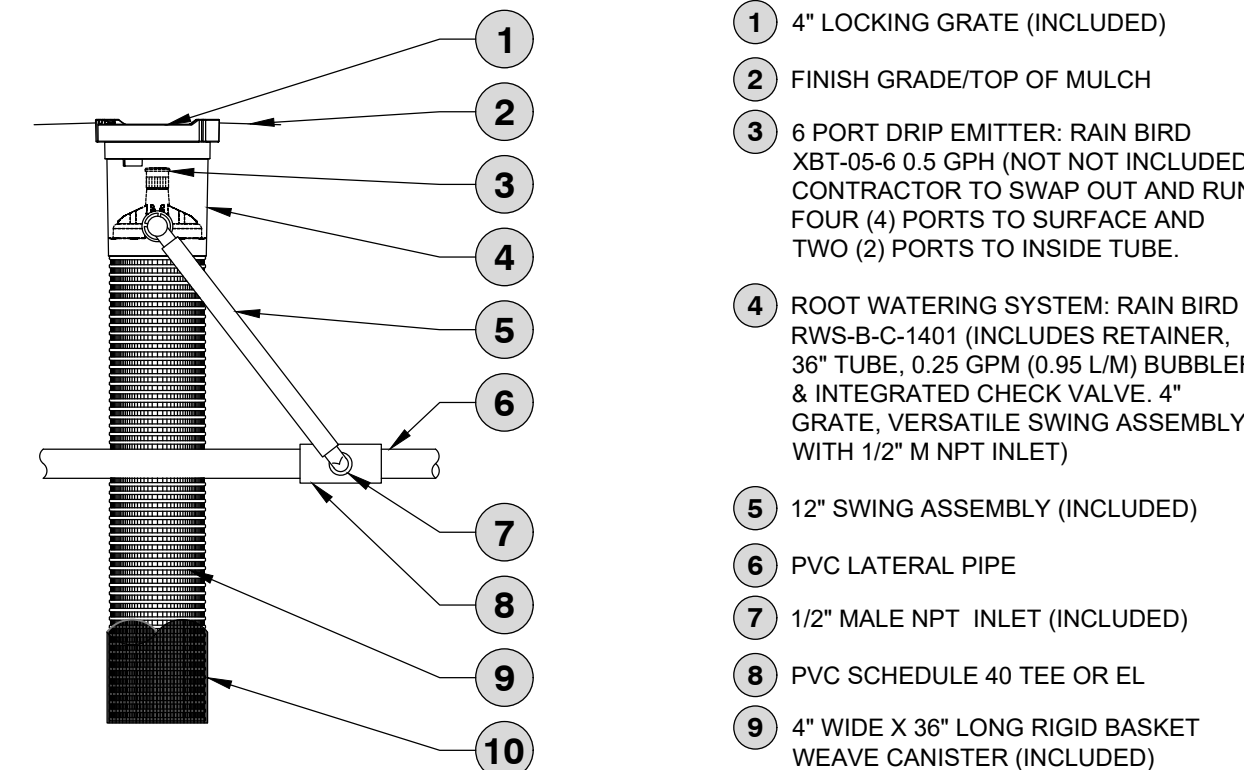
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7 BALL VALVE

3/4" = 1'-0"

P-CR-19



8 ROOT WATERING SYSTEM RWS-1401 (CUSTOMIZED)

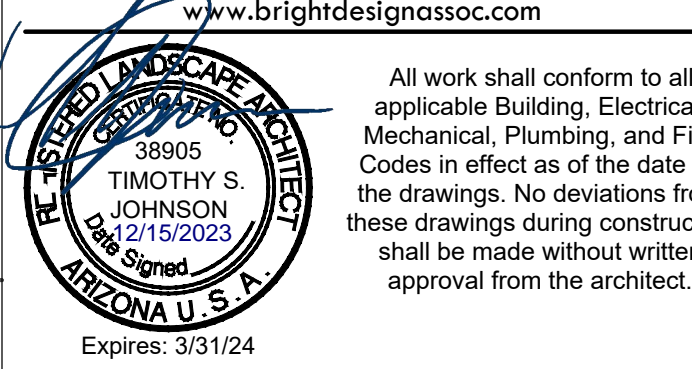
1 1/2" = 1'-0"

A



BRIGHT DESIGN ASSOCIATES
 A PROFESSIONAL LIMITED LIABILITY COMPANY
 660 S. Country Club
 Tucson, Arizona 85716
 Tel 520.529.1878
 Fax 520.292.1142

E-MAIL rbright@brightdesignassoc.com
www.brightdesignassoc.com



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 3275 W. Ina Road, Suite 220
 Tucson, Arizona 85741
 Phone: (520) 463-3200
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 Sheet No. **L5.05** 15 of 16

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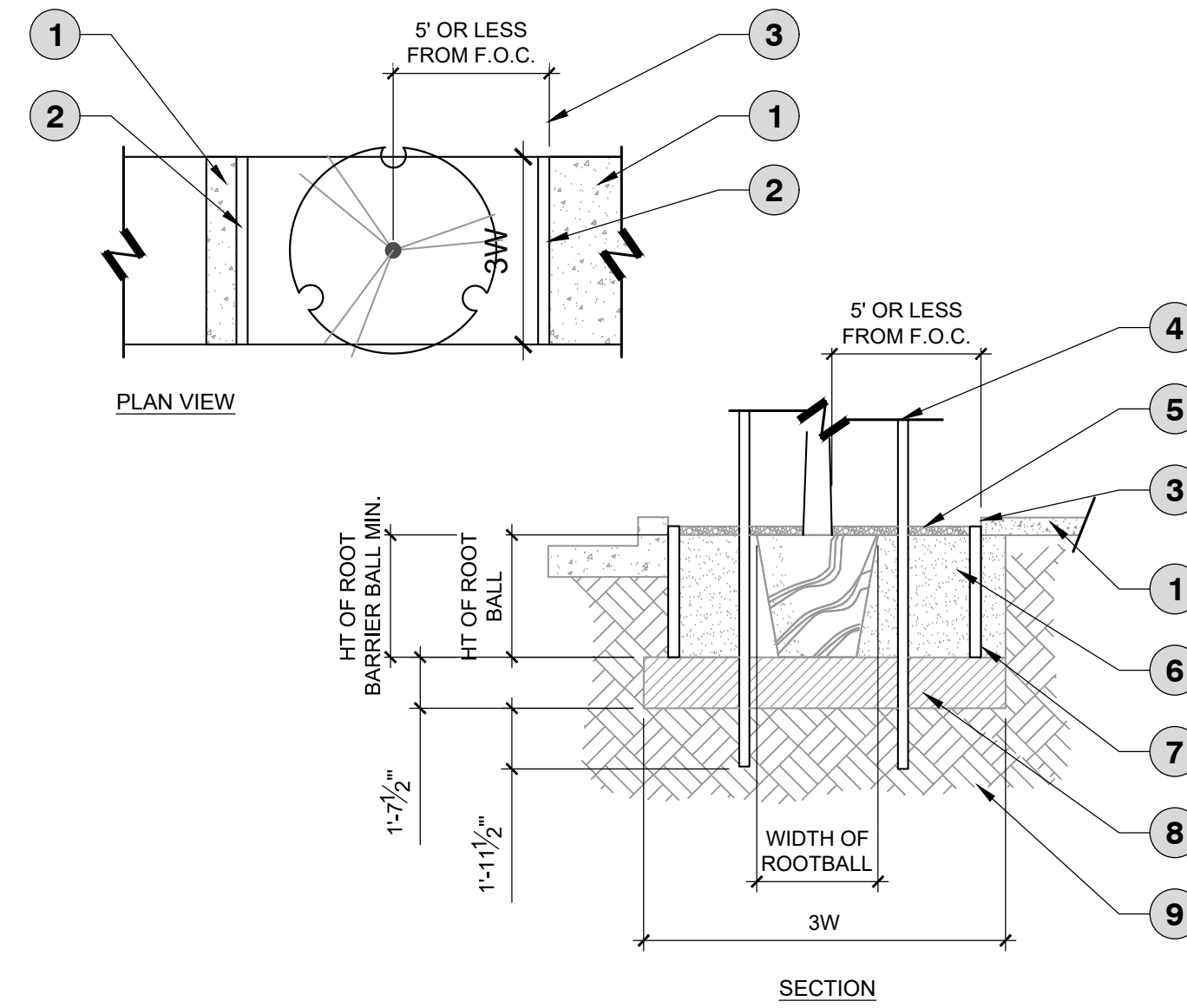
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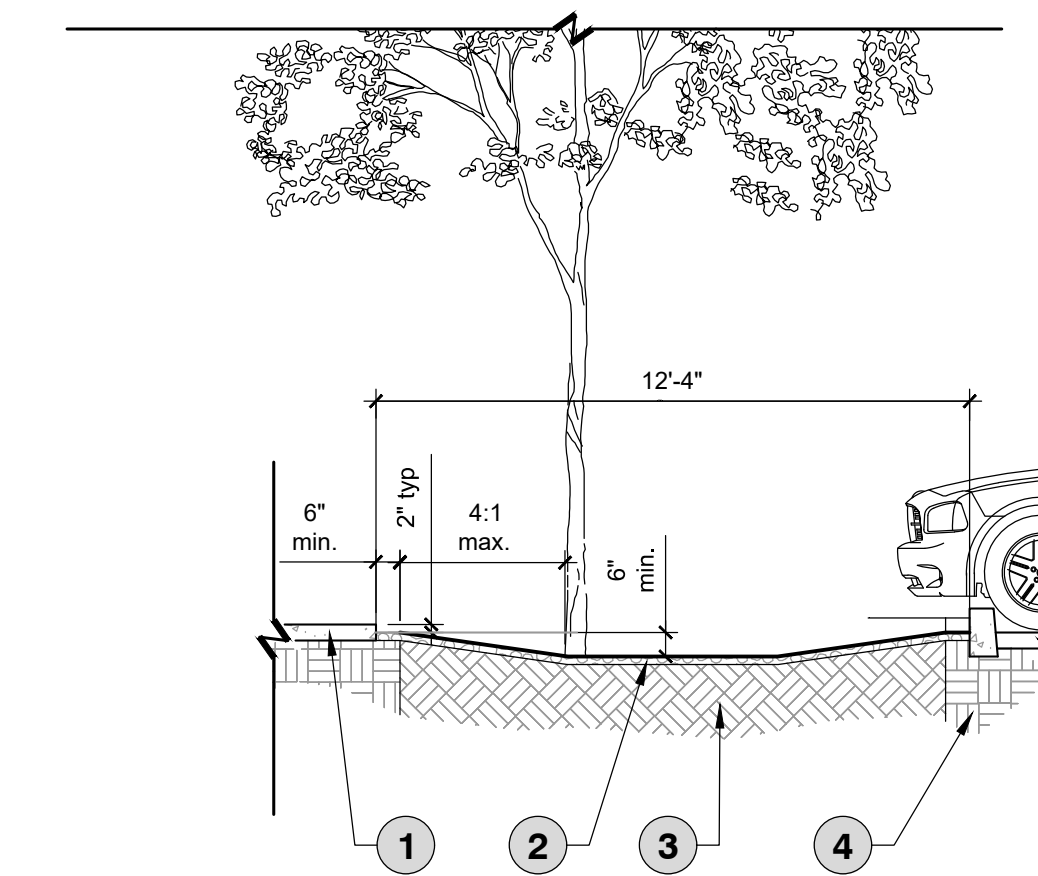
5



- 1 CONCRETE SIDEWALK
 - 2 ROOT BARRIER PANEL OR SHEET
 - 3 5' OR LESS FROM TRUNK OF TREE TO FACE OF CURB OR SIDEWALK
 - 4 SEE TREE PLANTING DETAIL FOR STAKING AND TYING
 - 5 2" OF 3/4" GRAVEL
 - 6 SOIL BACKFILL MIX (AS PER SPECIFICATIONS)
 - 7 ROOT BARRIER PANEL OR SHEET SHOULD BE FLUSH WITH BOTTOM OF EXCAVATED PLANT HOLE AND 3" FROM FINISHED GRADE. (NDS EP SERIES ROOT BARRIER, ONLY REQUIRED ON SIDE OF CURB OR SIDEWALK)
 - 8 10" MIN. PRIMARY SUB-BASE COMPACTED BACKFILL
 - 9 UNDISTURBED SUBGRADE
- THREE TIMES THE LENGTH OF BOX SIZE OF ROOT BARRIER TO BE CENTERED AT ROOT BALL ON EACH SIDE ADJACENT TO CURB OR SIDEWALK.
- LENGTH OF BARRIER IS 3X THE WIDTH OF ROOTBALL
 24" BOX = 6 L.F.
 36" BOX = 9 L.F.
 48" BOX = 12 L.F.
- *INSTALL PER MANUFACTURERS RECOMMENDATIONS.

1 TREE ROOT BARRIER
 3/16" = 1'-0"

P-CR-06



- 1 PAVED AREA OR CURB
- 2 2" DEEP DECORATIVE ROCK/MULCH (MAINTAIN MIN 6" DEPTH FROM TOP OF ROCK/MULCH TO TOP OF BASIN)
- 3 SCARIFIED AND LOOSENEED PLANTING BACKFILL
- 4 COMPACTED BACK PER CIVIL SPECS

2 RECESSED PLANTING AREAS WATER HARVESTING
 1/4" = 1'-0"

P-CR-10

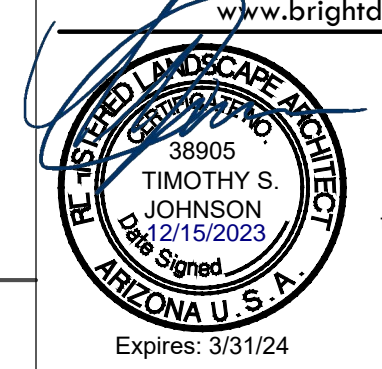


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A PROFESSIONAL LIMITED LIABILITY COMPANY
 660 S. Country Club
 Tucson, Arizona 85716
 Tel 520.529.1878
 Fax 520.292.1142

E-MAIL rbright@brightdesignassoc.com

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Sheet No. L5.06 16 of 16

APPENDIX F: PEDESTRIAN SHADE EXHIBIT

1

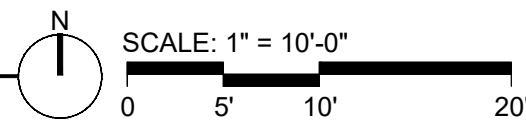
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01 SHADED AREAS PLAN



02 SHADED AREA

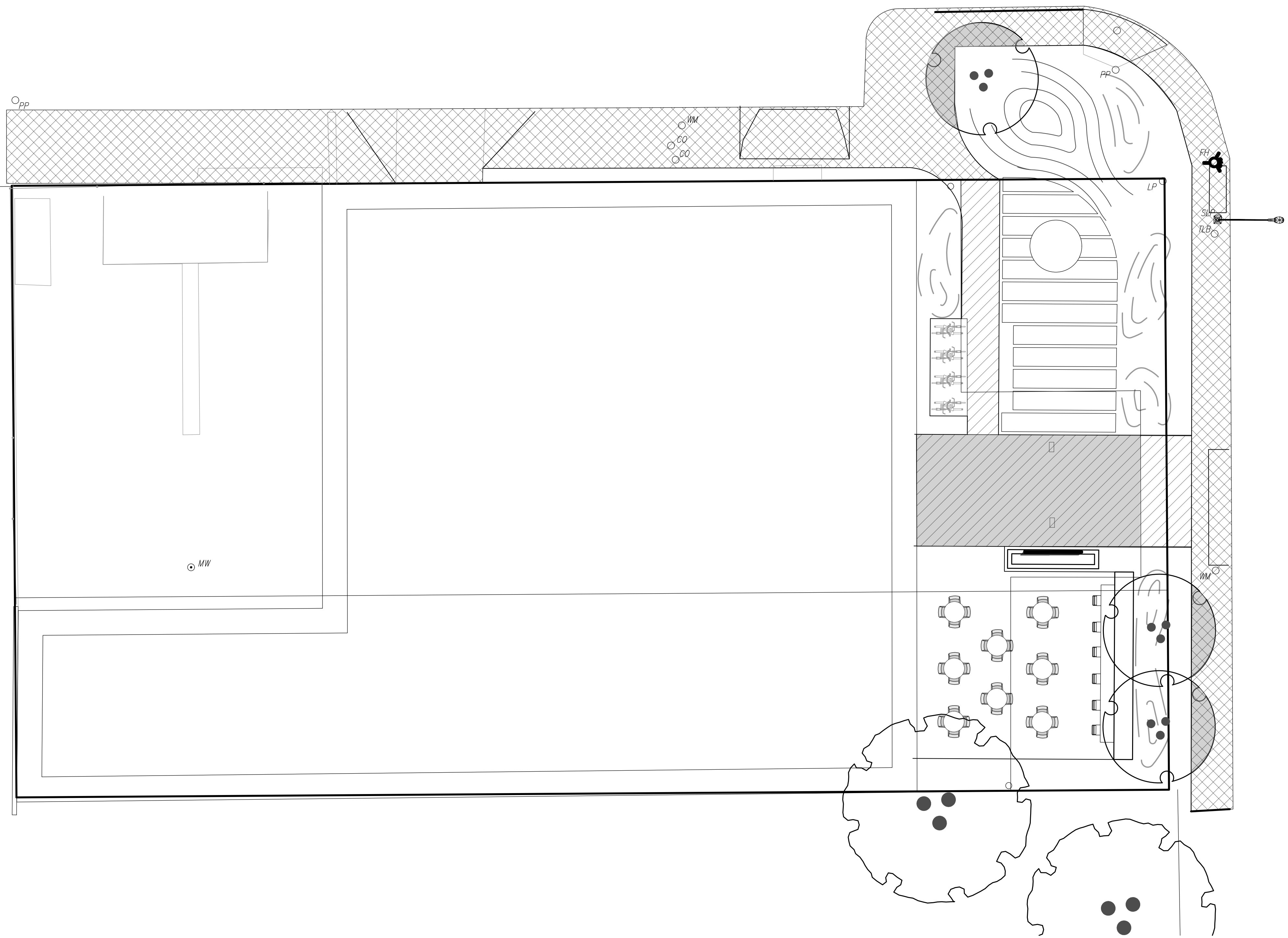
- PEDESTRIAN AREA ON PRIVATE PROPERTY:
1,019 SqFt - 100% AREA
640 SqFt - 62.8% SHADED AREA
- PEDESTRIAN AREA IN ROW:
2,980 SqFt - 100% AREA
165 SqFt - 5.72% SHADED AREA
- SHADED PEDESTRIAN AREA BY CANOPY OVERHEAD STRUCTURE
640 SqFt
- SHADED PEDESTRIAN AREA BY CANOPY TREES
165 SqFt

D

C

B

A



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PEDESTRIAN SHADE EXHIBIT

Project number **051595**
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 Checked by **TJ**
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LANDSCAPE PLAN

Sheet No. **L1.01** 6 of 13

APPENDIX G: BUILDING ELEVATIONS

1

2

3

4

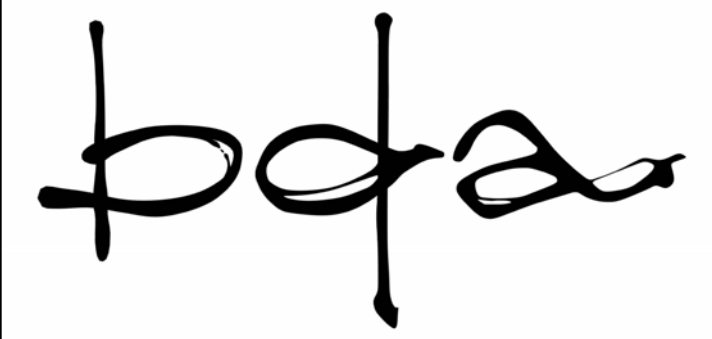
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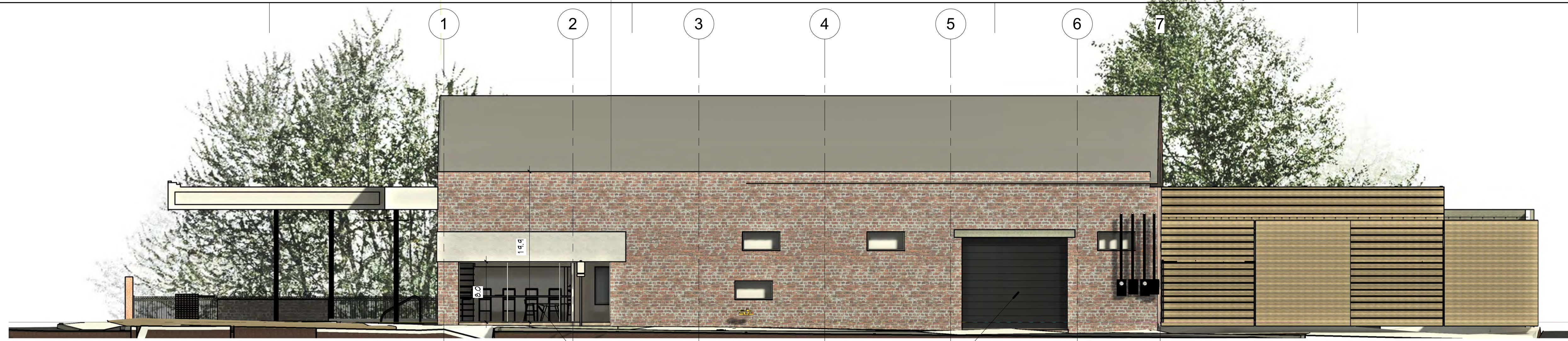
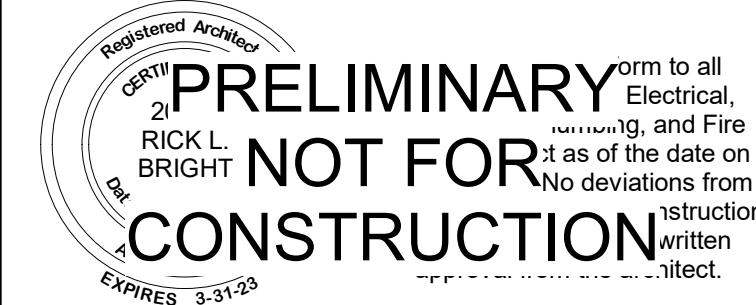
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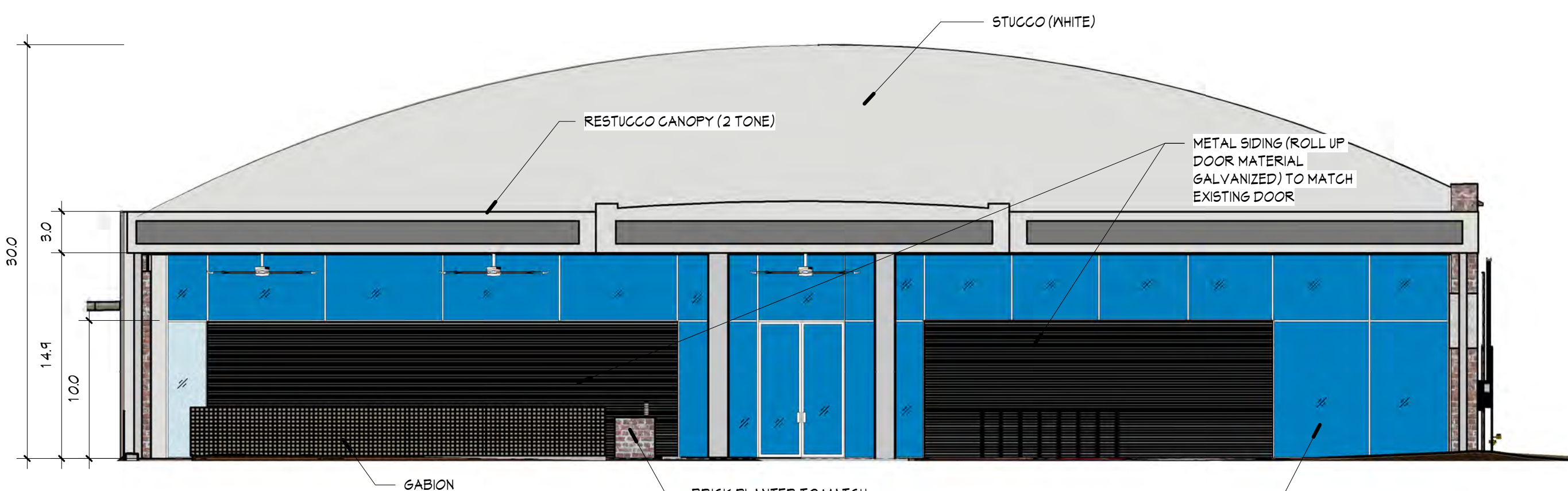
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D1 NORTH
1/8" = 1'-0" (1/L4.06)

REMOVE T-111 SIDING AND REPLACE WITH STOREFRONT WHICH WAS ON THE ORIGINAL BUILDING

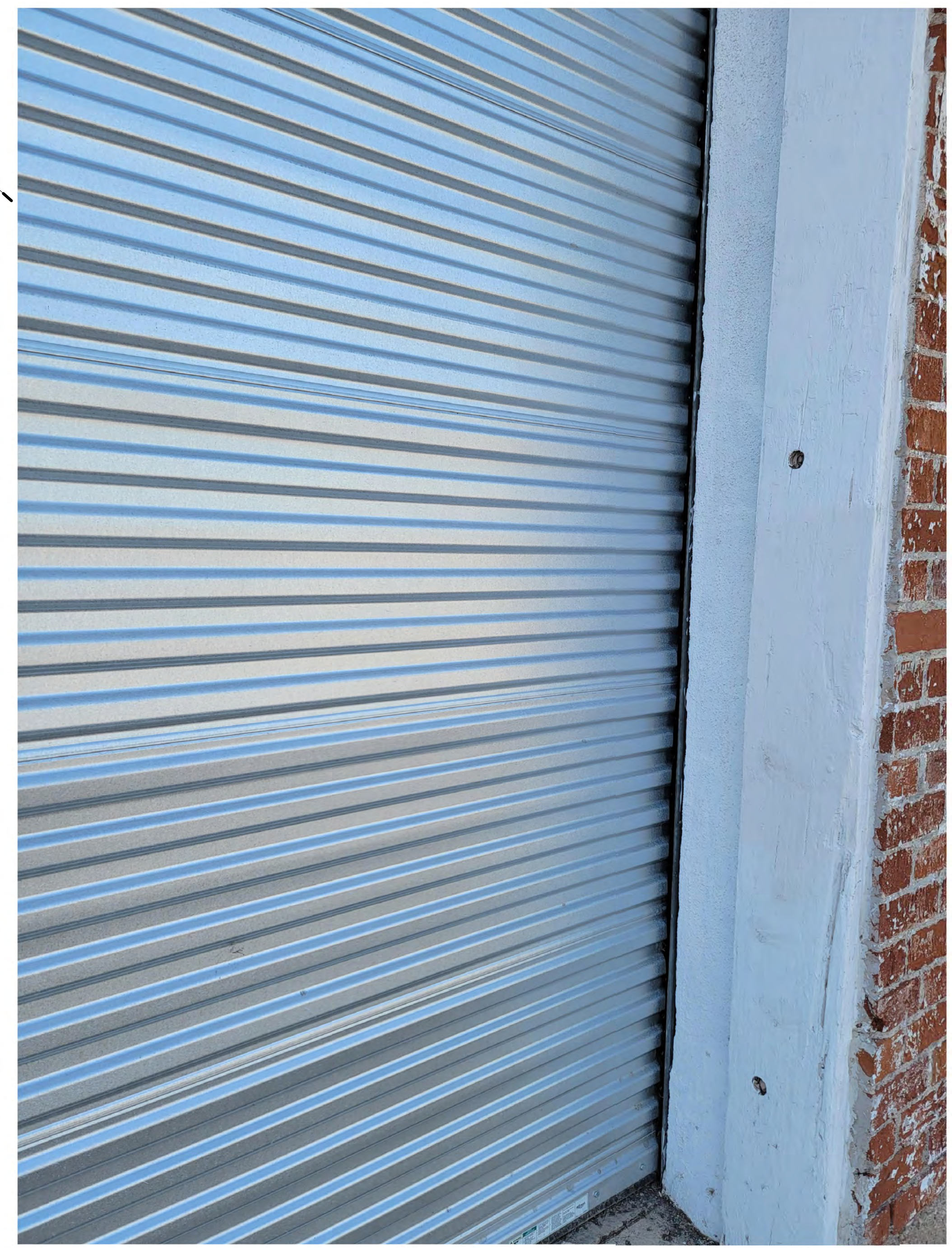


EXISTING OVERHEAD DOOR

RESTUCCO CANOPY (2 TONE)
STUCCO (WHITE)
METAL SIDING (ROLL UP DOOR MATERIAL GALVANIZED) TO MATCH EXISTING DOOR

GABION
BRICK PLANTER TO MATCH EXISTING BUILDING
CLEAR GLAZING WITH CLEAR ALUMINUM FRAMES

B1 EAST
1/8" = 1'-0" (1/L4.06)



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BUILDING ELEVATIONS

APPENDIX H: SUN STUDY

1

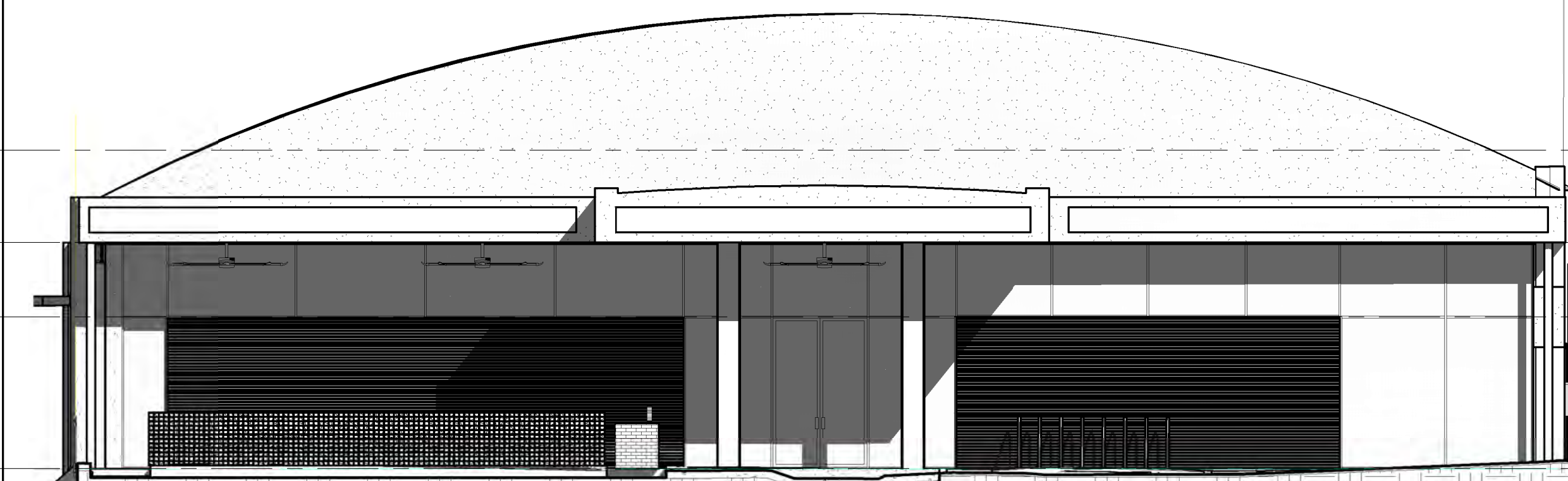
2

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D



- Level 4 2402.35'
- Level 2 2396.27'
- Level 3 2391.35'
- Level 1 2381.35'

D1 EAST 7AM 6/21/2023
1/8" = 1'-0" (1/L4.06)



- Level 4 2402.35'
- Level 2 2396.27'
- Level 3 2391.35'
- Level 1 2381.35'

D3 EAST 10AM 6/21/2023
1/8" = 1'-0" (1/L4.06)

C



- Level 4 2402.35'
- Level 2 2396.27'
- Level 3 2391.35'
- Level 1 2381.35'

B1 EAST 8AM 6/21/2023
1/8" = 1'-0" (1/L4.06)



- Level 4 2402.35'
- Level 2 2396.27'
- Level 3 2391.35'
- Level 1 2381.35'

B3 EAST 11AM 6/21/2023
1/8" = 1'-0" (1/L4.06)

B

A



- Level 4 2402.35'
- Level 2 2396.27'
- Level 3 2391.35'
- Level 1 2381.35'

A1 EAST 9AM 6/21/2023
1/8" = 1'-0" (1/L4.06)



- Level 4 2402.35'
- Level 2 2396.27'
- Level 3 2391.35'
- Level 1 2381.35'

A3 EAST 3 PM 6/21/2023
1/8" = 1'-0" (1/L4.06)



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Tel 520.529.1878
Fax 520.292.1142

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Level/Mark	Date	Description
Level 4 2402.35'		
Level 2 2396.27'		
Level 3 2391.35'		
Level 1 2381.35'		
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SUN STUDY

Sheet No. **C5.3** Of 12