



**It still looks like a grocery store, but it isn't.**

Narrative: Proposed ADU on property,  
responsive to the immediate historic context

Address: 400 West Simpson Street  
@ Samaniego Avenue,  
El Hoyo/Barrio Historico, Tucson, Arizona

Parcel #: 11719001A

Parcel area: 9012.564 sq ft

Zoning: HR-2

Owners: Kara and Peter Fuhrman



The historic adobe structure was originally a neighborhood market, but closed in the late 1960s. Since then, it has existed as a residence, bed and breakfast, home, and guest rental. Kara and Peter purchased the home last year and would like to make various renovations, improvements, and additions on the property.

Future renovations to the existing primary structure are desired, but will be pursued in the future, not to be considered in this scope. This scope of work only considers the siting and zoning and design of a new Accessory Dwelling Unit and surrounding outdoor spaces.

We recognize, value, and are looking to compliment the historic and cultural significance of this property and structure. Due to its location, the topography, and cultural significance of the property, we are looking to respond in a manner that is respectful of those considerations above. Engaging the Samaniego street-front in a humble, yet defined manner, distinguishing between Contributing Historic structures not only on the property but within the Development Zone, remaining deferential to the existing context.

Items for Consideration:

- ADU – Kara and Peter would like to construct a 900sf casita on the property for their mother. An entry courtyard meets the street level on Samaniego, and would propose a 10-8' tall masonry / plaster wall that defines the entry to the ADU at Samaniego, respectful and in response to the Samaniego street front and neighboring structures. Because of the grade change, this height exceeds the 12' code restriction for ADUs in the middle of the property, up to 14' tall. The structure however remains deferential to its neighbors by about 3' or more.
- Site Walls & Accessory Structure– We are proposing to replace the existing fence, not to exceed the height of the existing fence. There are 2 locations where accessory structures of plaster and masonry, meet the lot line and exceed the height. We would look to obtain a variance in those regards. One for the entry, and one for a storage unit/courtyard.
- Vehicle Entry – Re-locate curb cut slightly to the south on Samaniego Avenue to allow vehicle access.
- Swimming Pool – We are proposing to locate the swimming pool within the 8' setback from the property lines. We have studied other residences with swimming pools and found that they are often placed adjacent to the property lines, or fall within the 8' setback. (663 S Main Ave, 729 S Osborne Ave, 479 S Convent Ave, 392 S Convent Ave.)
- Shade Structures – Introduction of a partially or fully shaded pool ramada near the pool, between the house and ADU, and at the vehicle use area. Shade structures to be steel construction, with fabric/tensile shade cloths.
- Site Plan/Survey - a new survey has given us a clearer understanding of the topography and finish floor levels, which the drawings and design to date consider. They also highlight discrepancies in property line and fence locations regarding. We are hoping to remedy some of those discrepancies where possible, while needing some variance or flexibility in areas beyond our control.

Zoning Review Transmittal

FROM: PDSZ Zoning Review

PROJECT:  
T22CM06636  
400 W Simpson St – HR-2  
New ADU, Shade Structures, fence & Walls (1st Review)

TRANSMITTAL: September 12, 2022

COMMENTS: the following comments are relative to an application for Historic Review (UDC 5.8.8).

This site is located in the HR-2 zone (UDC 4.7.9). A single-family residence (SFR) with an Accessory Dwelling Unit (ADU) is a permitted use in this zone (Table 4.8-2). See Use-Specific Standards 4.9.7.B.6, 8, & 9 and 6.6.3.

The minimum setback is the greater of six (6) feet, or two-thirds (2/3) the height of the structure's wall facing each interior property line (Table 6.3-2.A).

1. Based on a post height of 10'-0" the required perimeter yard setback from the post supporting the fabric shade system to the west property line is 6'-8", proposed setback is 0'-0".
2. Based on a post height of 9'-2" the required perimeter yard setback from the post supporting the fabric shade system attached to the ADU to the south property line is 6'-2", proposed setback is 0'-0".
3. Based on a wall height of 8'-0" the required perimeter yard setback from the proposed storage structure to the south property line is 6'-0", proposed setback is 0'-0".

4. As heights were not called out for the "MASONRY WALL" shown on the plan Zoning cannot determine if setbacks are an issue.

5. The minimum setback to a side street property line is ten (10) feet (UDC Section 6.4.5.C.1.b). Proposed side street setback from the proposed ADU is 0'-0"

6. New site fencing and retaining was are proposed.

Historic review is required and must be approved prior to approval of this building plan. Historic application/requirements can be found at: [https://www.tucsonaz.gov/files/pdsd/Preservation/HPZ\\_Review\\_Application\\_Package\\_2020.pdf](https://www.tucsonaz.gov/files/pdsd/Preservation/HPZ_Review_Application_Package_2020.pdf), and is a separate submittal from the building plans submitted at: <https://www.tucsonaz.gov/pdsd-filedrop>, using Submission Type "Historic Review".

We are hoping through this presentation, that the BHHZAB sees the sensitivity in response to existing context and DZ and will find the comments left by Zoning and our design solutions acceptable.

Best images to view regarding Zoning comments are on pp 14-21.

The owner's of the property have obtained signed waivers from their adjacent neighbors, in accordance to Tucson UDC 6.2.2 D, provided on pp 22-23 of this document regarding accessory structures in the setback. Original waivers will be submitted as required.

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**Development Zone**

Elysian Grove Site Plan

Proposed ADU Design & Site Sections

Proposed ADU Elevations

Existing Site Conditions - Photos & Drawings

Development Zone - *Barrio El Hoyo*  
400 W. Simpson - Elysian Grove Market  
Scale 1:1500



For the purpose of this section, we will hone in on specific aspects and characteristics of the zone only. Our focus and design responses are in direct response to this development zone, while also abstracting some of the larger design elements that is characteristic of the Barrio Historico overall, and Spanish colonial and Mexican American building construction and spatial responses to our arid climate and cultural and historic region. We omitted Carrillo school on the following mappings for clarity in our studies.

Development Zone - Contributing Structures \*Carrillo Elementary removed  
 400 W. Simpson - Elysian Grove Market  
 Scale 1:1000



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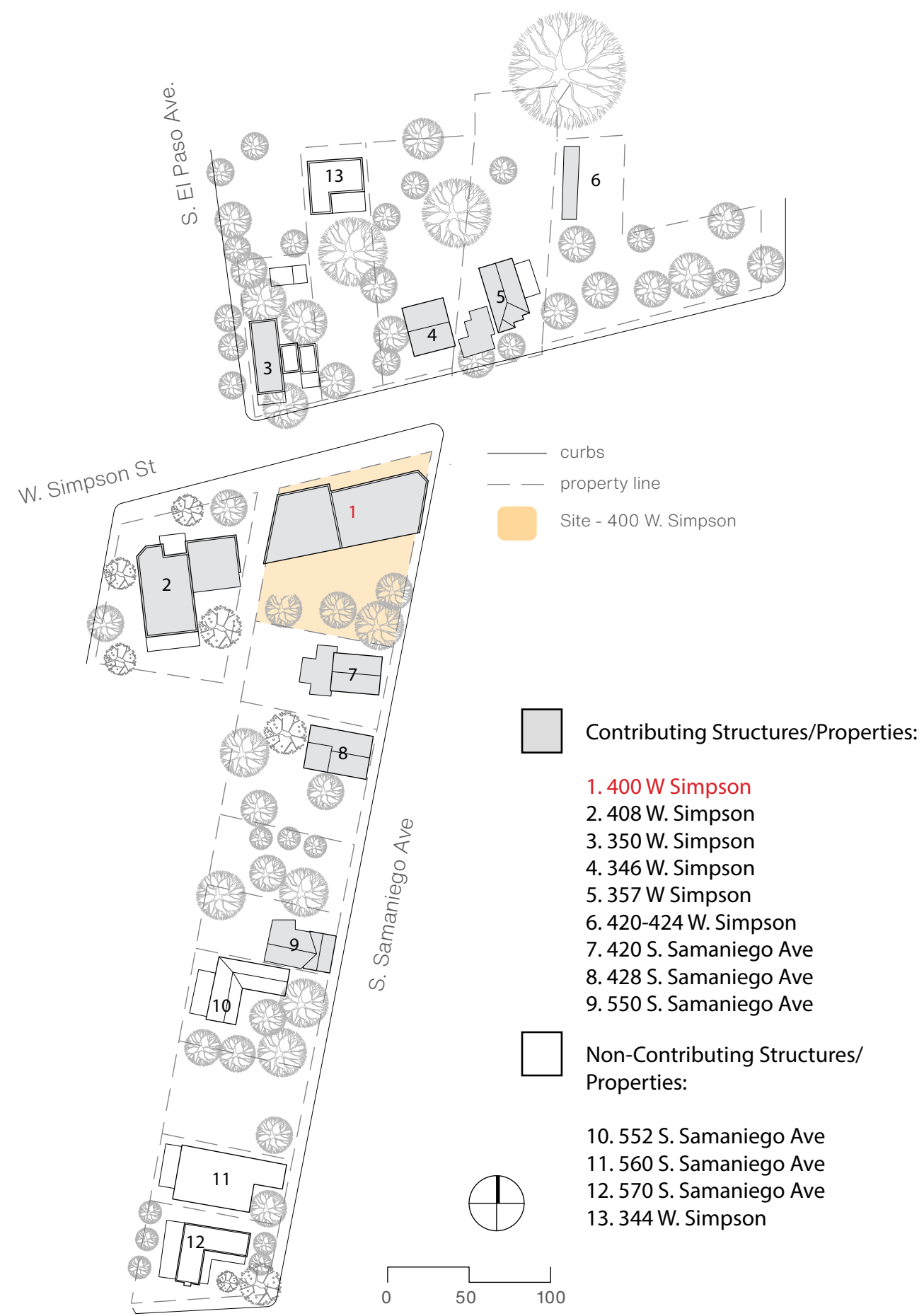
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10

11

12



Development Zone - Fences & Walls  
 400 W. Simpson - Elysian Grove Market  
 Scale 1:1000



350 - 424 W Simpson St



400 & 408 W Simpson St



400 W Simpson St, 420 & 428 S. Samaniego Ave



550 - 570 S. Samaniego Ave



Notes & Observations:

1. Fences vary throughout the DZ. Most Front and side fences are 6' tall, corrugated, or wood. One Masonry Wall on a side/front yard at 350 W Simpson.
2. Most front yard fences along Samaniego are minimal or non-existent, are lower, and see through rod iron or chain link.
3. All 4 contributing structures on Samaniego are pushing the zero lot line, 1 Non-Contributing is, the other 2 are set back.
4. Accessory structures in the DZ push lot lines, near zero or zero and extend 9' to 12' tall.

Development Zone - S. Samaniego Ave Study - Existing Condition Figure Ground, Accessory Structures & Street Elevation  
 400 W. Simpson - Elysian Grove Market  
 Scale 1:500

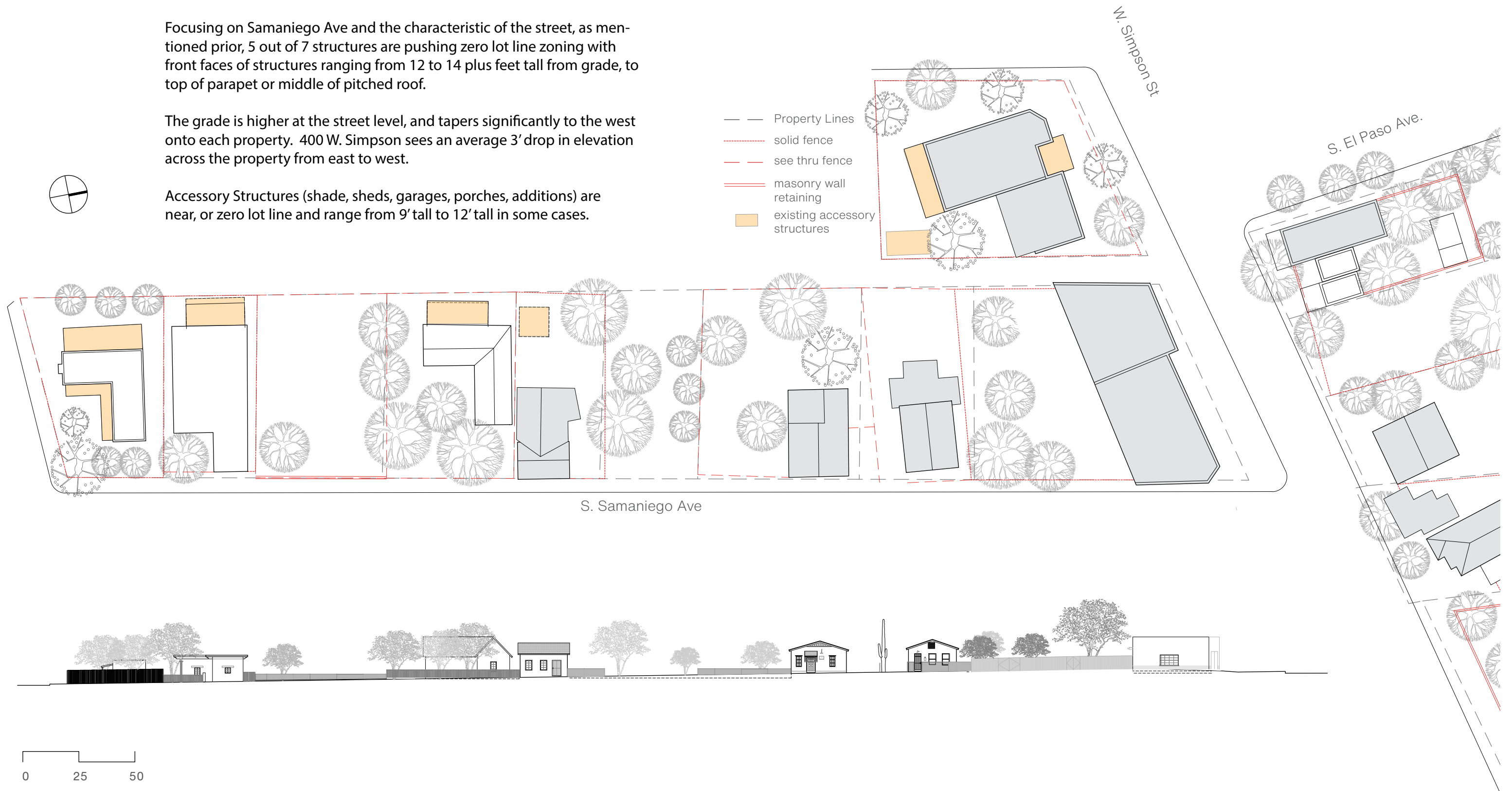
Focusing on Samaniego Ave and the characteristic of the street, as mentioned prior, 5 out of 7 structures are pushing zero lot line zoning with front faces of structures ranging from 12 to 14 plus feet tall from grade, to top of parapet or middle of pitched roof.

The grade is higher at the street level, and tapers significantly to the west onto each property. 400 W. Simpson sees an average 3' drop in elevation across the property from east to west.

Accessory Structures (shade, sheds, garages, porches, additions) are near, or zero lot line and range from 9' tall to 12' tall in some cases.



- — Property Lines
- - - - solid fence
- · - · - see thru fence
- · — · — masonry wall retaining
- existing accessory structures





Development Zone - S. Samaniego Ave Study - Proposed ADU Figure Ground & Street Elevation  
 400 W. Simpson - Elysian Grove Market  
 Scale 1:500

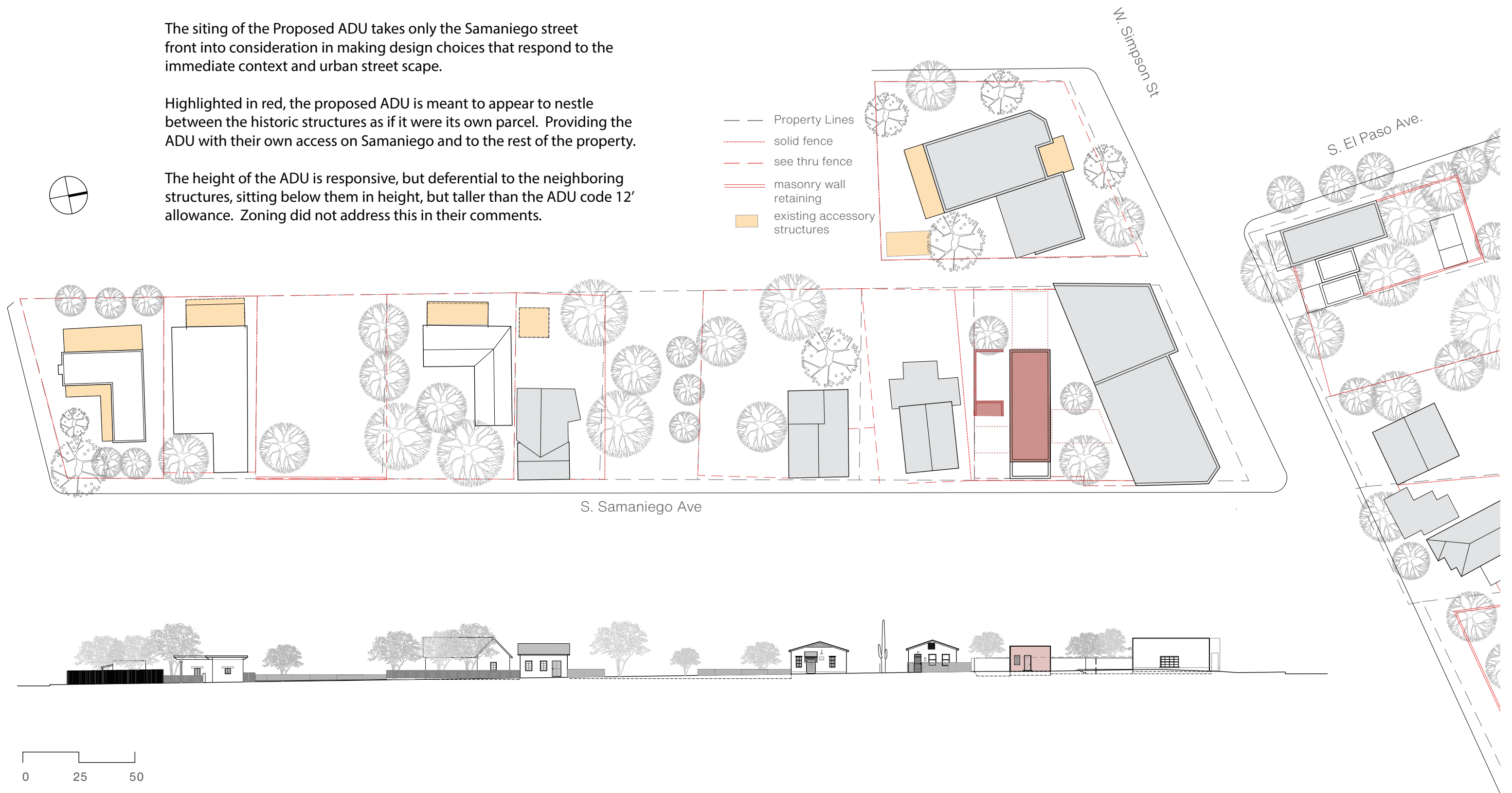
The siting of the Proposed ADU takes only the Samaniego street front into consideration in making design choices that respond to the immediate context and urban street scape.

Highlighted in red, the proposed ADU is meant to appear to nestle between the historic structures as if it were its own parcel. Providing the ADU with their own access on Samaniego and to the rest of the property.

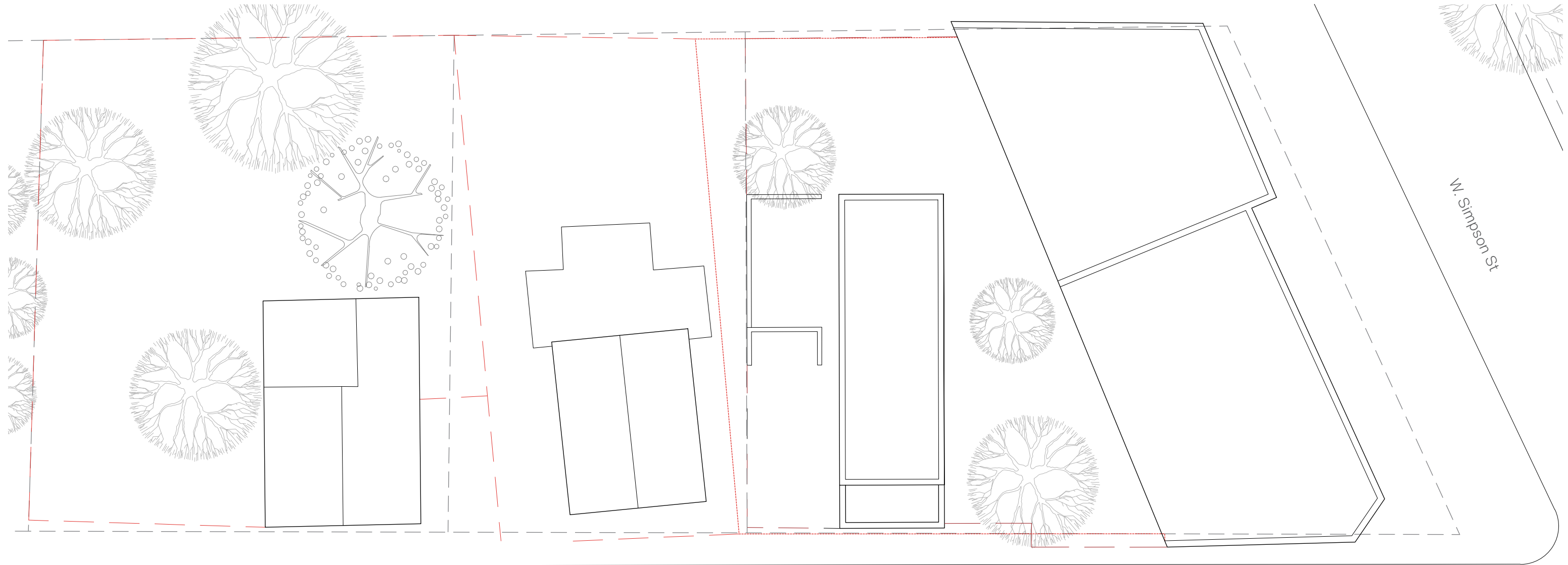
The height of the ADU is responsive, but deferential to the neighboring structures, sitting below them in height, but taller than the ADU code 12' allowance. Zoning did not address this in their comments.



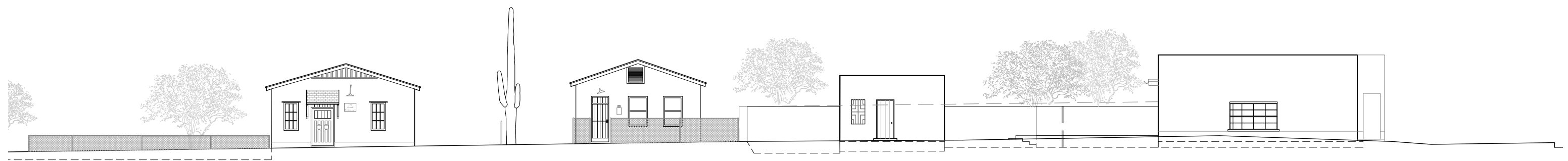
- Property Lines
- - - solid fence
- - - see thru fence
- masonry wall retaining
- existing accessory structures



Development Zone - S. Samaniego Ave Study - Proposed ADU Figure Ground & Street Elevation  
400 W. Simpson - Elysian Grove Market  
Scale 1:200

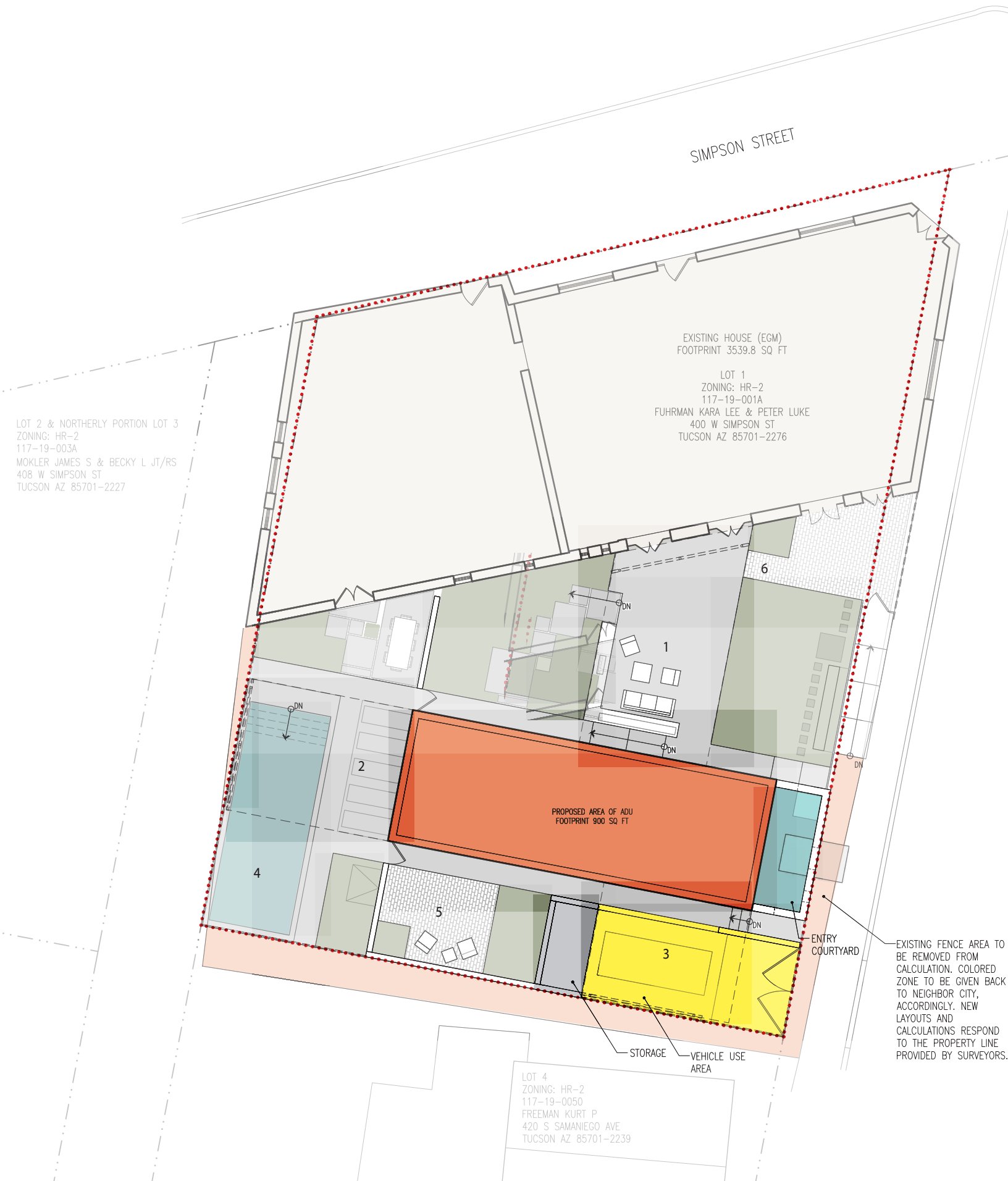


S. Samaniego Ave



2	<b>Elysian Grove Site Plan</b>
3	Proposed ADU Design & Site Sections & Perspectives
4	Proposed ADU Elevations
5	Existing Site Conditions - Photos & Drawings

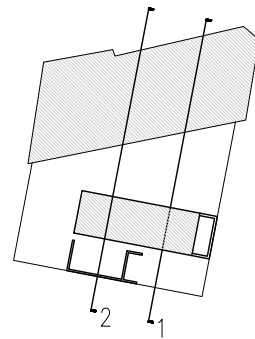
Elysian Grove Site Plan - Lot Coverage Analysis  
 400 W. Simpson - Elysian Grove Market  
 Scale 1/16" = 1'-0"



LOT COVERAGE CALCULATION		SQ FT
	Lot Area	9012.56
	Existing Primary Structure (EGM)	3539.8 (39.2%)
	Proposed ADU	900 (10%)
	Existing Fence Area to be given back to Neighbor City	533
	3 Vehicular Use Area	337.5 (3.7%)
	Entry Courtyard	133.4 (1.4%)
	Storage Structure	83.5 (1%)
<b>Total Lot Coverage</b>		<b>4994.2</b>
<b>Percentage Lot Coverage</b>		<b>55.4%</b>
<b>Total allowable Lot Coverage</b>		<b>6308.8 (70%)</b>
(TUCSON UDC: TABLE 6.3-2.A: DIMENSIONAL STANDARDS FOR THE R-2 ZONE)		
	Shade Structures	1181.8 (13.1%)
	1. Living Shade	518
	2. Pool Shade	403.5
	3. Car Shade	260.3
	Hardscape	1843.6
	4. Pool & Pool Patio	421.8
	5. ADU Private Patio	165.9
	6. Main Outdoor Courtyard	620.8
	7. Circulation	635.1
	Vegetation	862.6 (9.57%)



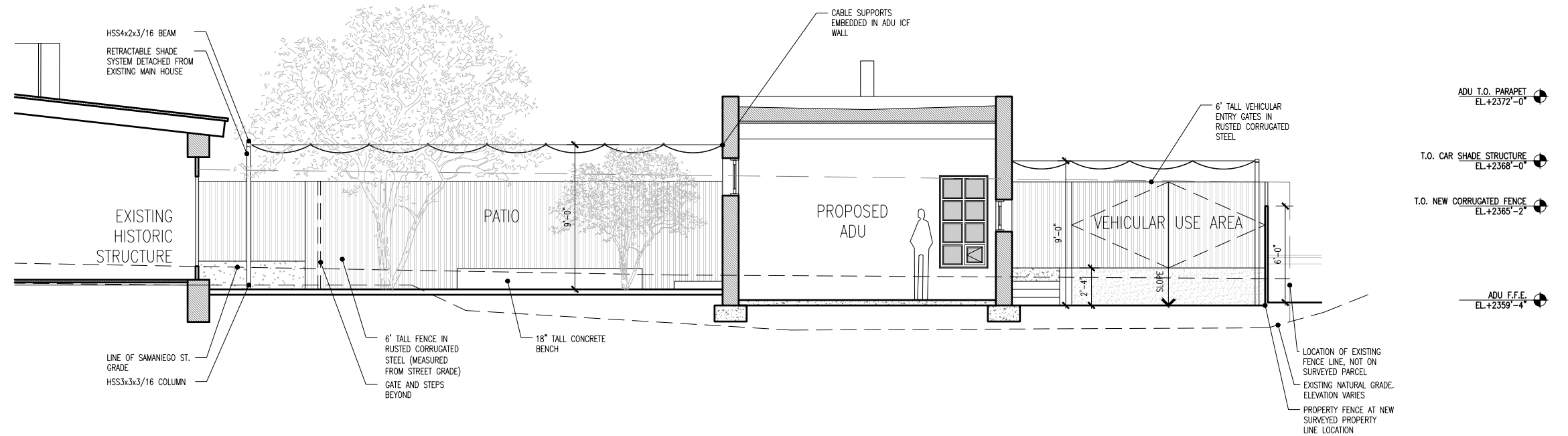
3	<b>Proposed ADU Design &amp; Site Sections &amp; Perspectives</b>
4	Proposed ADU Elevations
5	Existing Site Conditions - Photos & Drawings



Site Sections & Elevations  
Scale 1/8" = 1'-0"

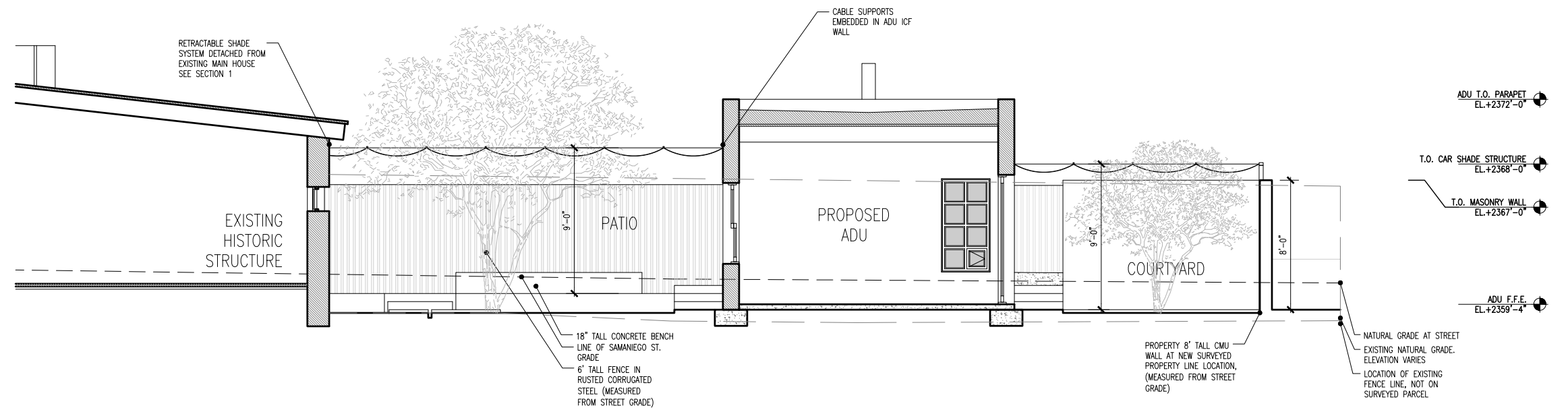
- EGM T.O. PARAPET  
EL.+2375'-4"
- LIVING SHADE STRUCTURE  
EL.+2369'-0"
- AVERAGE F.F.E. EXISTING STRUCTURE  
EL.+2360.3 +/-

SECTION 1

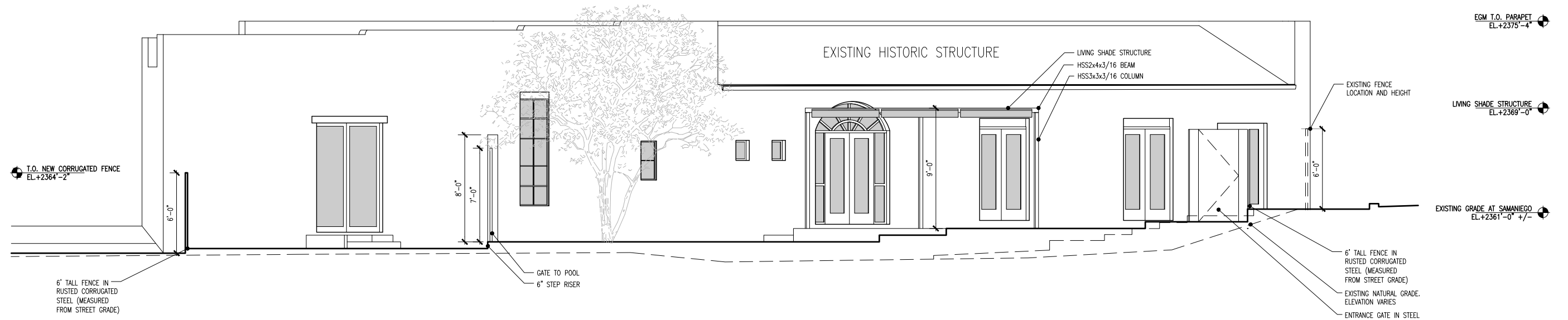
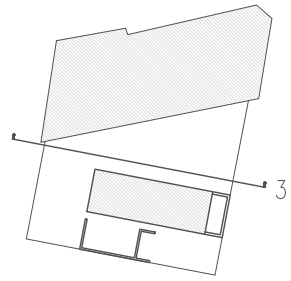


- EGM T.O. PARAPET  
EL.+2375'-4"
- LIVING SHADE STRUCTURE  
EL.+2369'-0"
- AVERAGE F.F.E. EXISTING STRUCTURE  
EL.+2360.3 +/-

SECTION 2



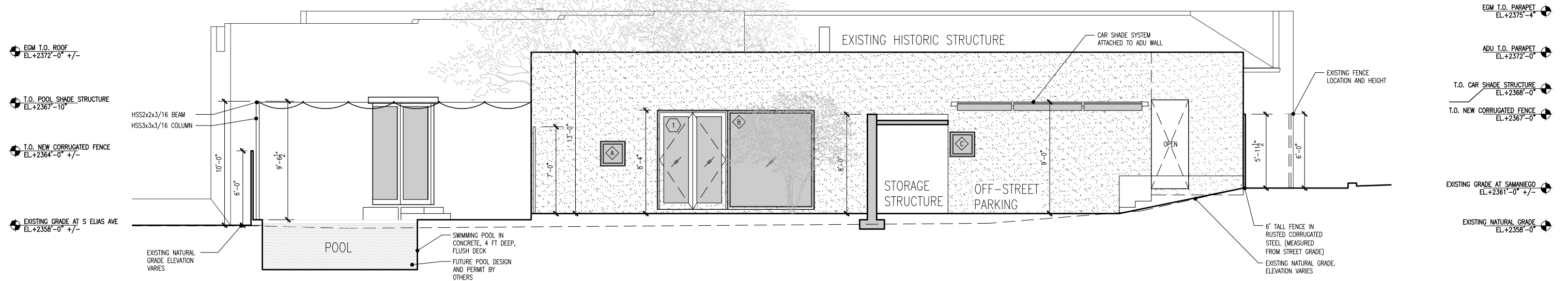
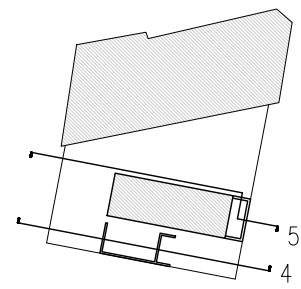
Site Sections & Elevations  
Scale 1/8" = 1'-0"



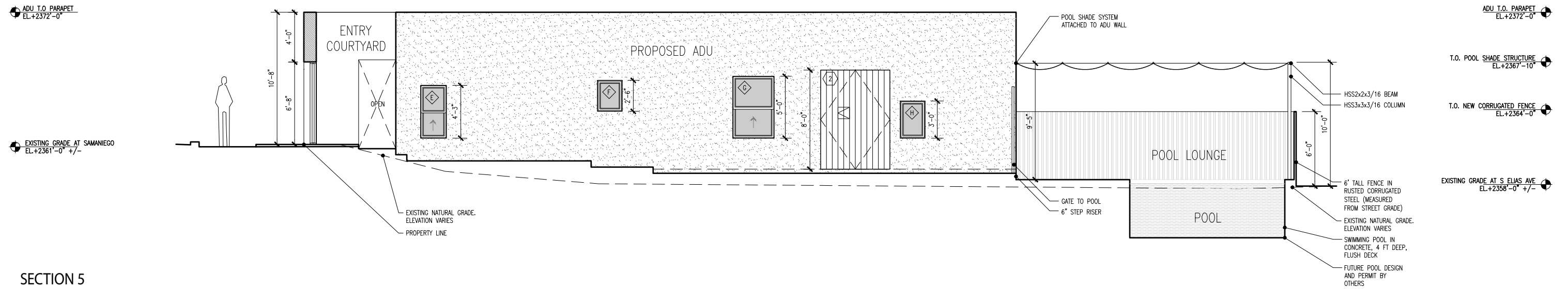
SECTION 3



Site Sections & Elevations  
Scale 1/8" = 1'-0"



SECTION 4



SECTION 5

View Looking East -



Site Perspectives - From Samaniego Ave (with trees and without trees)  
3D images for scale only and do not represent materiality.



Site Perspectives - view from alley  
 3D images for scale only and do not represent materiality.



Shade Reference & Qualities



Abstraction of Historic Mesquite & Saguaro Rib Ramada at Presidio.

Qualities:

1. Attached at primary structure, spans to columns
2. Material was limited by proportion and scale of what was available. Mesquite y posts and beams and saguaro ribs to span.
3. Shade is not hard, but filtered light.
4. Gives a temporal, organic feel to allow light and air to pass through.



Desired Qualities

1. Attached at primary structure, spans to columns
2. Delicate, refined, light and airy
3. Shade is not hard, but filtered light.
4. Gives a temporal, organic feel to allow light and air to pass through.
5. Flexibility during the seasons
6. Minimizing visual impact from street and neighbors



Shade Structure References - Existing Accessory Structures in Alley of DZ.



560 Samaniego Ave, Alley. Accessory Structure, Garage, 12' tall on lot line.



552 Samaniego Ave, Alley. Accessory Structure, converted porch, 10' tall near lot line.



408 W Simpson, Side yard Alley. Accessory Structure, shed, 9 to 11' tall near lot line.

The majority of the accessory structures in the DZ, shade structures, are added on to the houses, and are a hard shade quality. Connected with wood/beam construction, with tile or metal roof and siding, or similar. These constructions are typical of the DZ and Barrio Historico, and historically have been adapted to become additions, sun rooms, or enclosed spaces, adding living and square feet over time.

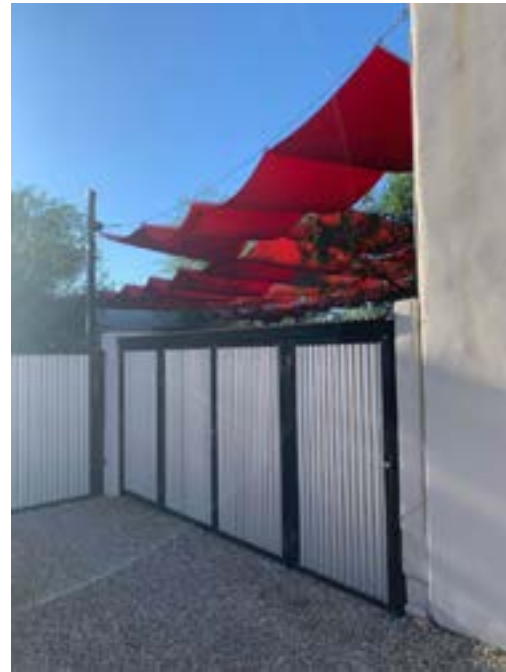
We have studied, and decided to not design the structure out of wood post and beam, and provide hard shade, as we wouldn't want to imply or create an opportunity in the future to be able to enclose the space for habitable use. The hard shade in our instance would provide an imposing feel, especially if it were to be converted in the future.

While our DZ doesn't consist of fabric shade structures that we are proposing, many can be found in the larger Barrio Historico. Accessory structures in our DZ however, have walled in porches, sheds, and garages that meet the property line or within 2' of the side and rear yard lot lines. They reach heights between 9 and 12'.

Shade Structure References - Cloth Shade in Barrio Historico (outside of DZ)



260 W 18th.  
Cable and Shade Cloth



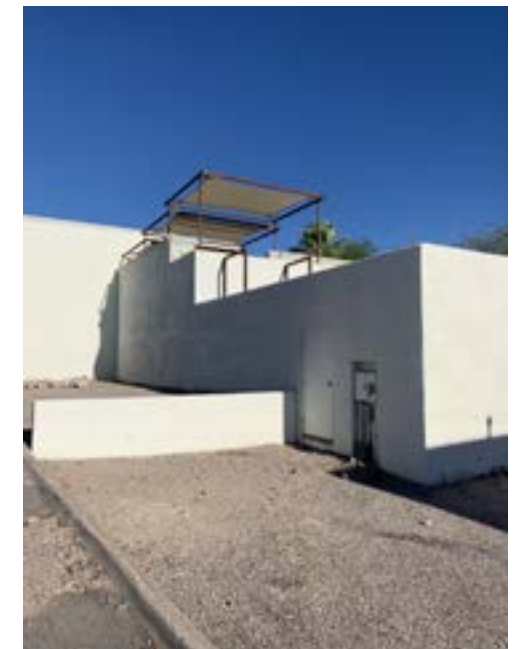
498 S. Convent  
Steel Column and Retractable  
Shade cloth



521 S El Paso  
Cable and Shade Cloth



701 S. Osborne  
Steel Column and Shade Cloth



392 S. Convent  
Steel Column and Shade Cloth

In reference to the existing shade cloth structures in Barrio Historico, we are looking to utilize 3x3 steel columns and shade cloth material that retracts for flexibility, maximizing outdoor lifestyle, and allowing seasonal sun to enter outdoor and indoor spaces.

**LETTER OF SUPPORT  
ADJACENT OWNER SETBACK WAIVER**

Owner: Peter and Kara Fuhrman

Property Address: 400 W Simpson Street  
(Elysian Grove Market)

Scope of Work: Yard renovations that include the following below

- 1) Southeast shade structure for carport on the property line
- 2) An 8' foot tall wall that will enclose mechanical storage and courtyard wall

To be completed by Adjacent Neighbor

I, Karl Freeman (Printed Name), am the legal owner of the property

located at 420 S Samaniego (Address - number and street)

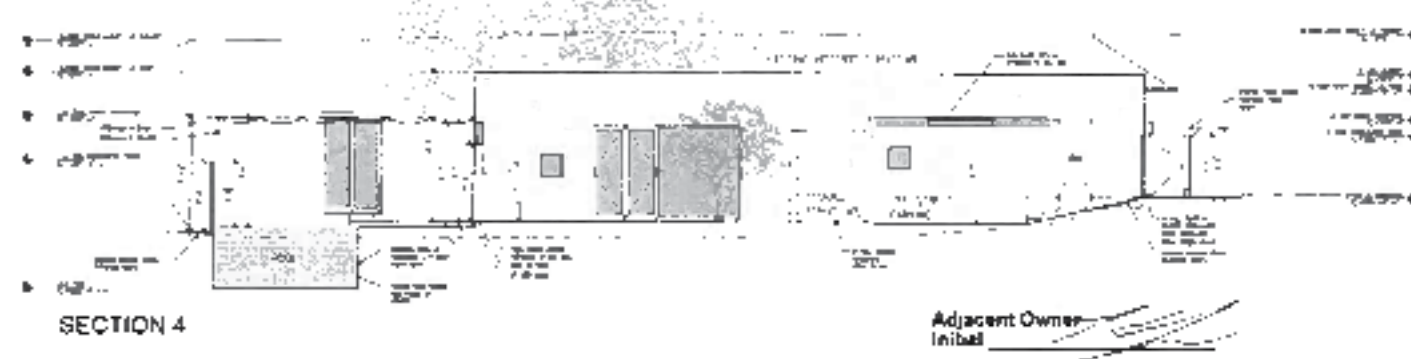
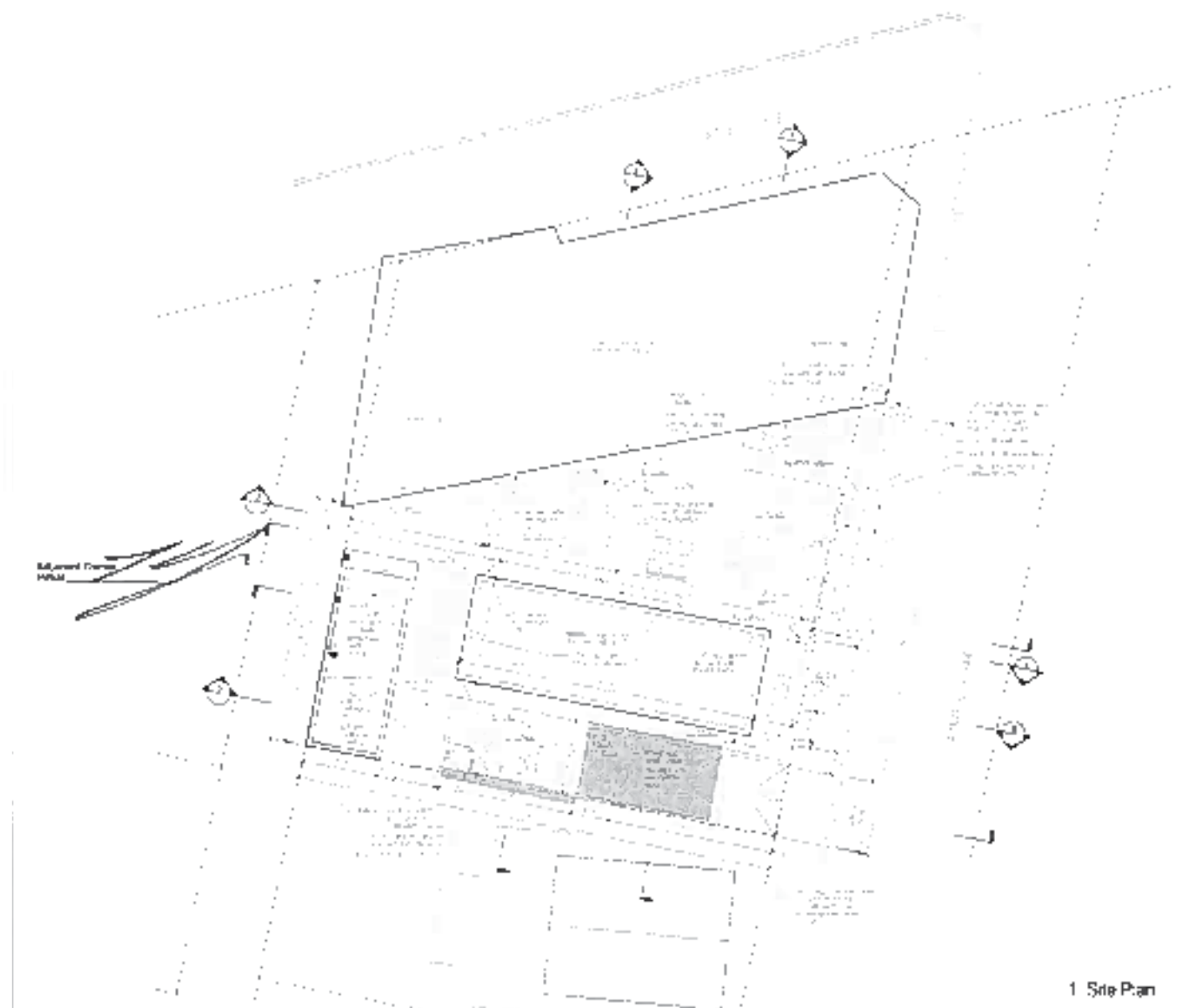
which is an adjacent property (including across the alley) to the property address. I have reviewed the site plan and have no objection to the accessory structures that will be constructed 0' feet from the property line on the site plan, no taller than 10' feet for the shade structure and 8' feet for the solid wall as shown on the site plan.

Tucson UDC 6.6.2 D - An accessory structure, except for an accessory dwelling unit, that exceeds the allowable height of a wall within a perimeter yard and is detached from a principal structure shall comply with the perimeter yard width standards of the principal structure, except that the accessory structure may be built to a parcel line with the consent of the adjoining or, when separated by an alley, adjacent property owner(s) or as permitted by Section 6.6.5, *Urban Agriculture Uses and Activities*.

(NOTE THAT NEIGHBORS ARE UNDER NO OBLIGATION TO SIGN)

Signature: \_\_\_\_\_

Date: 9-28-22



**LETTER OF SUPPORT  
ADJACENT OWNER SETBACK WAIVER**

Owner: Peter and Kara Fuhrman

Property Address: 400 W Simpson Street  
(Elysian Grove Market)

Scope of Work: Yard renovations that include the following below.

- 1) Southeast shade structure for carport on the property line
- 2) An 8' foot tall wall that will enclose mechanical storage and courtyard wall

To be completed by Adjacent Neighbor

I, JAMES MÖKLER (Printed Name), am the legal owner of the property

located at 408 W SIMPSON ST (Address - number and street)

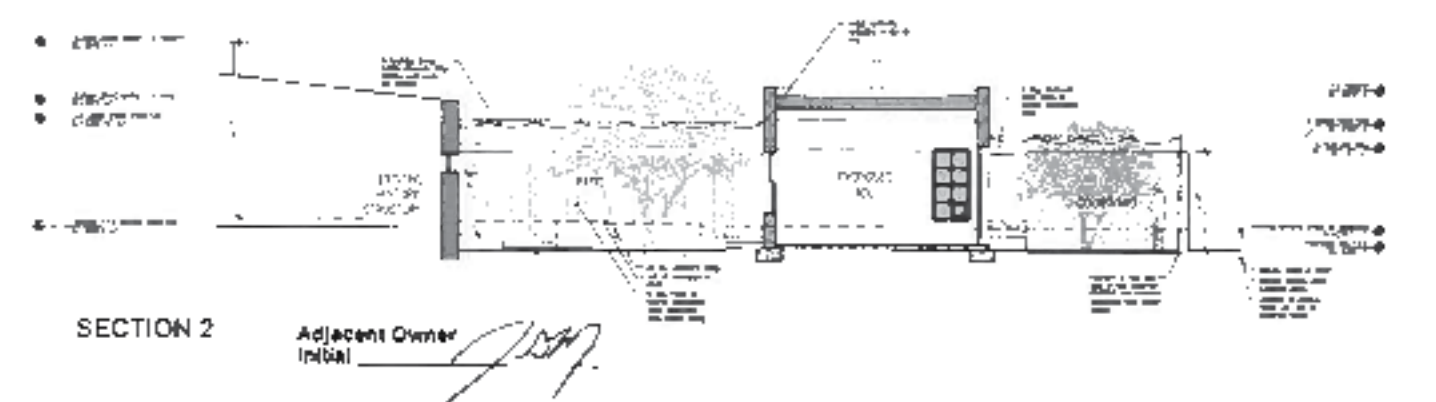
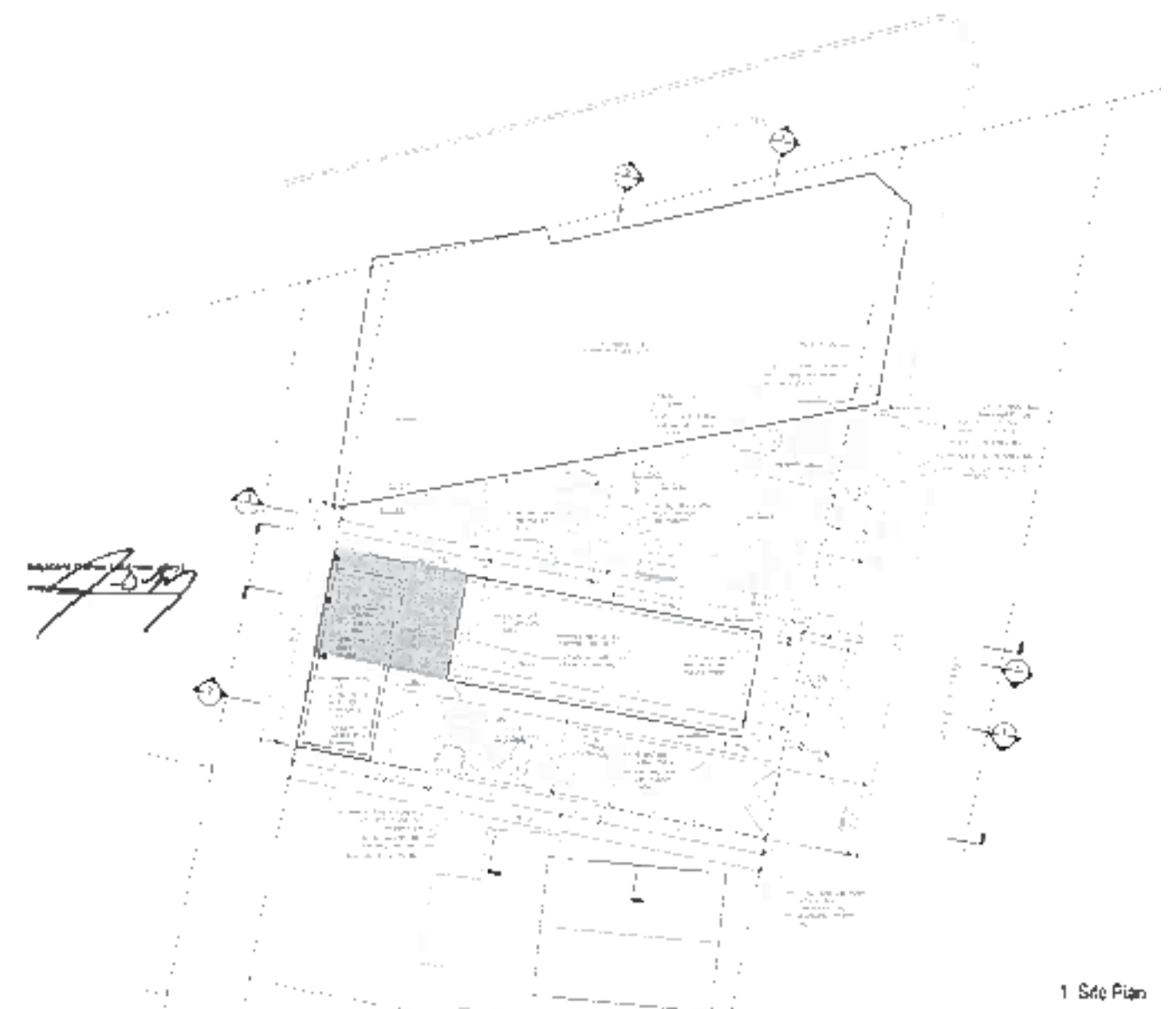
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(NOTE THAT NEIGHBORS ARE UNDER NO OBLIGATION TO SIGN)

Signature: *J. Mökler*

Date: 09/28/2022



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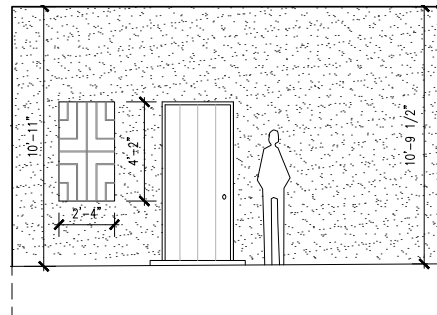
**Proposed ADU Elevations**

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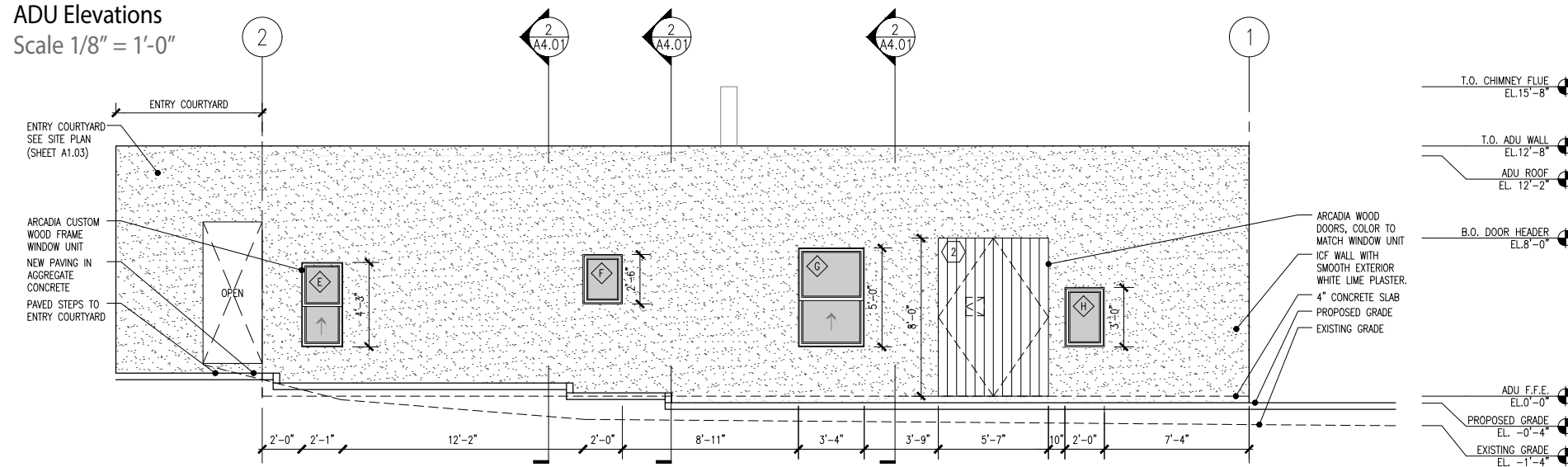
Existing Site Conditions - Photos & Drawings



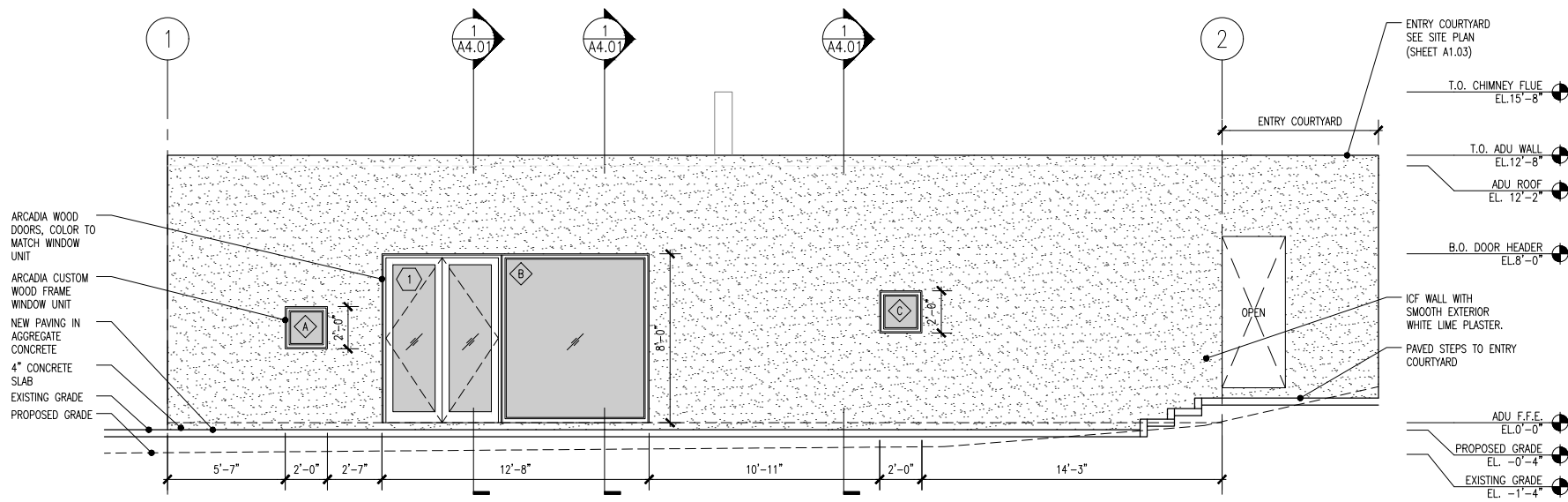
ADU Elevations  
Scale 1/8" = 1'-0"



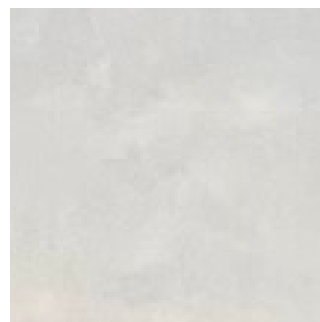
S SAMANIEGO AVE ELEVATION



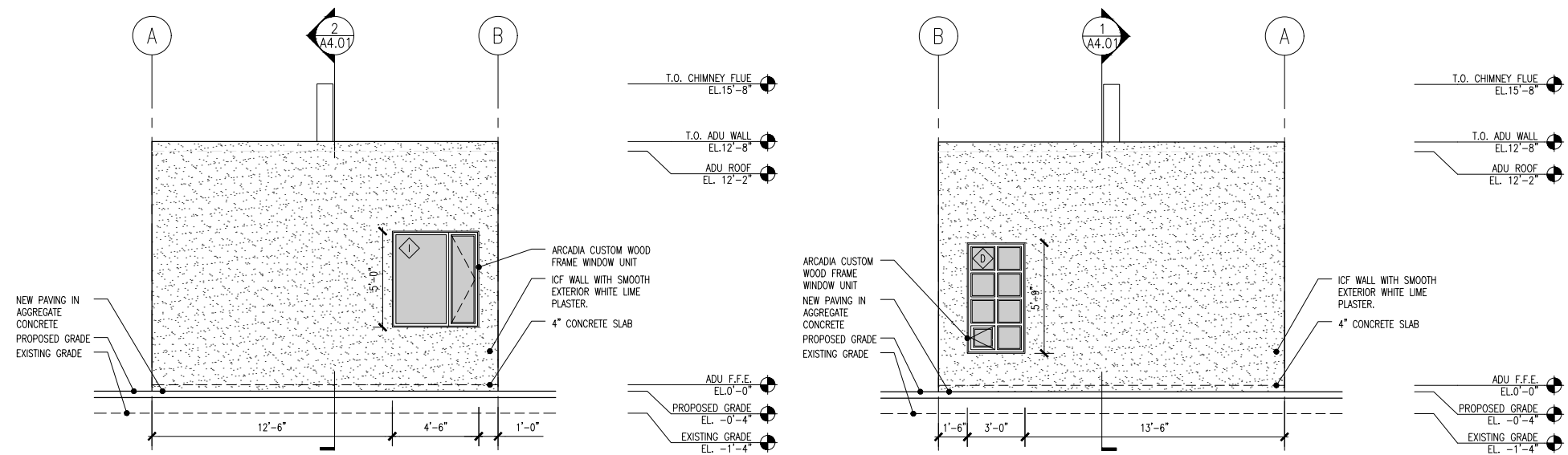
NORTH ELEVATION



SOUTH ELEVATION



New ADU walls to have a smooth white lime plaster finish.



WEST ELEVATION

EAST ELEVATION

5

## Existing Site Conditions - Photos & Drawings



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6

Photographs of Existing Building Elevations

- 1. Photo looking East
- 2. Photo looking Northeast Corner
- 3. Photo looking South
- 4. Photo looking West
- 5. Photo looking North 1/2
- 6. Photo looking North 2/2



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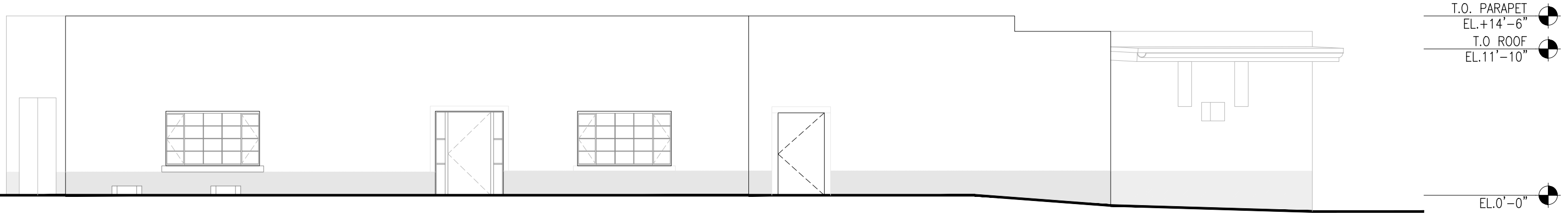


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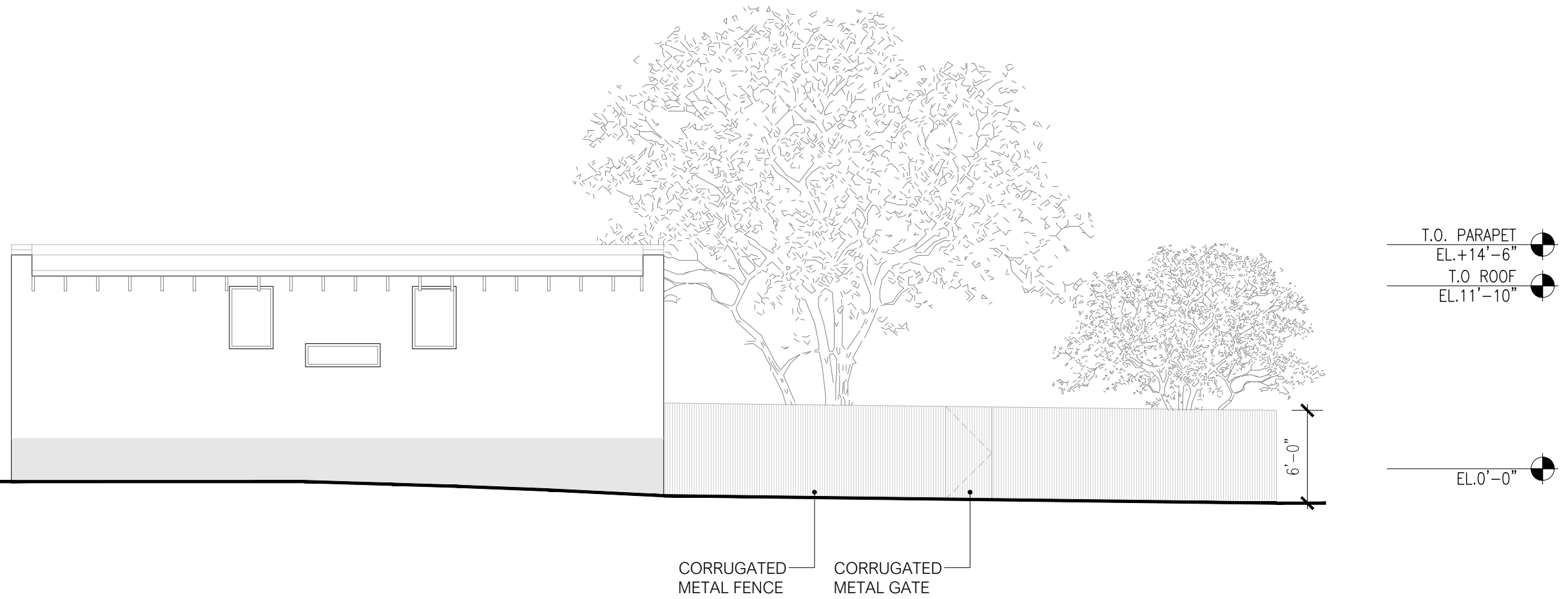
Existing Site Conditions

- 1. Photo looking South-west
- 2. Photo looking East
- 3. Southeast Fence Corner
- 4. Off-site Parking
- 5. W Fence Condition Closeup
- 6. Photo looking South
- 7. Yard Stairs and Platform
- 8. Photo looking Southeast

Existing Elysian Grove Elevations, Primary Structure



Above - North Elevation  
Below - West Elevation

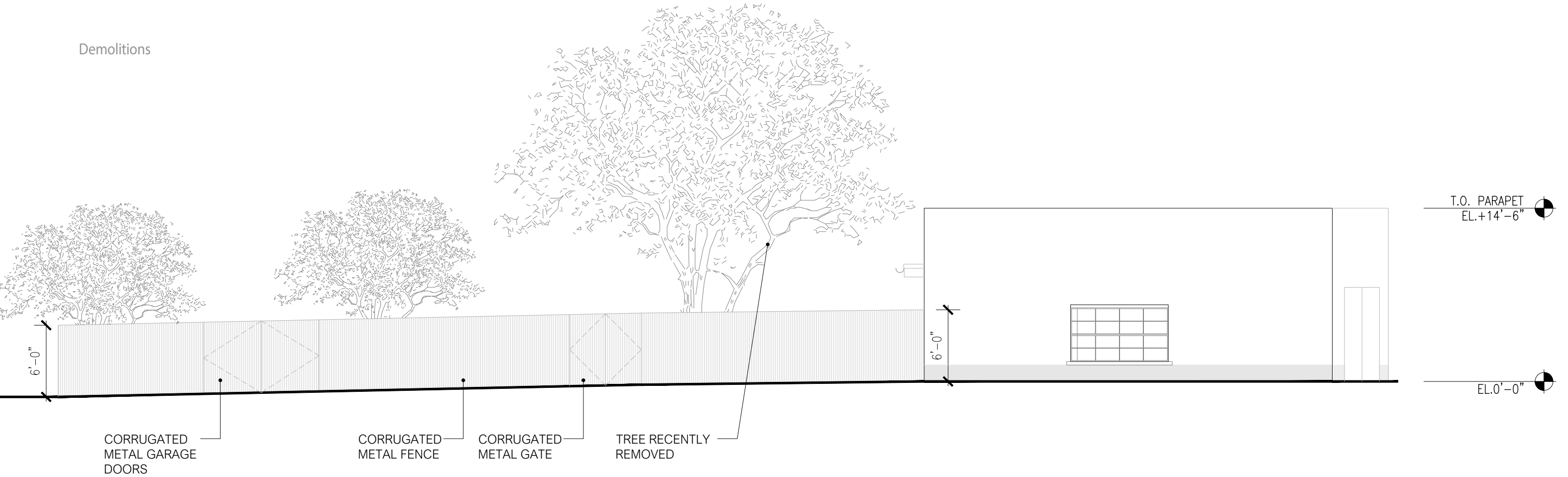


Survey- Elevations



Above - South Elevation  
Below - East Elevation

Demolitions



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