

Casita Rosa ADU at 514 W 17th St
BHHZAB Review
May 2025

Project Description

This project for review is the construction of new detached Accessory Dwelling Unit on a lot with a Contributing Structure of the Barrio Historico Historic Zone.

Variance Requests

A variance is requested from Tucson UDC 6.6.3.C to build this detached ADU between the principal building and front street lot line. Unlike most contributing structures in the development zone, the principal dwelling was built with a zero back yard setback, making the front yard the only buildable area for accessory structures. Confirm that the principal structure will retain contributing status with a detached ADU in the front yard.

Dependant on the BHHZAB’s evaluation, a variance or DDO may be needed from Tucson UDC 6.6.2.I to build a wall in the perimeter yard higher than six feet, in order for the ADU to be more historically compatible in mass, proportion, and rhythm with the neighboring contributing structures with similar setbacks.

Design Narrative

This detached ADU continues the line of zero front yard setback dwellings along 17th Street built in the more cost-effective, eclectic neighborhood character of Barrio El Hoyo. Each facet of the design draws precedent from neighboring structures along 17th and Carrillo St with regards to proportion, mass, size, exterior finish, exterior color, opening arrangement, window type, window mullion pattern, roof type, roof drainage, and landscaping.



Development Zone

Tucson UDC 11.4.5 Definitions - D

“Where the subject lot is located adjacent to a historic zone boundary , the development zone includes that lot, all lots located within the same block , and those lots facing the same street as the subject lot within one block in either direction, except such portions of the zone that fall outside the boundary of the HPZ, NPZ, or the RNA.”

The Development Zone for this subject lot is the block of structures bounded by West 17th Street, South Samaniego Avenue, and West Carrillo Street. The block contains 17 contributing structures, three non-contributing structures, and two empty lots.



Development Zone definition diagram



Barrio El Hoyo National Register Historic District Map with project's Development Zone overlay





STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No. 084 Survey Area Barrio El Hoyo

Historic Name(s)
(Enter the name(s), if any, that best reflects the property's historic importance)

Address 514 W. 17th St.

City or Town Tucson [] vicinity County Pima Tax Parcel No. 117-19-0670

Township 14 S Range 13 E Section 13 Quarters NW¼ SW¼ Acreage <1.0

Block 4 Lot(s) 7 Plat (Addition) Elysian Grove Year of Plat (Addition) 1921

UTM reference: Zone Easting Northing

USGS 7.5' quadrangle map: Tucson 1996

ARCHITECT [x] not determined [] known Source

BUILDER [x] not determined [] known Source

CONSTRUCTION DATE 1923 [x] [] estimated Source county assessor's records known

STRUCTURAL CONDITION

[x] Good (well maintained; no serious problems apparent)

[] Fair (some problems apparent) Describe:

[] Poor (major problems; imminent threat) Describe:

[] Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

single dwelling

Sources county assessor's records, city directories

PHOTO INFORMATION

Date of photo February 2007

View/Direction (looking towards) NNW

Negative No. Roll A4/Frame 26



514 W. 17th St.

SIGNIFICANCE

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes or trends in history by which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation.

Additional sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Describe any historic events/trends associated with the property

The historic context of the property is the development of a suburban barrio in Tucson during the first half of the 20th century, as exemplified in El Hoyo; within this context, the property is associated with the initial phase of development in the neighborhood from ca. 1910 until the Depression.

B. PERSONS List and describe persons with an important association with the building.

None.

C. ARCHITECTURE. Style Sonoran Tradition [] no style

Stories 1 [] Basement Roof form hipped

Describe other character-defining features of its massing, size, scale

The dwelling consists of a compact block with an integral porch on the corner and a rear wing; it is modest in size and scale, like its like its neighbors.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION. [x] Original site [] Moved: date original site

DESIGN. Describe alterations from the original design, including dates

None.

MATERIALS. Describe the materials used in the following elements of the property.

Walls (structure) adobe brick Walls (sheathing) stucco
Windows wood Describe window structure double-hung sash
Roof standing seam metal Foundation stone masonry and concrete

SETTING. Describe the natural and/or built environment around the property

The dwelling is located in the rear half of the lot, down slope from street grade.

How has the environment changed since the property was constructed?

No significant changes.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction

The dwelling's construction, using traditional, inexpensive materials, is typical of the neighborhood.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

[] Individually listed; [] Contributor [] Noncontributor to Historic District
Date listed: [] Determined eligible by Keeper of National Register (date)

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property [] is [x] is not eligible individually.

Property [x] is [] is not eligible as a contributor to a listed or potential historic district.

[] More information needed to evaluate.

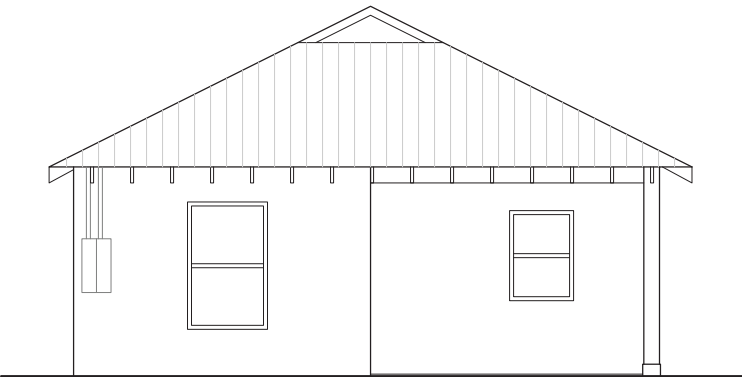
If not considered eligible, state reason:

FORM COMPLETED BY

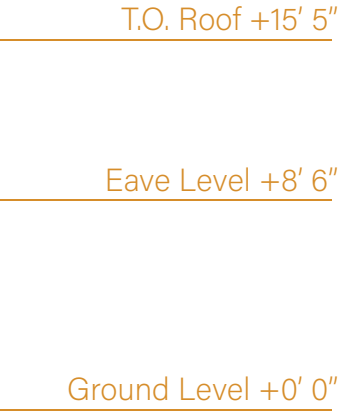
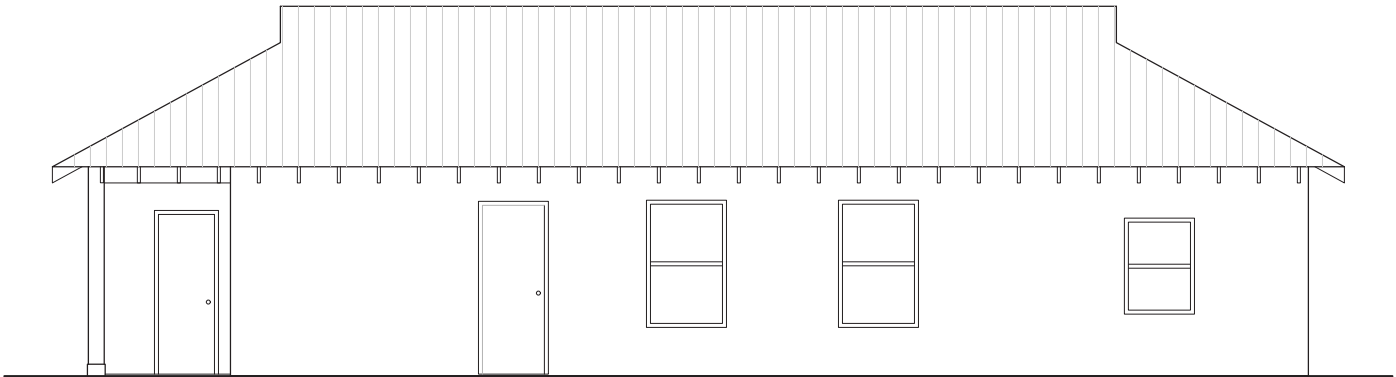
Name and Affiliation: Morgan Rieder, Historical Architect, William Self Associates, Inc.

Date: 04/03/07

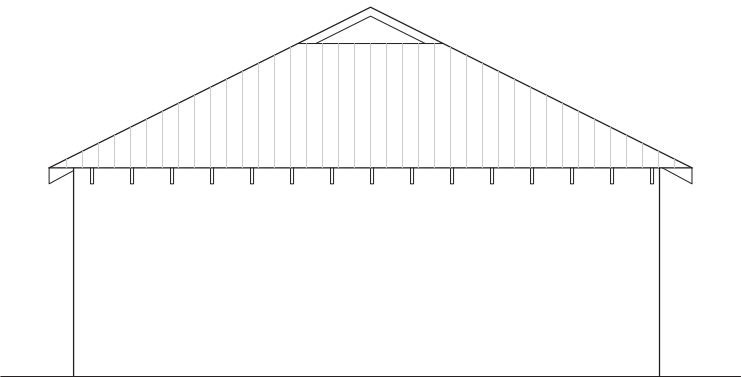
south (front) elevation



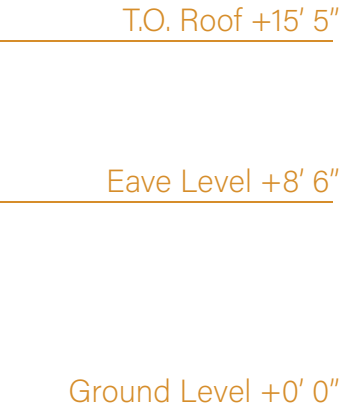
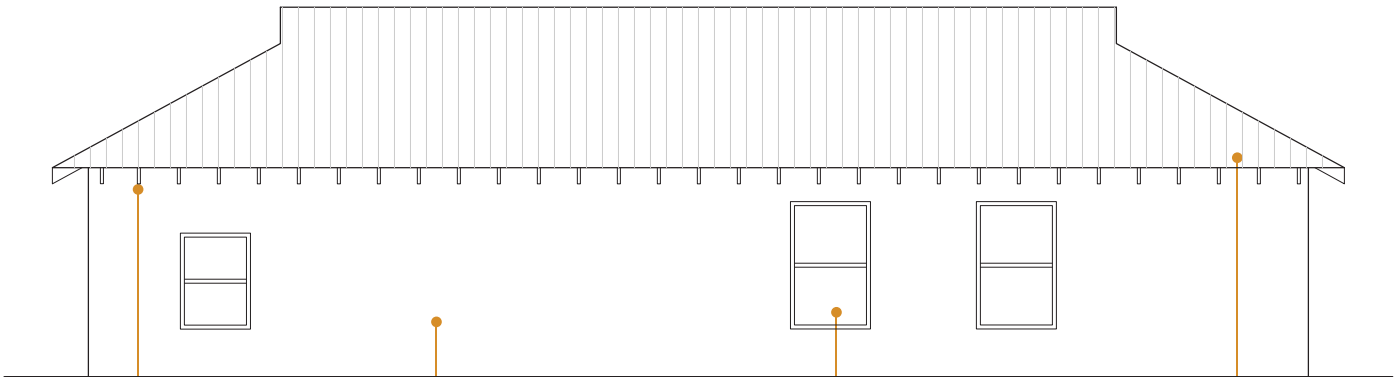
east elevation



north elevation

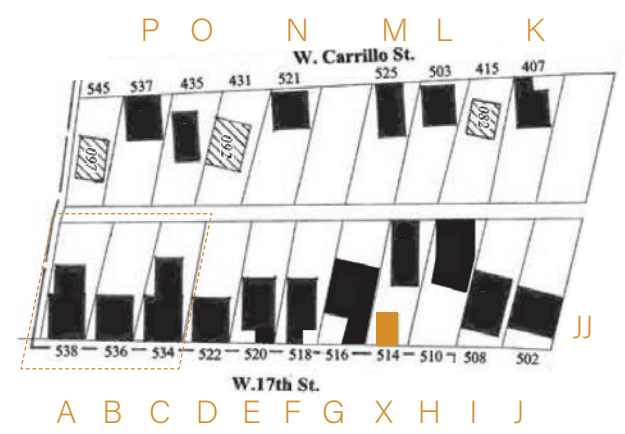


west elevation



- wood gable ends, painted white
- pink stucco smooth finish, typical
- wood double hung window painted white, typical
- standing seam metal roof





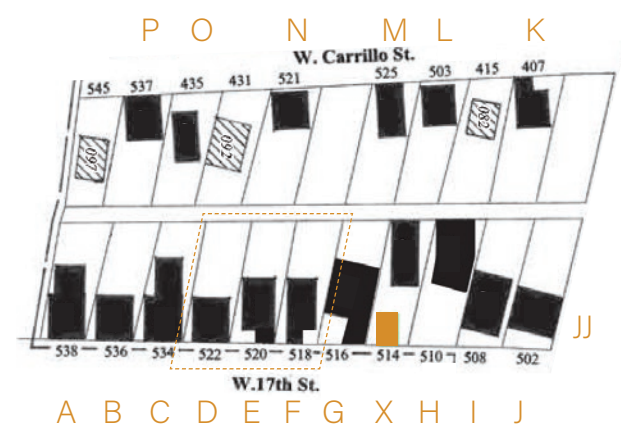
A: 538 W 17th St



B: 536 W 17th St



C: 534 W 17th St
*Window material precedent
*Window mullion precedent



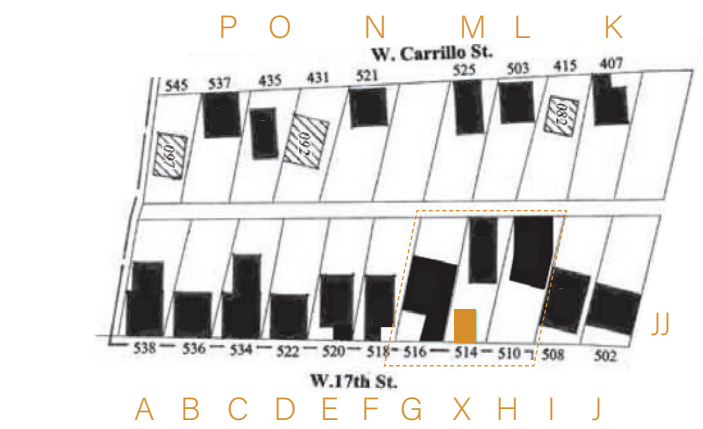
D: 522 W 17th St



E: 520 W 17th St
*Opening placement precedent
*Window proportion precedent
*Proportion of front facade precedent
*Parapet roof precedent



F: 518 W 17th St
*Opening placement precedent
*Proportion of front facade precedent
*Parapet roof precedent



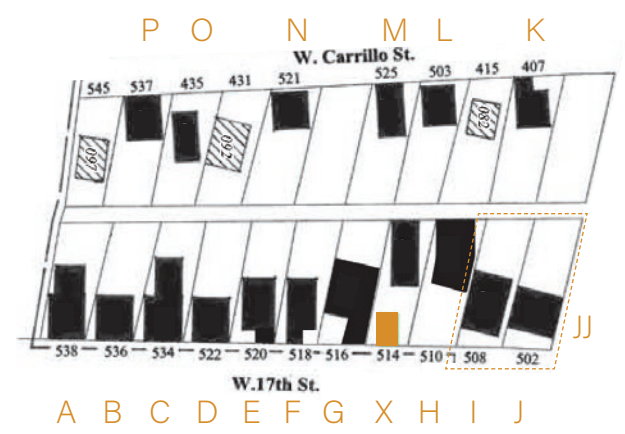
G: 516 W 17th St
*Window proportion precedent
*Parapet roof precedent
*Relationship to topography precedent
*Roof drainage precedent



X: 514 W 17th St
*Opening placement precedent



H: 510 W 17th St



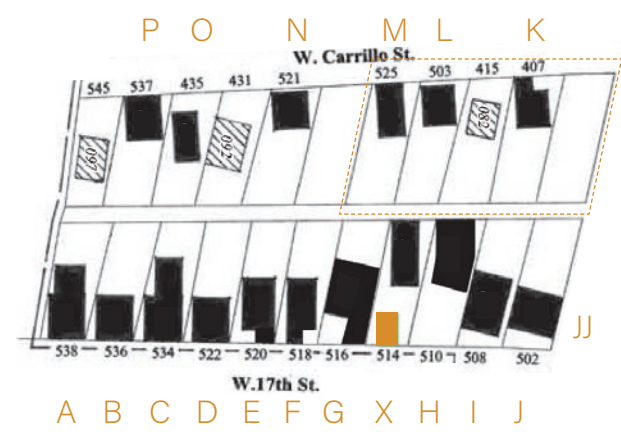
I: 508 W 17th St



J: 502 W 17th St



JJ: 502 W 17th St - Side
*Relationship to topography precedent



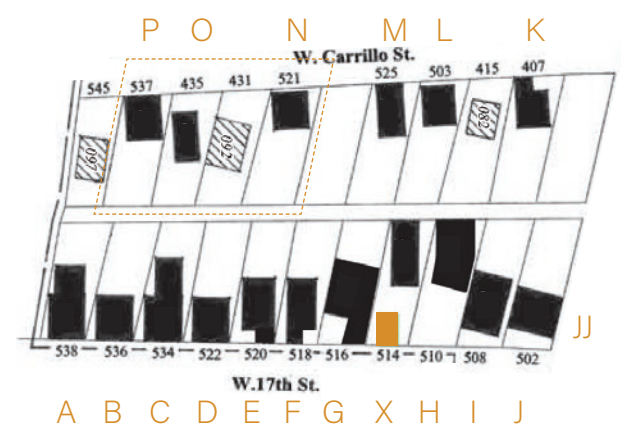
K: 407 W Carrillo St



L: 503 W Carrillo St
*Height precedent



M: 525 W Carrillo St



N: 521 W Carrillo St



O: 435 W Carrillo St



P: 537 W Carrillo St

ADU Location and Variance Request

Tucson UDC 6.6.3.C:

“Detached accessory buildings, including accessory dwelling units, are not permitted in the buildable area extending the full width of the lot between the principal building and the front street lot line”

Variance requested to build this detached ADU between the principal building and front street lot line. This lot has no backyard, so the front yard is the only buildable area for accessory structures.

From the southeast corner of the lot, over 80% of the existing historic structure’s front facade is visible. Along the entire six feet of east side setback, at least 60% of the existing historic structure’s front facade will be visible.

Setback Compatibility

This project follows the prevailing setbacks of contributing structures in its Development Zone.

DZ Prevailing Front Yard Setback: 0’ 0”

Project Front Yard Setback: 0’ 0”

DZ Prevailing Side Yard Setback: Varies (0’ 0” - 8’ 0”)

Project Side Yard Setback: Varies (6’ 0” - 14’ 0”)

Height Compatibility

Tucson UDC 5.8.9.B

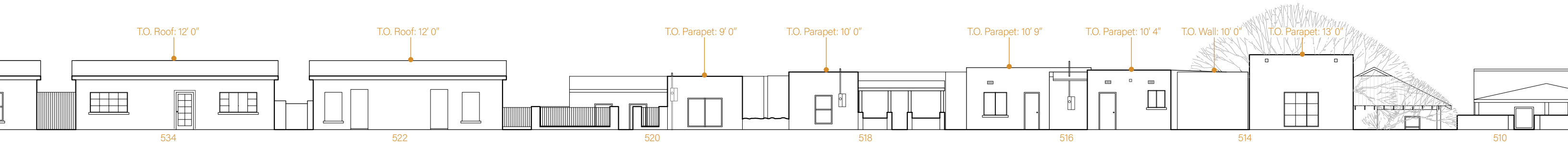
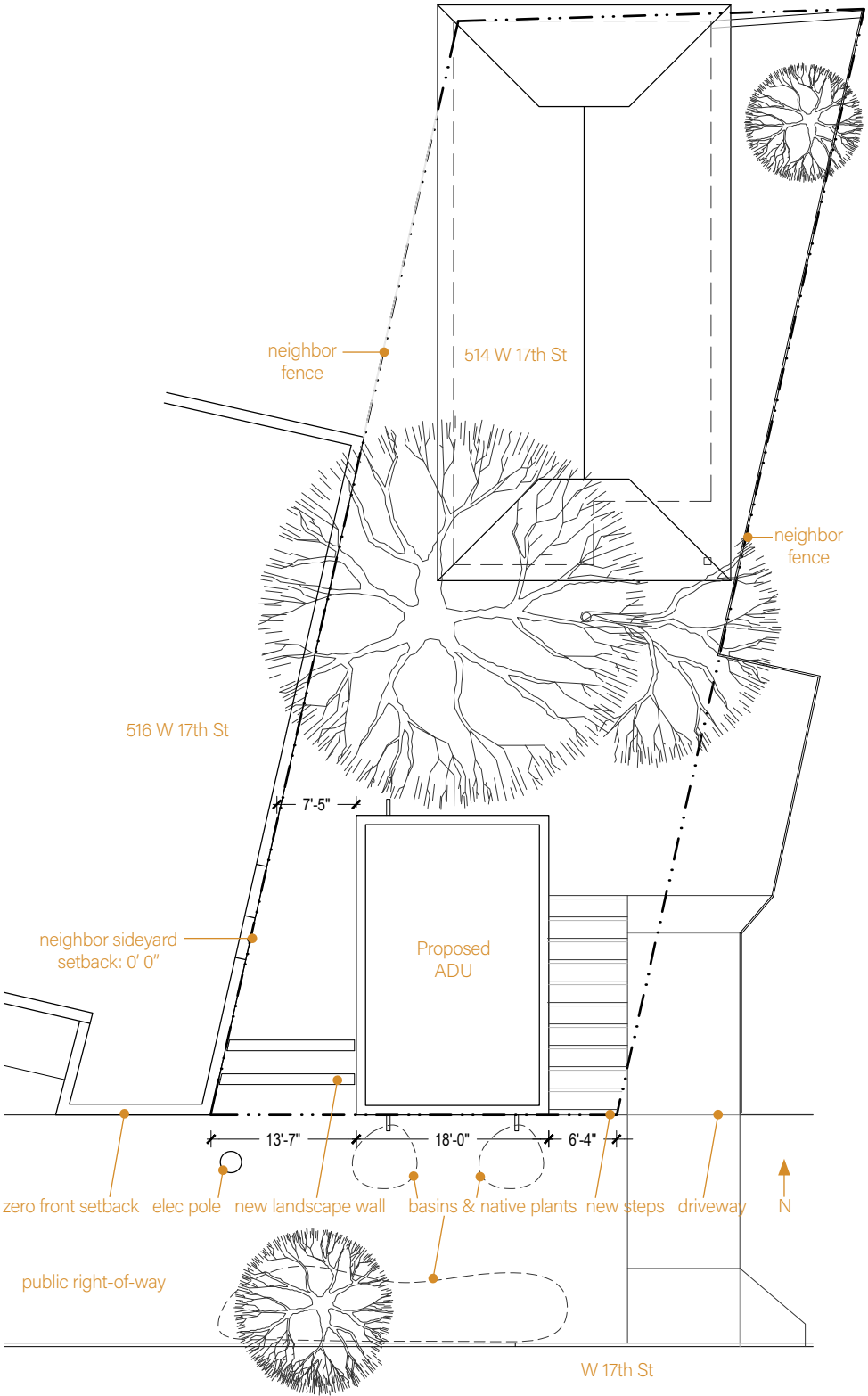
“The height of proposed accessory structures is compared to other accessory structure heights in the development zone, except in the case of Accessory Dwelling Units, where height is compared to the height of other principal structures in the development zone.”

Tucson UDC 6.4.4.A.1 Measurement of HPZ Building Height

“Building height is the vertical distance measured between the highest part of a structure and the finished grade at the midpoint of the front facade of the principal structure, excluding chimneys, mechanical equipment, and other miscellaneous additions.”

The proposed ADU height of 13’ 0” matches the height of an existing contributing structure within its Development Zone at 503 W Carrillo St, and is similar to a general height of 12’ 0” among contributing structures in the development zone, such as at 435 and 537 W Carillo St, as well as 538, 536, 534, and 532 W 17th St.

The entry level of the primary structure has been measured on-site as 4’ 2” lower than current grade at the front lot line. The interior of the lot shall be graded as required to achieve an entry level to the new structure of 4’ 6” lower than grade at the front lot line, with appropriate drainage from the structure.



Landscape Wall and possible DDO or Variance Request

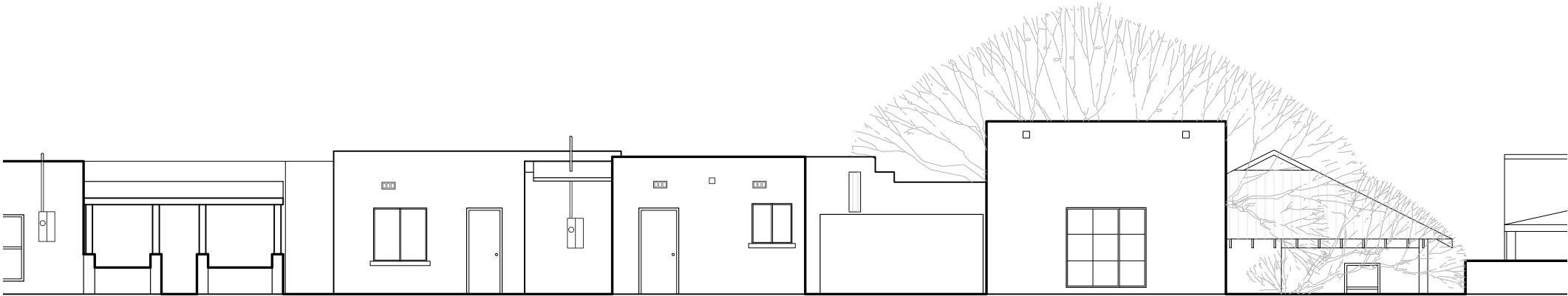
Tucson UDC 6.6.2.I:

“The maximum height of a wall or fence within a perimeter yard shall be six feet; however, the wall or fence may be higher than six feet, but no higher than ten feet, if: . . . ”

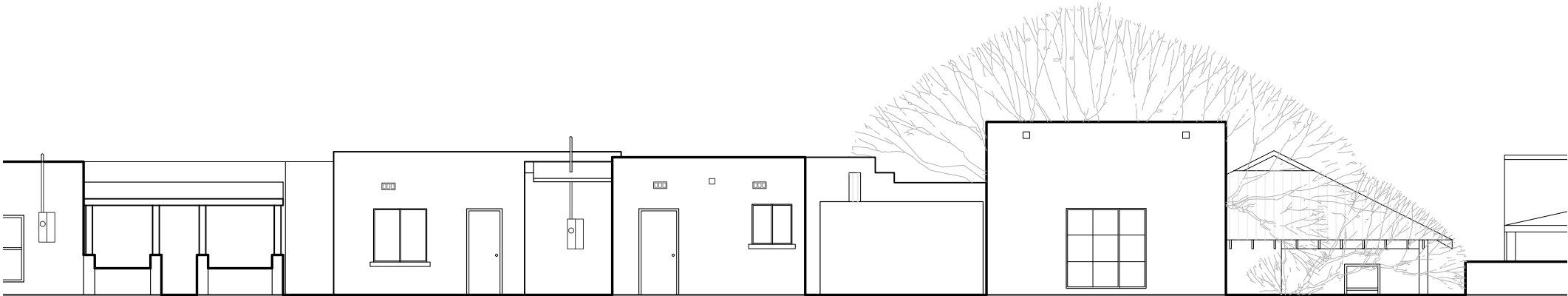
The unique condition of the front yard ADU brings the unique condition of knitting the ADU into the streetscape. Because the ADU has the same front yard setback as its historically contributing western neighbors, it should reference their rhythm, mass, and proportion to be historically compatible. The three adjacent neighbors are all composed as two masses, one at the front yard lot line, and one set back. With the ADU at the front yard lot line, a mass is needed between the ADU and 510 W 17th St, set back and of similar height and proportion to the neighboring masses. A landscape wall is thus proposed. The proposed wall is to be of a height compatible to the neighborhood.

The BHHZAB is to decide which, if any, of the five height options drawn in this presentation are compatible. The 6’ 0” option is acceptable according to code, the 7’ 0” and 8’ 0” option would require a DDO, and the 9’ 0” option, as well as the 10’ 0” drawn on the previous page, would require a variance.

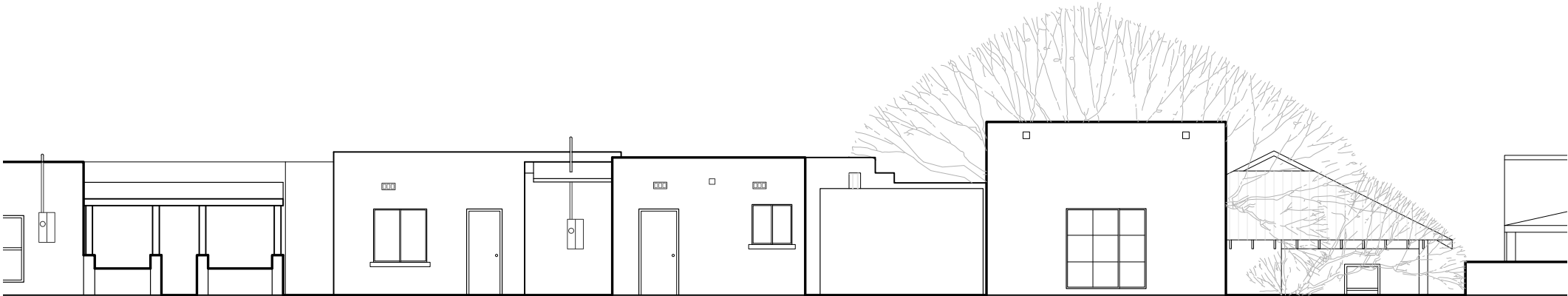
Proposed Height: 8’0” →



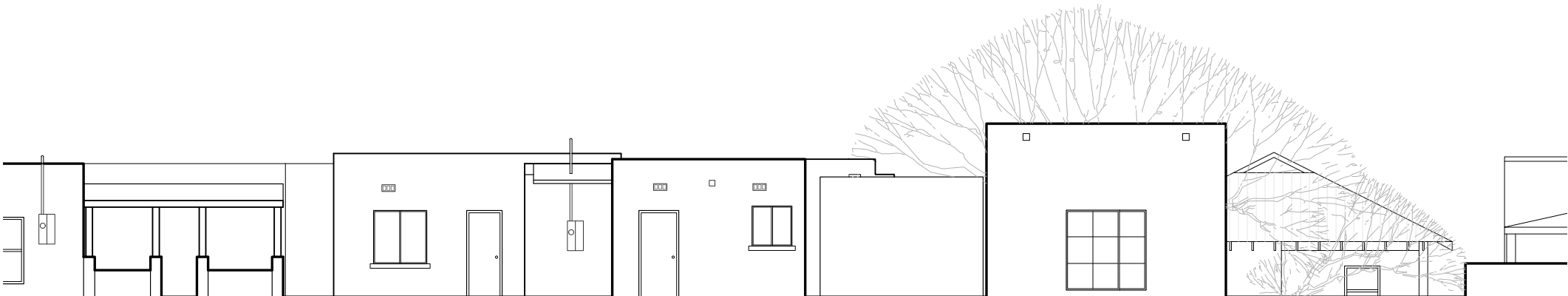
Wall Height 6’ 0”



Wall Height 7’ 0”



Wall Height 8’ 0”



Wall Height 9’ 0”

Exterior Elevations

Rhythm precedents

Proportion of window: 516 W 17th St
520 W 17th St
537 W Carrillo St

Proportion of front facade: 518 W 17th St
520 W 17th St

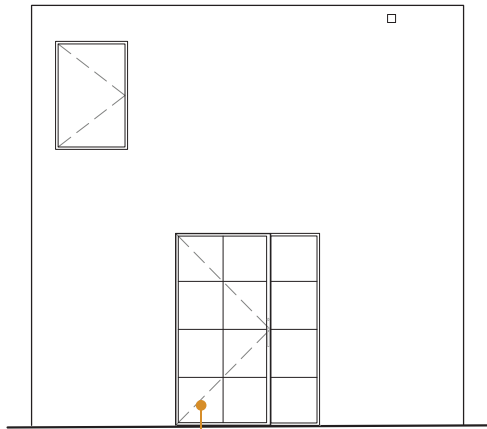
Window placement: 514 W 17th St
518 W 17th St
520 W 17th St

Window Mullions: 534 W 17th St
400 W Simpson St

Window Material: 534 W 17th St
400 W Simpson St

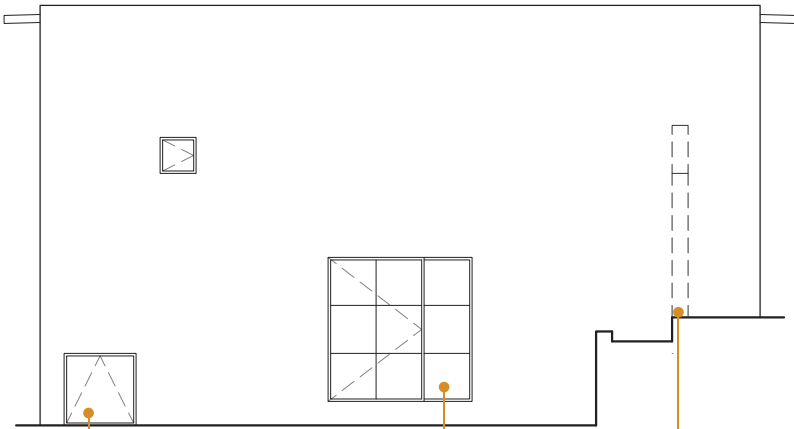
Height: 503 W Carrillo St

north elevation



steel frame glazed door with
sidelight, painted white

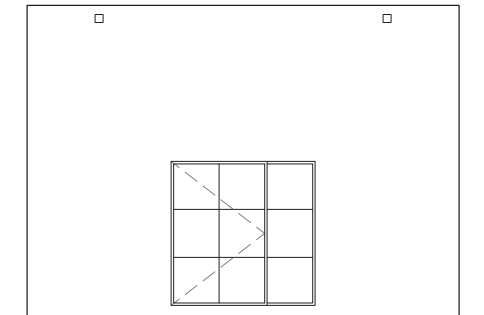
west elevation



steel frame window,
painted white

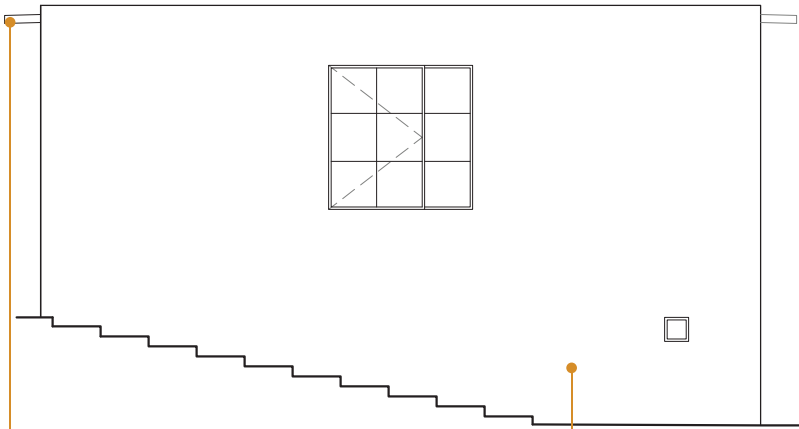
steel casement window
painted white, typical

south (front) elevation



landscape wall, continuous rose stucco
dash finish, height between 6' 0" and
10' 0" as per UDC and BHHZAB's range
of allowed height.

east elevation



square metal canales

rose stucco dash finish from
ground to parapet, typical

T.O. Parapet +13' 0"

Ground Level +0' 0"

Entry Level -4' 6"

0' 1' 2' 3' 7'

Window/Door Material

The project has wide openings spanning more than five feet, that have precedent within the development zone at 520 and 534 W 17th St [1], as well as one of El Hoyo’s landmark buildings at 400 W Simpson St [2,3]. These openings are infilled with steel casement windows. The front door will also be designed in the style of a steel casement window. Steel casement windows for this project will be one way to distinguish the new ADU from the contributing principal dwelling, and will be made by Doug Thompson, a Tucsonense blacksmith who has crafted steel casement windows for the City of Tucson that comply with historic guidelines and accommodate double-paned glazing [4].

Window/Door Mullions

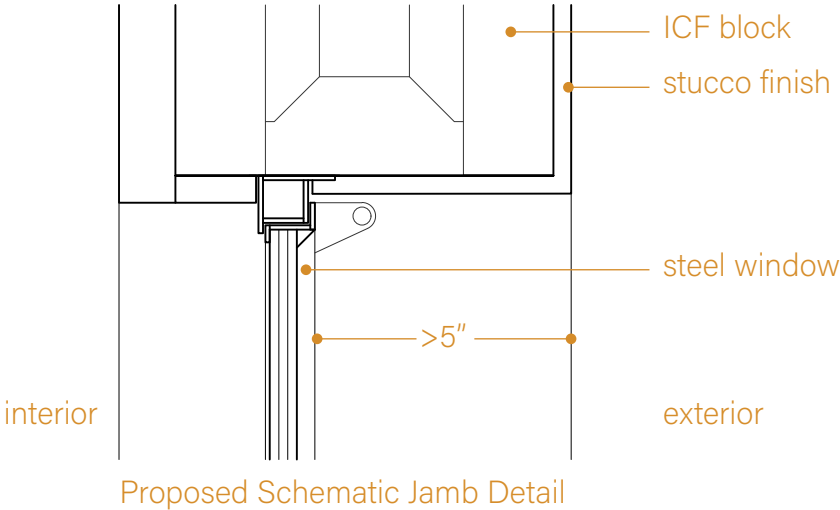
The gridded mullion pattern the elevations show will be similar to and distinct from the precedent historic windows.

Window/Door Finish

The steel frame will be painted, as seen at 534 W 17th and 400 W Simpson [1, 2]. Color to be white, similar to the principal dwelling.

Window/Door Installed Depth

Average development zone depth of window from front facade is 5” [1]. Proposed detail achieves compatible depth.



[1] 534 W 17th - window depth detail

[2] 400 W Simpson - casement detail



[3] 400 W Simpson - hinge & exterior seal



[4] Doug Thompson - hinge & exterior seal

Exterior Texture

The principal dwelling has a smooth stucco finish [1]. The proposed ADU will have a stucco texture similar to and distinct from the principal dwelling and the adjacent contributing structure at 516 W 17th St [2]. The new landscape wall's stucco texture will match the ADU.

Exterior Color

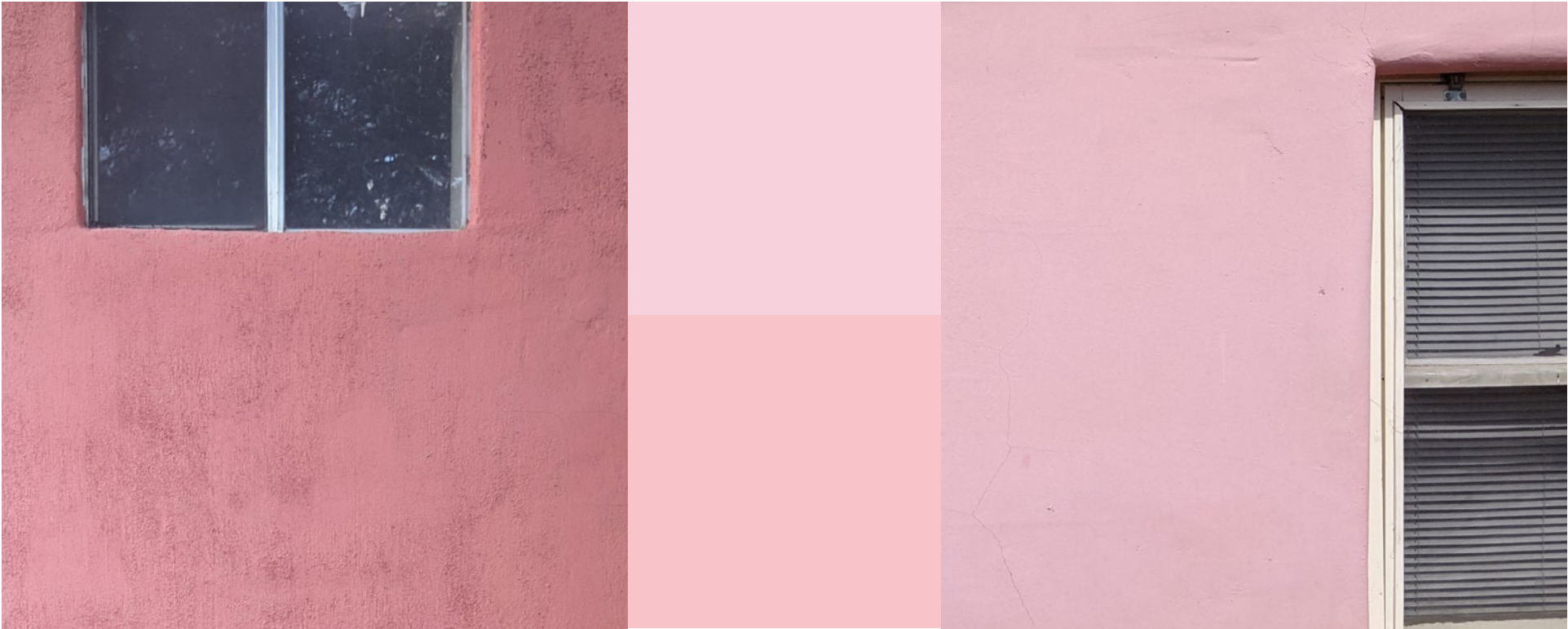
The principal dwelling's stucco is colored pink [1]. The proposed ADU will have a rose color similar to and distinct from the principal dwelling [3]. The new landscape wall will have a rose color similar to and distinct from the principal dwelling and ADU [3].

Topography

The exterior stucco will cover the structure from grade to the parapet, the prevailing strategy in the Development Zone, with 502 and 516 W 17th St [4] having a similar relationship between the structure and topography.

Roof Drains

Canales, which have many precedents in Barrio Viejo, will drain the flat roof into the public right of way between the property line and W 17th St, as well as into the interior of the lot. The preferred canales are square like the canales of the neighbor at 516 W 17th St [5].



[2] 516 W 17th St - Exterior Stucco

[3] Approx. proposed roses

[1] 514 W 17th St - Exterior Stucco



[5] 516 W 17th St - Square Canale



[4] 516 W 17th St - East Facade and Topography



View looking northwest from W 17th St, current (above) and with the proposed ADU (below)

Thank You

Further Design Elaboration

This addendum further elaborates upon design considerations of the project at 514 W 17th St, as requested by the BHHZAB’s motion Aug 11, 2025 to continue the project’s major review.

Site Placement

The location of the project seeks compatibility with the western neighbors’ site utilizations while providing sufficient public visibility of the primary Contributing Structure. The structure and landscape wall of both 518 and 520 W 17th St occupy 30 feet of their front lot line width, while the structure and landscape wall of the proposed project occupy a similar effective width of 31 feet. From an email correspondence with City of Tucson staff, SHPO has confirmed the 6’ 4” width of unoccupied front lot line in the current site plan is sufficient for public view of the Contributing Structure, retaining the lot’s Contributing status.

Height Compatibility

According to the UDC, in an HPZ, "New construction or alterations or additions to a Noncontributing Property shall be constructed no higher than the tallest Contributing Property located within its development zone and shall generally conform to the typical height within the development zone." (5.8.9.B.3) The TSM goes further to say, “Building height compatibility can be accomplished by comparing similar types and styles of buildings.” (9.-02.3.2)

So, the heights of parapet roof Contributing Properties have been measured as follows [Fig 1]:

520 W 17th St:	9' 0"
518 W 17th St:	10' 0"
516 W 17th St:	10' 9"
510 W 17th St:	14' 0"
503 W Carrillo St:	13' 0"
435 W Carrillo St:	12' 0"
537 W Carrillo St:	12' 0"

The development zone contains a variety of heights, so the range of typical height is less clear. The method to determine “typical height” is also less clearly defined. The diagram illustrating height compatibility (UDC Figure 5.8-A) seems to suggest “typical height” can be the range of heights shared by at least half the Contributing Structures. A majority of heights fall within a 12’ 0” to 14’ 0” range, so a building within this height range seems compatible.

As the presiding HPZ, The Barrio Historico stipulates these further evaluations of project height in their current Architectural Guidelines: “New construction should complement surrounding buildings with regard to scale, setback, roof form and detail. . .” and “All new construction or alterations to existing buildings shall be compatible in height and proportion to surrounding and/or existing structures.”

Several of the Board’s comments seem to interpret these guidelines with quite specific criteria. Height compatibility seems restricted to a replication or close similarity to heights of structures on the same street with the same setback and roof type. Here, those structures are 516, 518, and 520 W 17th St. If the Board wishes to pursue this interpretation, there’s a risk of eroding the eclectic nature of Barrio El Hoyo, evident in the variety of building heights, setbacks, and roof forms in the development zone and the neighborhood as a whole. While the neighboring buildings can carry more weight when considering compatibility, and are certainly more referenced in the project proposal’s precedents, other pertinent buildings in the development zone should be kept in the discussion.

Another pertinent guide is Point 9 of the Secretary of Interiors Standards for the Treatment of Historic Properties: “New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”

Following this idea that new construction should be differentiated from historic construction while still compatible, and given that the majority of proposal elements are replicating or very similar to the existing neighbors, a treatment of height that is compatible yet differentiated from its immediate zero-setback neighbors is appropriate. The proposed street facade is the same proportion and 24% larger than the adjacent zero-setback facade at 516 W 17th St, and this facade of 516 is the same proportion and 12% larger than the zero-setback facade of 520 W 17th St. The proposed difference in height between the project (13’0”) and its neighbor 516 W 17th St (10’ 9”), also has a development zone precedent in the height change between 503 W Carrillo St (13’ 0” at street facade) and 525 W Carrillo St (10’ 0” at street facade) [Fig 2].

The following table illustrates the distribution of replicated, very similar, and less similar elements of the project to its neighbors:

Further Design Elaboration, continued

Replicated Elements:

Facade proportion	1.4 ratio, same as 516 and 520 W 17th St
Setback	0’ 0”, same as 516, 518, and 520 W 17th St
Openings Rhythm	One window on zero-setback facade, same as 518 and 520 W 17th St
Openings Placement	Window centered horizontally with low sill, same as 518 and 520 W 17th St
Openings Proportion	Window 1:1 ratio, same as 516 W 17th St (and very similar to 520 W 17th St)
Drainage	Canales, same as immediate neighbors 516 and 510 W 17th St
Landscaping	Native trees & plantings, same as around all structures on W 17th St
Projections/Recessions	No projections or recessions, same as 516 W 17th St
Details	Window depth, stucco cornering, and parapet same as 516 and 520 W 17th St

Very Similar Elements:

Site Utilization	Structure (18’0”) and landscape wall (13’0”) spans 31 feet of front lot line, similar to 518 W 17th’s structure (15’0”) and landscape wall (15’ 0”) spans 30 feet of front lot line.
Color	Rose hue, similar to 516 and 514 W 17th St
Surface Texture	Rough stucco texture, similar to 516 and 514 W 17th St

Less Similar Elements:

Height	Larger height change (2’3”) than the maximum between similar west neighbors (1’9”), precedents in height with remaining parapet structures and in height change from neighbor in development zone.
Enclosures	Landscape wall provides zero-setback presence similar to 4’0” landscape walls at 518 and 520 W 17th St. Height compatibility pending board’s discretion.

Windows and Door

While the majority of window and door elements replicate or are very similar to existing windows and doors, a few give differentiation to the new construction, largely out of public view. Precedent analysis below:

Window Location: For the three large windows, 520 and 518 W 17th St, for which they are low and horizontally centered, and the southeast window of 516 W 17th St, for which it is high and close to the parapet [Fig 3]. The northeast and southeast window of 516 W 17th St serve precedent for the smaller windows except the one at finished floor level, which is a point of differentiation for the new construction. [Fig 3, 4]

Window Material: Metal frames at 534, 516, 502 W 17th St [Fig 5].

Window Mullions: The pane proportion reflects the rough opening proportion, same as 534 W 17th St [Fig 5]. The smaller single pane windows are a point of differentiation of the new construction.

Window Operability: Windows have operable vents, same as all development zone windows.

Door Location: 538, 536, and 534 W 17th St doors are horizontally centered on facade with sill at finished floor elevation [Fig 6].

Door Material: Many development zone doors have metal security doors visible [Fig 7].

Door Mullions: Divided light door at 534 W 17th St. [Fig 6]. The sidelight, found nearby elsewhere in Barrio Historico, is a point of differentiation for the new construction in this development zone.

Conclusion

I look forward to the Board’s motion. If the motion contains conditions, such as for the landscape wall height as previously discussed in the second courtesy meeting, please be as specific as possible, such as including ranges of satisfactory dimensions. Thank you,

Mitch Mackowiak
September 2, 2025

Further Design Elaboration, continued



Fig. 2 ~ 503 and 525 W. Carrillo St height difference



Fig 3 ~ 516 W 17th St southeast window



Fig 4 ~ 516 W 17th St northeast window



Fig 5 ~ 534 W 17th St metal casement window

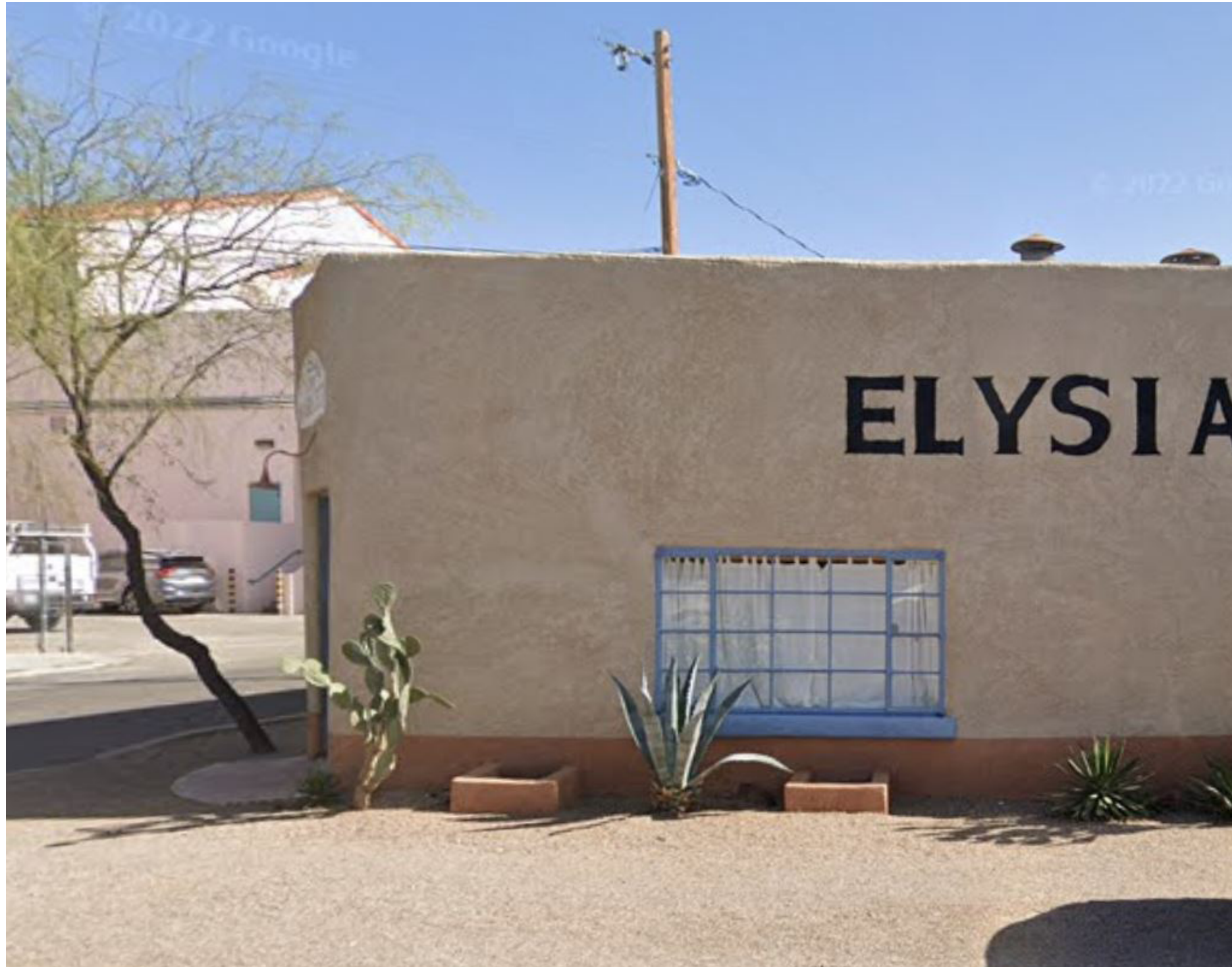


Fig. 6 ~ 534 W 17th St divided light door



Fig. 7 ~ Metal security doors at 516, 534, and 538 W 17th St

Design References Nearby: 400 W Simpson St



Two blocks north of site in Barrio El Hoyo, Three windows of similar scale (6'8" x 4'0") and location.

Design References Nearby: 621 S Main Ave



One blocks east of site, within Barrio Historico. West facade. Similar door with sidelight and window sizes. Right window is 5'6" tall.



North facade. Window roughly five feet square.

Design References Nearby: 427 S Elias Ave



One block north of site in Barrio El Hoyo. Addition (left) is 14' 0" in height, compared to 10' 6" existing height (right). BHHZAB passed addition unanimously 5-0, May 8, 2023.

Design References Nearby: 538 W 17th St

KEYED NOTES

01 SANDED STUCCO FINISH, NATURAL SAND AND WHITE PORTLAND CEMENT.

02 METAL ROOF, > 60 SRI (COOL ROOF)

03 GALVANIZED SEAMLESS GUTTER

04 MINI-SPLIT HVAC HEAT PUMP. SMD.

05 TANKLESS WATER HEATER. SPD.

06 ELECTRICAL SUB-PANEL. SED.

DOOR SCHEDULE

IN-SWING WOOD DOOR

FRAME: DOUGLAS FIR
FINISH: NATURAL WOOD
THREE 4X4
LATCH: SINGLE LEVER

TRANSOM WINDOW
GLAZING: 1" IGU LOW-E
COATING ON LAMINATED

DOUBLE WOOD DOORS

FRAME: DOUGLAS FIR
FINISH: NATURAL WOOD
GLAZING: 1" IGU LOW-E
COATING ON LAMINATED
SAFETY GLASS

HINGE: THREE 4X4 BUTT
MORTISE ON EACH DOOR
LATCH: MORTISED ENTRY

OPENS DIRECTLY INTO
YARD PER IRC-R310

WINDOW SCHEDULE

FIXED WOOD WINDOW BY LOEWEN

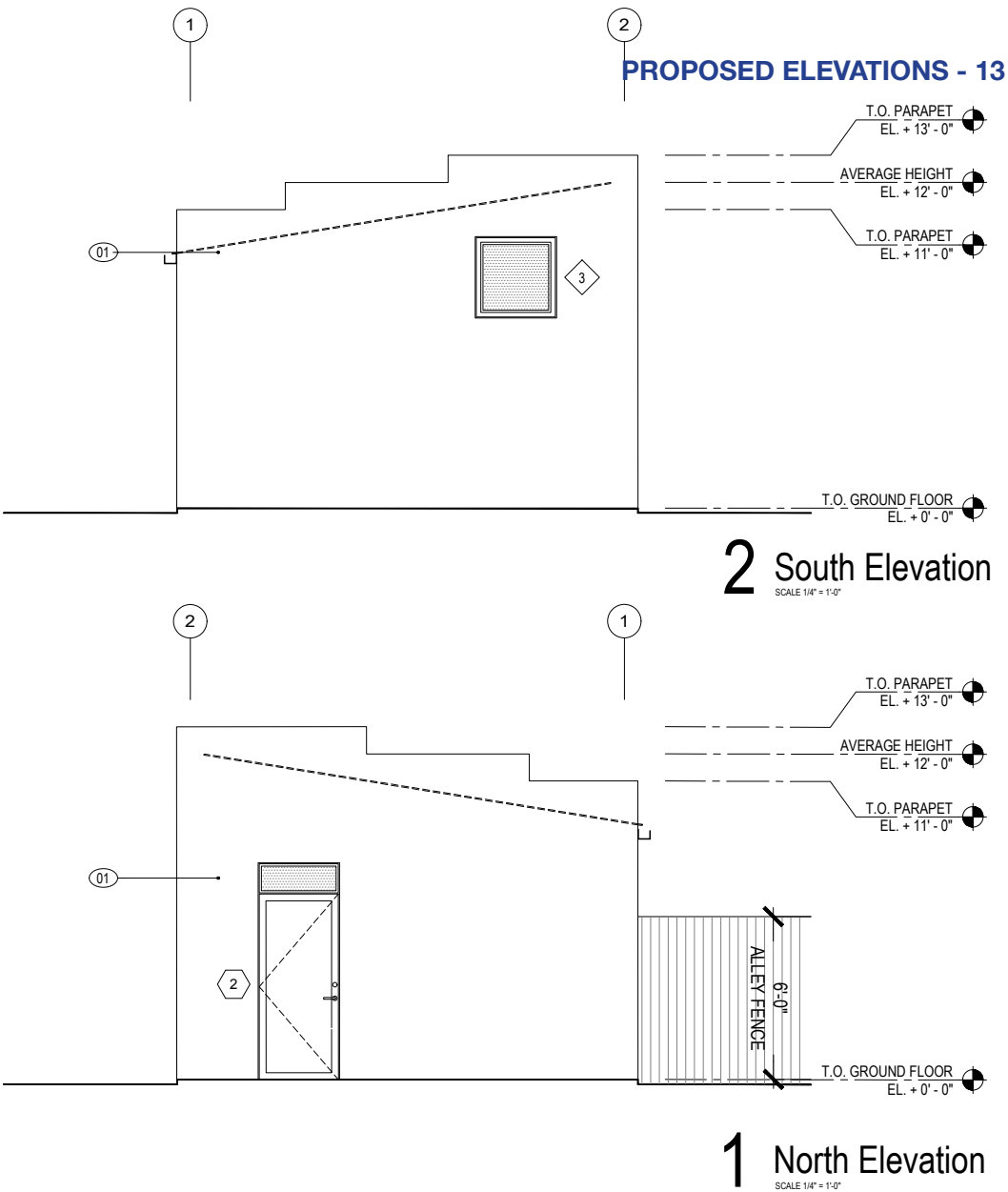
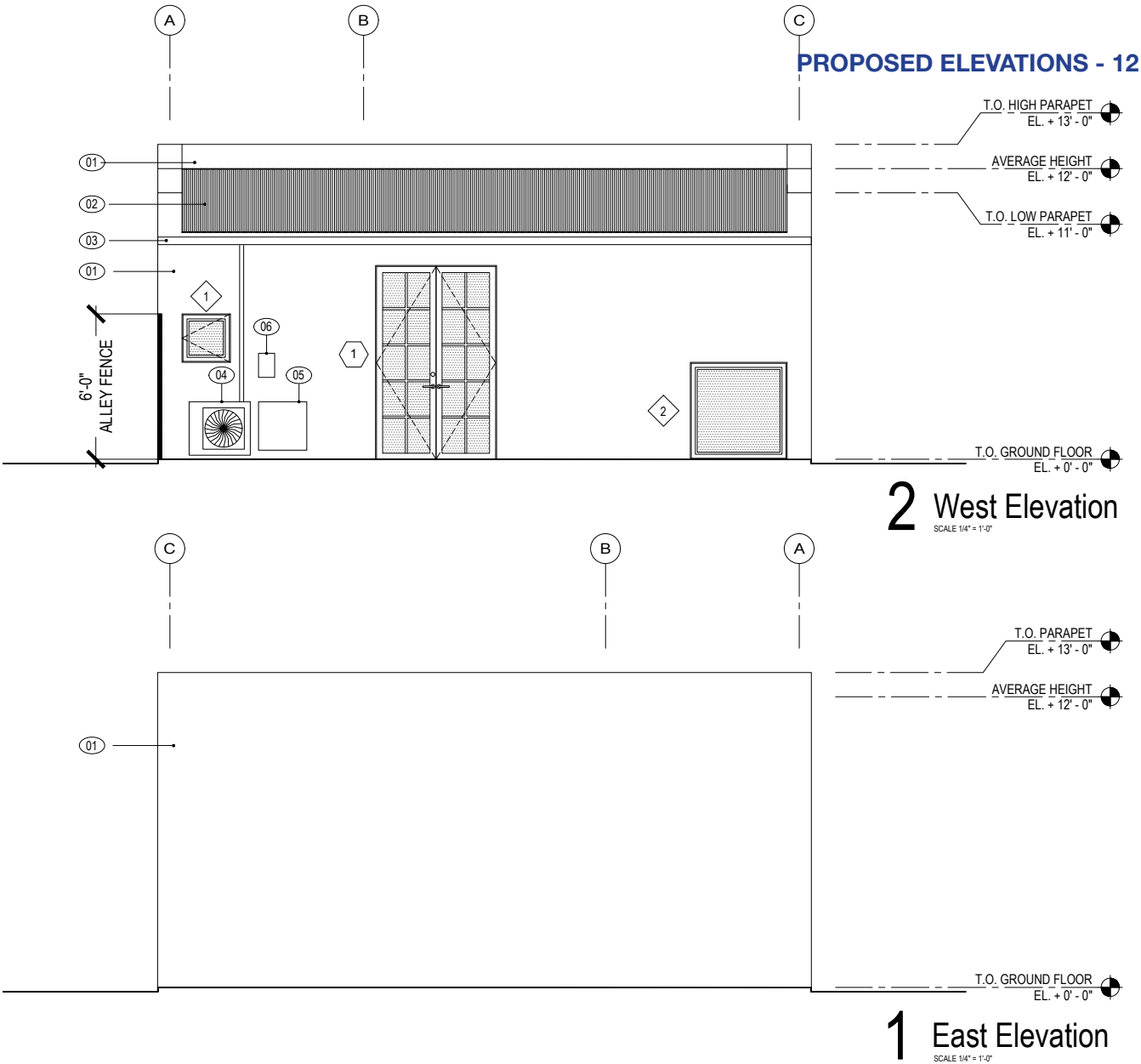
FRAME: DOUGLAS FIR
FINISH: NATURAL WOOD
GLAZING: DOUBLE 366-CLEAR
ALL PANES TEMPERED
3MM GLASS THICKNESS

CASEMENT WOOD WINDOW BY LOEWEN

DOUGLAS FIR
FINISH: NATURAL WOOD
GLAZING: DOUBLE 366-CLEAR
ALL PANES TEMPERED
3MM GLASS THICKNESS

FIXED WOOD WINDOW BY LOEWEN

FRAME: DOUGLAS FIR
FINISH: NATURAL WOOD
GLAZING: DOUBLE 366-CLEAR
ALL PANES TEMPERED
3MM GLASS THICKNESS



Detached ADU in development zone. 13' 0" in height, similar window details and locations. BHHZAB passed unanimously 6-0, Sept 9 2024