



6 JULY, 2022

MGD + HPZ
DESIGN PACKAGE FOR

ILLEGAL PETE'S REFRESH

876 E. UNIVERSITY BLVD
TUCSON, AZ

Rob Paulus Architects robpaulus.com

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APPLICATION



Special Districts Application

Application Stage: Pre-application Application

Permit Activity Number(s): T15SA00073 Case Number(s): MGD-15-01, HPZ-15-01 Date Accepted: 7/18/2022

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): ILLEGAL PETE'S NORTH PATIO IMPROVEMENTS

Property Address: 876 E UNIVERSITY BLVD, TUCSON, AZ 85719

Pima County Tax Parcel Number/s: 124-05-049A

Current Zoning: UHC-1

Applicable Overlay Zone/Special District:

- Grant Road Investment District (GRID) Main Gate District (MGD) Rio Nuevo Area
- Historic Preservation Zone (HPZ) Neighborhood Preservation Zone
- Infill Incentive District (IID) Sunshine Mile District

Neighborhood Association (if any): WEST UNIVERSITY

- PROJECT TYPE (check all that apply):
- New building(s) on vacant land Change of use to existing building/site
 - New addition to existing building New building(s) on developed land
 - Other:

Description of Proposed Land Use: NEW SHADE STRCUTURE AND SEATING AT NORTH PATIO

Number of Buildings and Stories/Height of Proposed Structure(s): TWO(2) NEW SHADES STRUCTURES AT 12' AND 21'

Total Site Area (sq ft): 8,493 Total Gross Floor Area of Proposed Building(s) (sq ft):

HISTORIC STATUS

- Site is within a: Historic Preservation Zone Please List: WEST UNIVERSITY HISTORIC DISTRICT
- National Register District Please List:
- Site is/includes: Contributing structure(s) Non-contributing structure(s)
- Is adjacent to a contributing structure Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Daniel Hutcherson, Rob Paulus Architects

- ROLE: Property owner Architect Engineer Attorney Developer
- Other: _____

EMAIL: ROB@ROBPAULUS.COM PHONE: 520.624.9805

ADDRESS: 990 E 17TH STREET, TUCSON, AZ 85719

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): D&F HOLDINGS LLC

EMAIL: PETE@ILLEGALPETES.COM PHONE: 303.817.9523

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT*

***If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization*

Date: 07.06.2022



240 N Broadway
Denver | CO 80203
www.illegalpetes.com

July 11, 2022,

To who it may concern,

I, Pete Turner, authorize Rob Paulus Architects to submit the MGD and HPZ Special Districts Application for the property at 876 E University Blvd, Tucson, Az, on behalf of Illegal Pete's.

Please let me know if there is something I need to sign or any other way I can help this process.

Best Regards,

Pete Turner
President
Illegal Pete's



7-11-22



PROJECT STATEMENT

PROJECT DESCRIPTION

The 2015 renovation and re-purposing of the 876 University Boulevard building into a new restaurant marks the fourth phase of use for the 1911 structure. Designed initially as a single family residence in the early 1900's, the house then became a boarding home in the 30's, a clothing store in 1959 and is now a restaurant along the thriving Main Gate Square.

With today's new and evolving climate concerning our health and livelyhood, there is a new focus on outdoor dining and entertainment. The idea is to create shade both across the north outdoor dining area along with the upper north terrace with fixed seating in order for the users to feel comfortable in the warm summer months.

The design and approach for the new shade structure is to will preserve the authentic character of the existing building's exterior by creating a thin structure with interior columns so that the structure appears to float along with retractable roman shades that allow full view of the building when the shgade is pulled back. The lower shade would be completely free standing from the building while the upper shade would attached to the builing in a minimal way that does not harm the integrity of the historic building.

A clear demarcation between the historic 1911 structure and the new 2022 design elements are thoughtfully articulated to follow the Secretary of Interior Historic Standards for Historic Rehabilitation. These new elements are differentiated from the old in plan, section, and elevation while allowing the integrity of the existing building to be the prominent architectural feature for the corner site.

The new additions and alterations are designed in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.

HISTORY OF 876 UNIVERSITY BOULEVARD, TUCSON ARIZONA

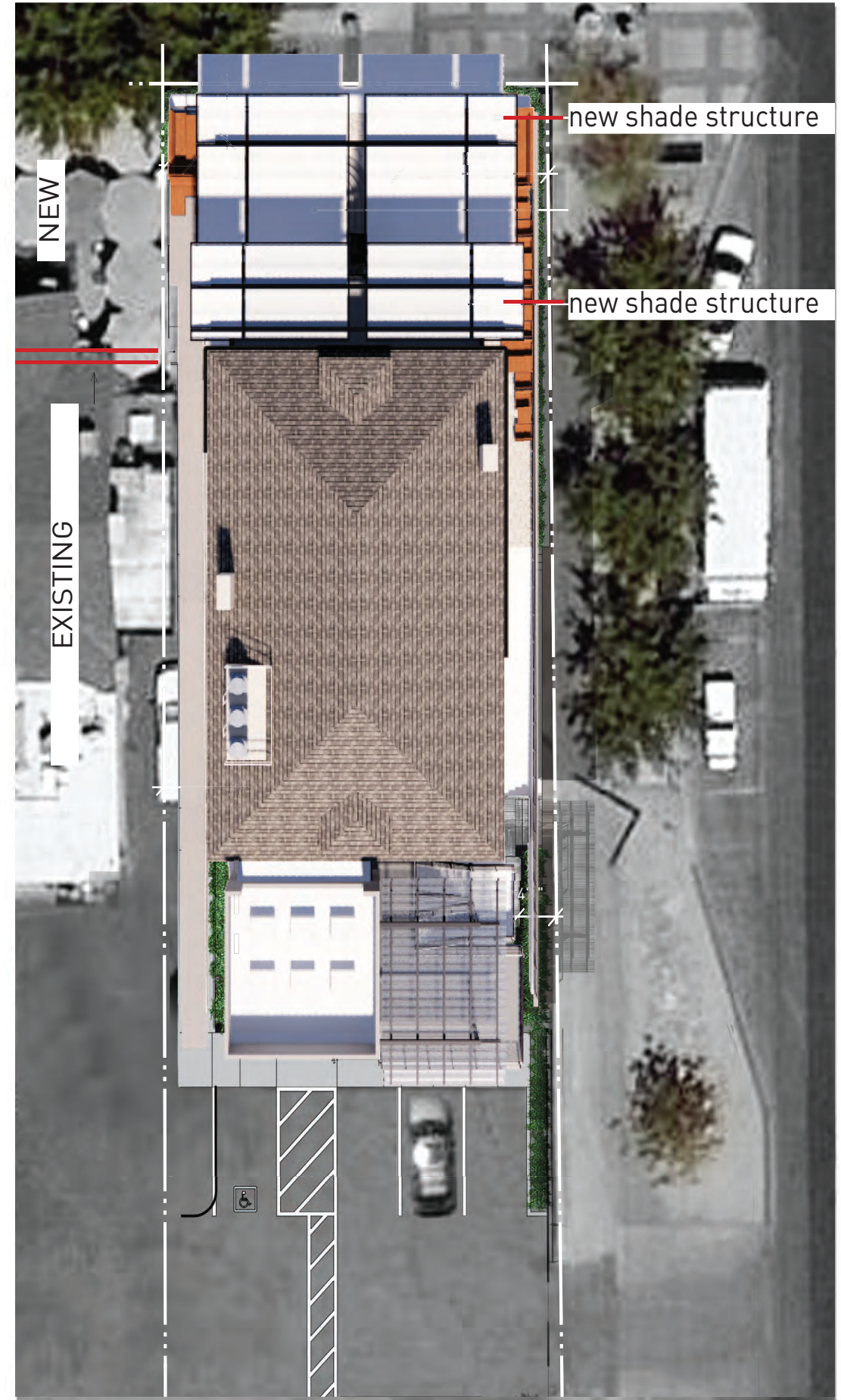
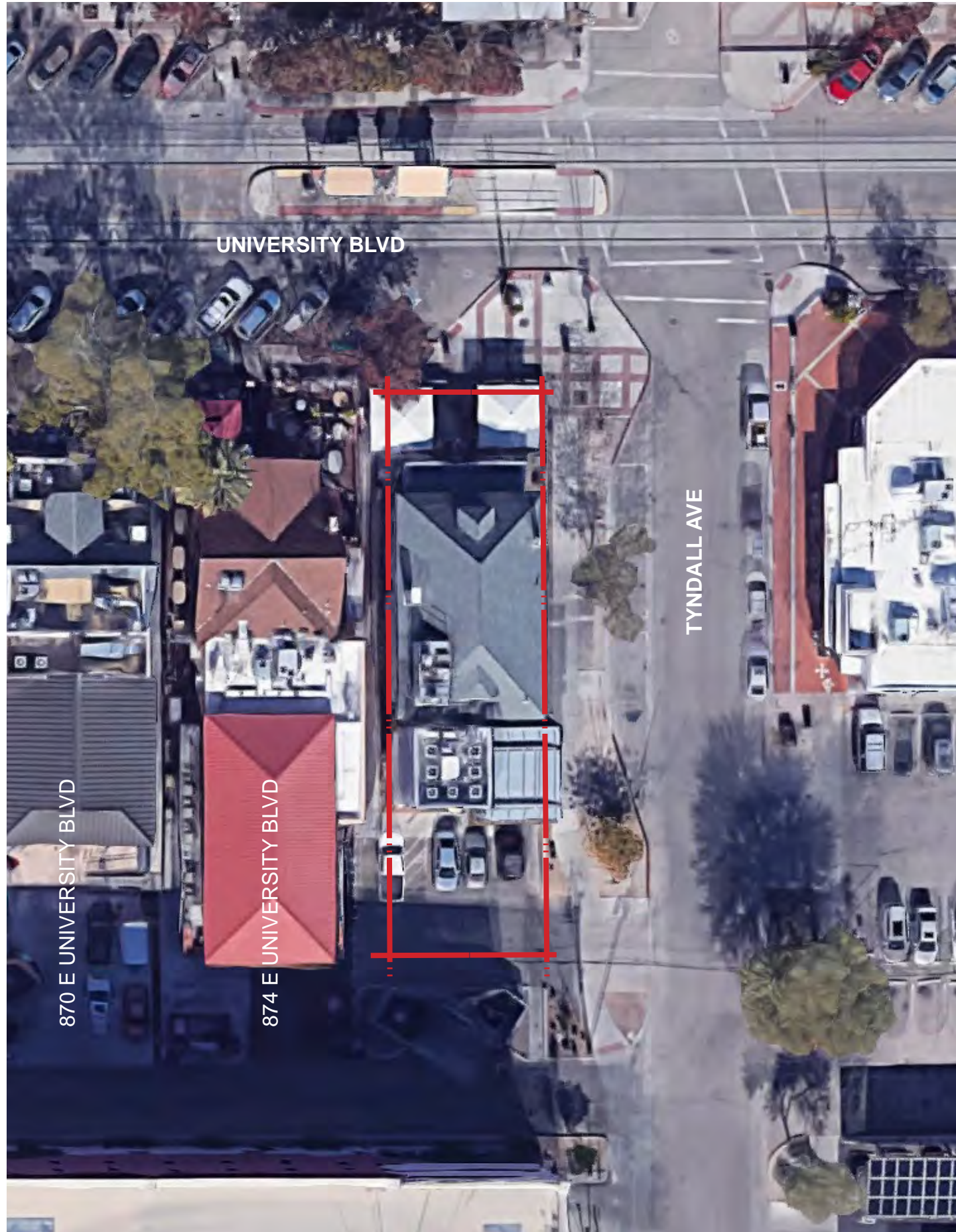
The structure at 876 University was built in 1910 by Captain Hiram M. Powell and his wife Jane. Captain Powell was the head of the military department at the University of Arizona.

In 1915 Charles and Hattie Ferrin Soloman bought and moved into the house. Charles came from a pioneer family and was president of the Arizona National Bank. Hattie was one of four graduates from the University of Arizona class of 1898. Charles died in 1930 at 57. Hattie then turned the basement into a Better Woman shop called the Campus Lounge. She also converted the 2nd floor into a rooming house to college students and lived on the main floor. Hattie died in 1964.

Landmark Clothing, formerly the Franklin's Men Store, was opened in the building September 29th, 1959 and stayed in business till December 31, 2014. The property was purchased by Mort Edberg and the Ostroy trust in 1962 who recently sold the property to D&F Holdings LLC.

Transcribed from Mort Edberg, previous owner of 876 University

AERIAL PHOTOGRAPHY



PROPOSED AERIAL

DEVELOPMENT PLAN

DEVELOPMENT PACKAGE for ILLEGAL PETE'S

GENERAL NOTES

- DEVELOPER:
ILLEGAL PETES INC.
240 BROADWAY
DENVER, COLORADO 80203
- THE GROSS SITE AREA IS 8,493 SQUARE FEET, OR 0.19 ACRES.
- EXISTING ZONING IS HC-1. THIS PROJECT FALLS WITHIN THE MAIN GATE OVERLAY DISTRICT AND WILL BE DEVELOPED PER CITY OF TUCSON ORDINANCE 11015.
- THE EXISTING USE IS RETAIL. THE PROPOSED USE OF THE DEVELOPMENT IS FOOD SERVICE AND IS SUBJECT TO USE SPECIFIC STANDARDS 4.9.4.M.1 & 5 AND 4.9.13.O FOR FOOD SERVICE. AS WELL AS 4.9.4.V.1, 3, & 5-9, 4.9.4.C.3 AND 4.9.13.O FOR ALCOHOLIC BEVERAGE SERVICE AS AN ACCESSORY USE TO FOOD SERVICE.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMP (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- THIS PROJECT IS WITHIN THE MAIN GATE OVERLAY DISTRICT (MGD), AS ADOPTED BY CITY OF TUCSON ORDINANCE 11015.

REQUIREMENTS FOR MAIN GATE OVERLAY DISTRICT ZONING:
MAXIMUM BUILDING HEIGHT = 30', PER UNDERLYING C-1 ZONING
ACTUAL BUILDING HEIGHT = 27.2'

| PERIMETER YARDS (SETBACKS): | PER MAIN GATE OVERLAY DISTRICT REQUIRED | PROVIDED |
|-----------------------------|---|------------|
| NORTH (STREET) | 0' | 0' MIN. |
| EAST | 0' | 6.8' MIN. |
| SOUTH | 0' | 70.5' MIN. |
| WEST | 0' | 9' MIN. |

*ALL DIMENSIONS MEASURED TO FROM PROPERTY LINE

- PARKING REQUIRED:
MOTOR VEHICLE FOR MGD: 1 SPACE PER 1,000 SF
TOTAL REQUIRED = 9,000/1,000 = 9 SPACES
TOTAL PROVIDED = 9 SPACES

*5 SPACES PROVIDED OFFSITE (NORTH)
** 4 EXISTING ON-SITE PARKING SPACES TO BE REMOVED WHEN LOCAL TRASH COMPACTOR ADDED PER DS15-30

ACCESSIBLE SPACES REQUIRED = 1 SPACE
ACCESSIBLE SPACES PROVIDED = 1 SPACE
ACCESSIBLE SPACE PROVIDED TO BE VAN ACCESSIBLE

1-800-782-5348
Blue State Center

GENERAL NOTES (CONT'D)

- BIKE PARKING:
SHORT TERM: 1 SPACE PER 5,000 SF (2 MIN.)
TOTAL REQUIRED = 9,000/5,000 = 2 SPACES
TOTAL PROVIDED = 2 SPACES
LONG TERM: 1 SPACE PER 12,000 SF (2 MIN.)
TOTAL REQUIRED = 9,000/12,000 = 2 SPACES
SPACES PROVIDED = 2 SPACES
- LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 0 SPACES
- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
 - DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORMWATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
 - MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
 - PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 51 TONS OF SOLID WASTE PER YEAR (EQUATING TO 658 GALLONS PER WEEK). A MINIMUM OF ONE 3-CUBIC-YARD TRASH BIN WILL BE REQUIRED TO BE PICKED UP ON-SITE ONCE A WEEK. ONE 3-CUBIC-YARD RECYCLE BIN WILL ALSO BE PROVIDED.
 - TOTAL BUILDING GFA IS 9,000 SF (INCLUDING PATIO OPEN SPACE). TOTAL PAVED AREA IS 2,500 SF ±.
 - TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 8,493 SF.
 - TOTAL OPEN SPACE REQUIRED PER MGD IS 1,274 SF (15% OF TOTAL LAND AREA). TOTAL OPEN SPACE PROVIDED FOR THIS DEVELOPMENT IS APPROXIMATELY 1,380 SF (16% OF TOTAL LAND AREA).
 - TOTAL LANDSCAPED AREA REQUIRED PER MGD IS 345 SF (25% OF PROVIDED OPEN SPACE AT GROUND LEVEL). TOTAL LANDSCAPED AREA PROVIDED FOR THIS DEVELOPMENT IS APPROXIMATELY 715 SF (52% OF PROVIDED OPEN SPACE AT GROUND LEVEL).
 - THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA FOR CITY OF TUCSON ORDINANCE 11015, MAIN GATE OVERLAY DISTRICT.
 - ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
 - THE FLOOD ZONE DESIGNATION IS "OTHER AREAS ZONE X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEDERAL EMERGENCY MANAGEMENT AGENCY RATE MAP PANEL 04019C2277L, WITH AN EFFECTIVE DATE OF JUNE 16, 2011.

HPZ-15-23 NOTES

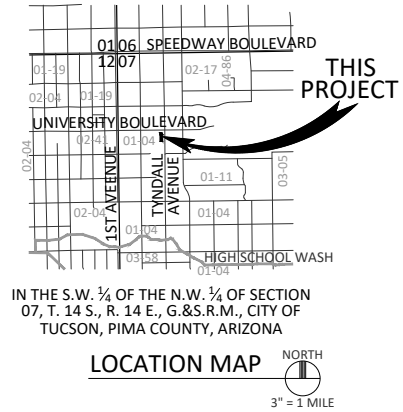
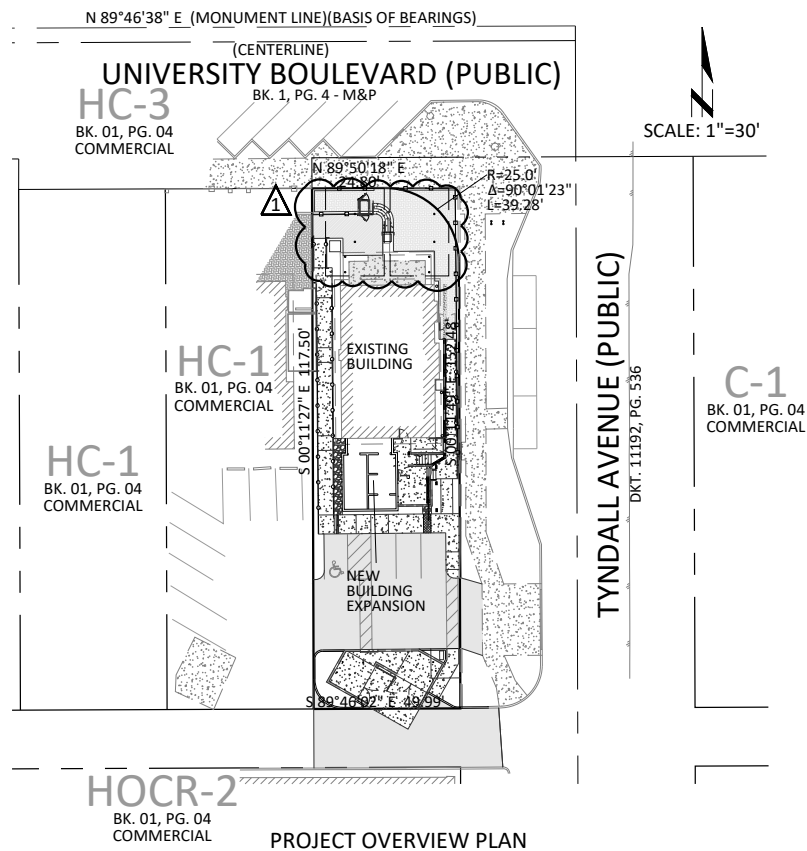
- A HISTORIC PRESERVATION ZONE REVIEW APPROVAL WAS PROVIDED ON MARCH 31st, 2015 WITH THE FOLLOWING CONDITIONS:
 - RETURN TO WUHZAB FOR REVIEW OF REVISED PROPOSAL;
 - PROVIDE THREE (3) COPIES OF WORKING DRAWINGS TO THE ZONING ADMINISTRATION AT THE TIME OF PERMIT SIGN-OFF; AND,
 - OBTAIN THE APPROPRIATE PERMITS WITHIN ONE (1) YEAR OF THE DIRECTOR'S DECISION.

MGD-15-01 NOTES

- A MAIN GATE DISTRICT ZONE REVIEW APPROVAL WAS PROVIDED ON APRIL 8th, 2015 WITH THE FOLLOWING CONDITIONS:
 - PROVIDE THREE (3) COPIES OF WORKING DRAWINGS TO THE ZONING ADMINISTRATION AT THE TIME OF PERMIT SIGN-OFF; AND,
 - OBTAIN THE APPROPRIATE PERMITS WITHIN ONE (1) YEAR OF THE DIRECTOR'S DECISION.

SHEET INDEX

- COVER SHEET
- NOTES
- SITE PLAN
- UTILITIES & EASEMENTS PLAN
- GRADING PLAN
- DETAILS
- DEMOLITION PLAN
- HARDSCAPE PLAN
- HARDSCAPE ENLARGEMENTS
- LANDSCAPE PLAN
- IRRIGATION PLAN
- HARDSCAPE DETAILS
- HARDSCAPE DETAILS
- HARDSCAPE DETAILS
- LANDSCAPE DETAILS
- IRRIGATION DETAILS



LEGEND

| | | | |
|--|-----------------------------|--|---------------------------------|
| | EXISTING CONTOUR | | EXISTING SIGN |
| | SPOT ELEV. (FIN. GRADE) | | EXISTING STREET/TRAFFIC LIGHT |
| | SPOT ELEV. (EXIST. GRADE) | | EXISTING SEWER MANHOLE |
| | PAINT STRIPE | | EXISTING WATER METER |
| | EXISTING PAVEMENT EDGE | | EXISTING ELECTRIC MANHOLE |
| | EXISTING CURB | | EXISTING ELECTRIC PULLBOX/METER |
| | EXISTING CONCRETE | | EXISTING POWER POLE |
| | NEW CURB | | EXISTING GAS MANHOLE |
| | NEW WALL | | PARKING SPACE COUNT |
| | NEW CONCRETE | | ZONING DIVISION |
| | NEW ASPHALT | | SIGHT VISIBILITY TRIANGLE |
| | NEW FENCE/RAILING | | FINISH SURFACE |
| | EXISTING EASEMENT | | TOP OF CURB/CONCRETE |
| | RIGHT-OF-WAY | | FINISHED FLOOR ELEVATION |
| | PROJECT BOUNDARY LINE | | |
| | OTHER PARCEL LINE | | |
| | ROADWAY CENTERLINE | | |
| | EXISTING SEWER | | |
| | EXISTING WATER | | |
| | EXISTING COMMUNICATION LINE | | |
| | EXISTING OVERHEAD ELECTRIC | | |
| | EXISTING GAS LINE | | |

FOR REVISION 1 ONLY



Kevin M. Hall

ARCHITECT

ROB PAULUS ARCHITECTS LTD
990 E. 17TH STREET, SUITE 100
TUCSON, ARIZONA 85719
ATTN: ROB PAULUS
P: (520) 624-9805

LANDSCAPE ARCHITECT

ARC STUDIOS INC
5781 N. PLACITA AMANECER
TUCSON, ARIZONA 85718
ATTN: CHRIS WINTERS
P: (520) 882-9655

DEVELOPMENT UNDER MAIN GATE DISTRICT ZONING OPTION

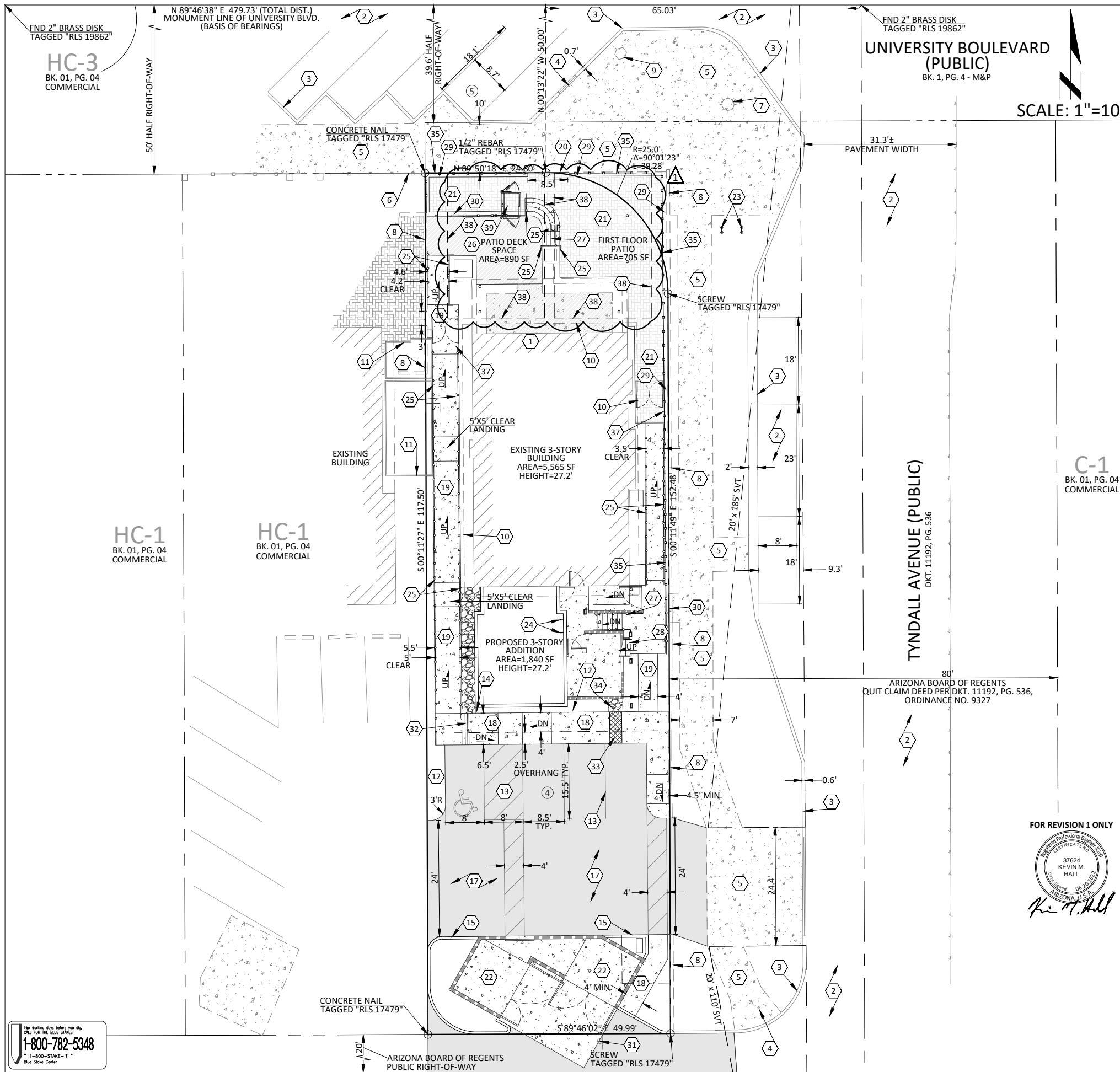
| NO. | DATE | REVISION DESCRIPTION | BY | OWNER/DEVELOPER |
|-----|----------|-------------------------------|-----|--|
| Δ | 06-20-22 | ADD NEW CANOPIES AND ADA LIFT | KMH | ILLEGAL PETES, INC 240 BROADWAY DENVER, COLORADO 80203 ATTN: PETE TURNER PH: (303) 817-9523 EMAIL: pturner@illegalpetes.com |

| | | | |
|--|--|--|--|
| | <p>CYPRESS PROJECT NO: 15.003</p> <p>2012 north country club road suite #9 tucson, arizona 85716 ph: 520.261.7440 e: jphunt@cypresscivil.com</p> | <p>2012 north country club road suite #9 tucson, arizona 85716 ph: 520.261.7440 e: jphunt@cypresscivil.com</p> | <p>2012 north country club road suite #9 tucson, arizona 85716 ph: 520.261.7440 e: jphunt@cypresscivil.com</p> |
|--|--|--|--|

LOCATED IN THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 14 S., RANGE 14 E., G.&S.R.M., PIMA COUNTY, ARIZONA. ALSO KNOWN AS "BUELLS LOT 9" AS RECORDED IN BK. 1, PG. 4, OF MAPS AND PLATS.

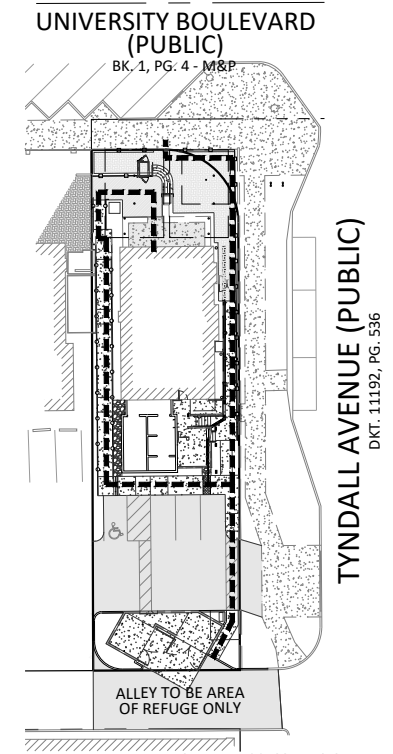
DEVELOPMENT PACKAGE for
ILLEGAL PETE'S
cover sheet

DP15-0033
REF: HPZ-15-23, MGD-15-01, DS15-30
1 OF 16



KEYNOTES

- 1 PRIMARY BUILDING ENTRANCE.
- 2 EXISTING ASPHALT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CURB RAMP TO REMAIN.
- 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
- 6 EXISTING FENCE TO REMAIN.
- 7 EXISTING LIGHT TO REMAIN.
- 8 EXISTING WALL TO REMAIN.
- 9 EXISTING STREET CAR POLE TO REMAIN.
- 10 EXISTING BUILDING OVERHANG TO REMAIN.
- 11 EXISTING ACCESSORY STRUCTURE TO REMAIN.
- 12 NEW DEPRESSED LANDSCAPE AREA.
- 13 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 14 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL (A), SHEET 6.
- 15 NEW 6" VERTICAL CURB TYPE 2. SEE DETAIL (B), SHEET 6.
- 16 NEW 6" CONCRETE HEADER. SEE DETAIL (C), SHEET 6.
- 17 NEW 2" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL (D), SHEET 6.
- 18 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL (E), SHEET 6.
- 19 NEW CONCRETE SIDEWALK PER PC/COT STD DTL 200. SEE PLAN FOR DIMENSIONS.
- 20 CONNECT TO EXISTING SIDEWALK PER PC/COT STD DTL 203.
- 21 NEW BRICK PAVERS. SEE LANDSCAPE PLAN FOR DETAIL.
- 22 NEW TRASH ENCLOSURE. SEE DETAIL (F), SHEET 6. SEE ARCHITECTURAL PLAN FOR FINISHES.
- 23 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL (G), SHEET 6. FOR RACK SPACING SEE DETAIL (I), SHEET 6.
- 24 NEW LONG TERM BICYCLE PARKING. SEE DETAIL (H), SHEET 6. FOR SPACING SEE DETAIL (I), SHEET 6.
- 25 NEW ICC A117.1 SECTIONS 405 & 406 COMPLIANT RAILING. SEE DETAIL (J), SHEET 3. MATERIAL AND FINISHES PER SEPARATE PLAN.
- 26 NEW DECK PER SEPARATE PLAN & PERMIT.
- 27 NEW CONCRETE STAIRS.
- 28 NEW PRE-FABRICATED STAIRS. SEE ARCHITECTURAL FOR DETAIL.
- 29 NEW PLANTING AREA. SEE LANDSCAPE PLAN FOR DETAIL.
- 30 NEW STRUCTURAL WALL PER SEPARATE PLAN & PERMIT.
- 31 EXISTING "NO PARKING" SIGN TO BE RELOCATED WEST TO THE NEW LANDSCAPE AREA.
- 32 NEW SIDEWALK SCUPPER (TYPE I). SEE DETAIL (1), SHEET 5.
- 33 NEW SIDEWALK SCUPPER (TYPE II). SEE DETAIL (2), SHEET 5.
- 34 NEW HAND-PLACED RIP RAP. SEE RIP-RAP NOTES.
- 35 NEW SITE FENCE. OWNER/ARCHITECT TO PROVIDE DETAIL AND FINISHES.
- 36 NEW LIGHT PER SEPARATE PLAN.
- 37 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAIL AND FINISHES.
- 38 NEW CANOPY PER SEPARATE PLAN.
- 39 NEW ADA LIFT PER BUILDING PLANS.



ACCESSIBLE ROUTE DETAIL
SCALE: 1"=30'

C-1
BK. 01, PG. 04
COMMERCIAL

FOR REVISION 1 ONLY
Professional Engineer
37624 KEVIN M. HALL
ARIZONA, U.S.A.
06/20/2022

DEVELOPMENT UNDER MAIN GATE DISTRICT ZONING OPTION

| NO. | DATE | REVISION DESCRIPTION | BY | OWNER/DEVELOPER |
|-----|----------|-------------------------------|-----|--|
| Δ | 06-20-22 | ADD NEW CANOPIES AND ADA LIFT | KMH | ILLEGAL PETES, INC 240 BROADWAY DENVER, COLORADO 80203 ATTN: PETE TURNER PH: (303) 817-9523 EMAIL: pturner@illegalpetes.com |

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DEVELOPMENT PACKAGE for ILLEGAL PETE'S site plan

DP15-0033
REF: HPZ-15-23, MGD-15-01, DS15-30

3 OF 16

1-800-782-5348
Blue State Center

ELEVATIONS + MATERIALS



NORTH



EAST

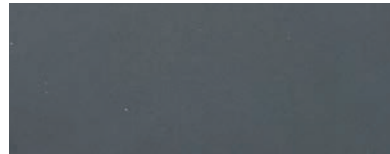


SOUTH

NEW SHADE
ELEMENTS

NEW MATERIALS

painted steel to match existing steel color
dunn edwards 'iron fixture' de6384



roman shade elements, off white



EXISTING MATERIALS

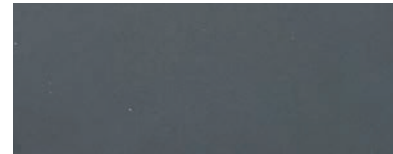
south trellis



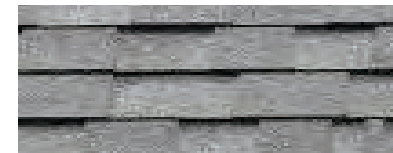
cable/steel railing



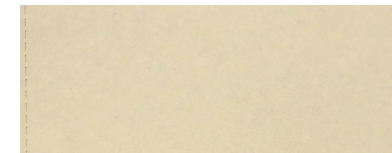
trim / window frame/ steel



shingle roof



plaster



fiber cement board panels



NEW ELEVATIONS



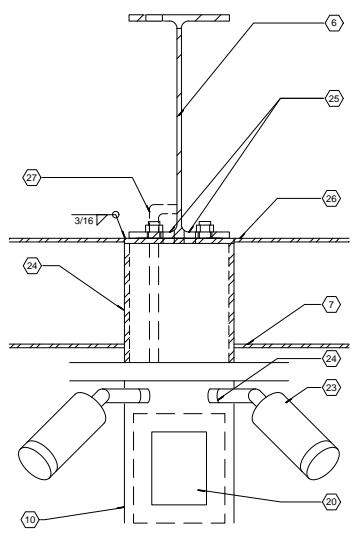
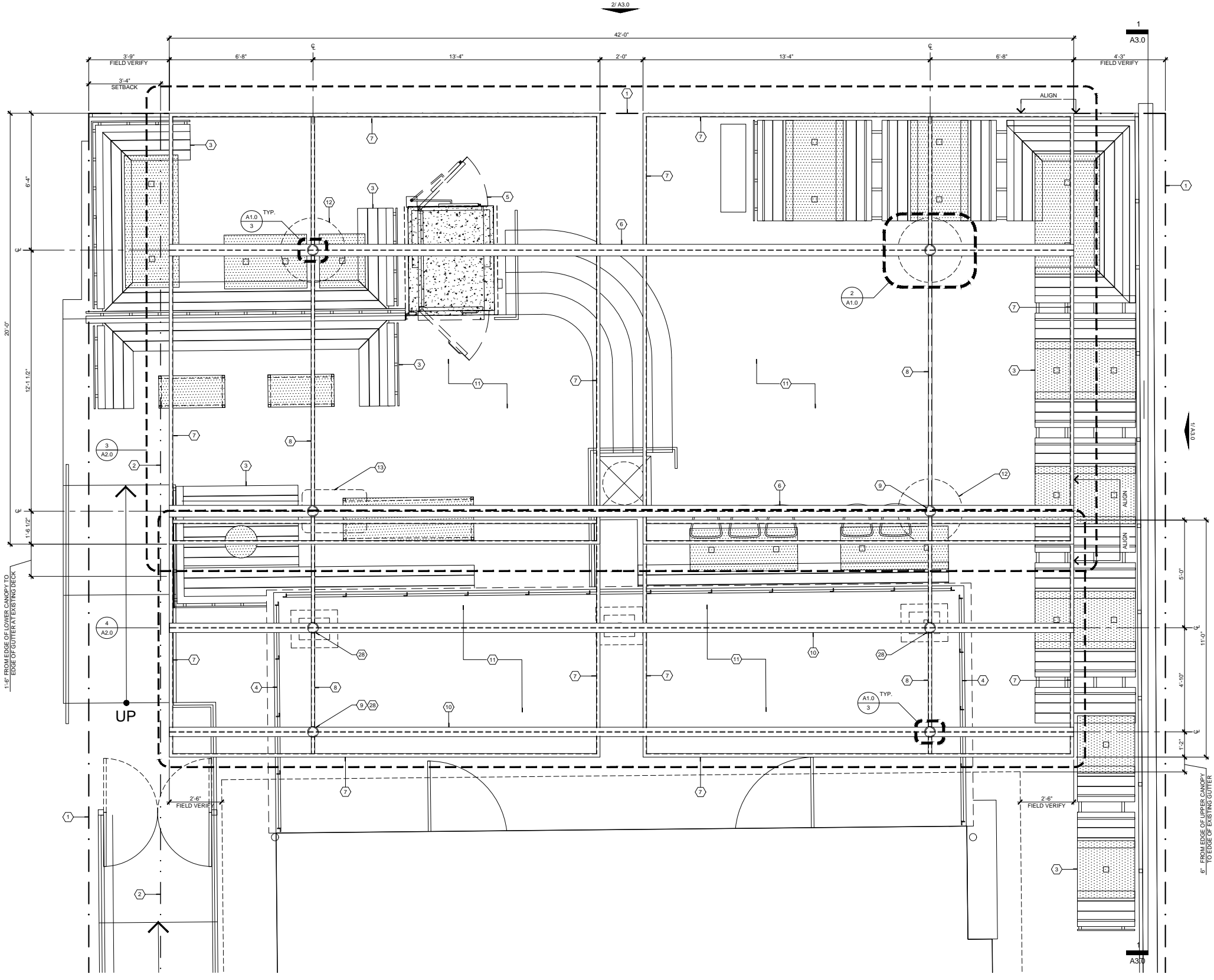
GENERAL NOTES

1. DIMENSIONS GIVE ARE NOMINAL AND FOR REFERENCE ONLY. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. DIMENSIONS ARE FROM FACE OF FRAMING.
3. ANY CHANGES AND OR ADDITIONS SHALL NOT INTERFERE WITH THE EXISTING HISTORIC IDEATION OF THE STRUCTURE.
4. APPROVED DEVELOPMENT PACKAGE.

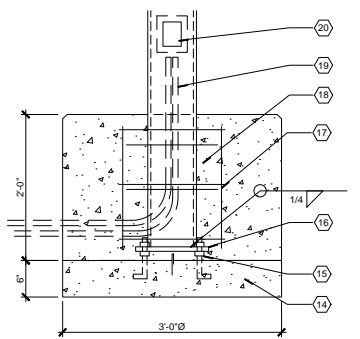
KEYNOTES

ALL KEYNOTES MAY NOT BE USED ON THIS SHEET

1. PROPERTY LINE
2. SETBACKS
3. EXISTING STATIONARY TABLE AND SEATING
4. EXISTING BALCONY RAILING TO REMAIN
5. EXISTING ADA LIFT
6. W FLANGE W12 X26 PAINTED TO MATCH EXISTING STEEL. SEE STRUCTURAL SPEC
7. C CHANNEL C8 X 11.5 PAINTED TO MATCH EXISTING STEEL. SEE STRUCTURAL SPEC
8. HSS RECTANGLE STEEL TUBING 8 X 2 X 3/16" PAINTED TO MATCH EXISTING STEEL. SEE STRUCTURAL SPEC
9. 6" O.D. TUBE STEEL. SEE STRUCTURAL FOR SPECIFICATION
10. W FLANGE W8 X 21 PAINTED TO MATCH EXISTING STEEL. DOWN EDWARDS IRON FIXTURE. SEE STRUCTURAL FOR SPEC
11. RETRACTABLE ROMAN SHADE SAIL SYSTEM. SEE SPECIFICATION
12. 3" DIAMETER FOOTING. SEE STRUCTURAL
13. 3" ASYMMETRICAL FOOTING. SEE STRUCTURAL
14. CONSTRUCTION FOOTING
15. DOUBLE NUTS, LEVELING. SEE SPEC
16. 1/2" X 12 X 1"-0" STEEL BASE PLATE WITH (4) 3/4" Ø ANCHOR BOLTS (3" EMBED)
17. (8) #4 VERTICAL - EVENLY SPACED
18. (2) #4 DOWELS X 15" LONG WELDED TO EACH SIDE OF COLUMN - (4) TOTAL
19. UNDERGROUND WIRE SLEEVE, MISTING PIPE WHERE APPLICABLE
20. 3" X 4" CLEAR HAND HOLE WITH 5" X 6" REMOVABLE COVER PLATE. VERIFY HEIGHT IN FIELD WITH ARCHITECT
21. 5/8" Ø HOLE FOR ELECTRICAL, AUDIO SYSTEM OR MISTING SYSTEM
22. (4) 5/8" THREADED STUDS
23. LIGHT FIXTURE. SEE SPECIFICATION
24. 1/2" NPS COUPLING WELDED INTO POLE
25. HOLE BEYOND FOR ELECTRICAL, MISTING SYSTEM, WHERE APPLICABLE
26. 1/2" X COLUMN Ø COLUMN CAP PLATE
27. RUN BLACK CONDUIT TO C CHANNEL FOR ELECTRICAL OR MISTER SYSTEM IF NECESSARY
28. REMOVE EXISTING DECKING SYSTEM, WELD 6" Ø COLUMNS TO 10" X 10" TUBE STEEL. REAPPLY DECKING SYSTEM WHERE APPLICABLE. SEE STRUCTURAL SPEC



3 TYPICAL BEAM CONNECTION
3" = 1'-0"



2 TYPICAL FOOTING DETAIL
1" = 1'-0"

| issue | date |
|-------|------|
| | |
| | |
| | |

ILLEGAL PETE'S REFRESH
876 E UNIVERSITY BLVD
TUCSON, ARIZONA 85719

ROB PAULUS ARCHITECTS LTD.
990 EAST 17TH STREET SUITE 100
TUCSON ARIZONA 85719 520.624.9805
WWW.ROBPAULUS.COM

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project no. 2021-011

SITE PLAN
1/4" = 1'-0"

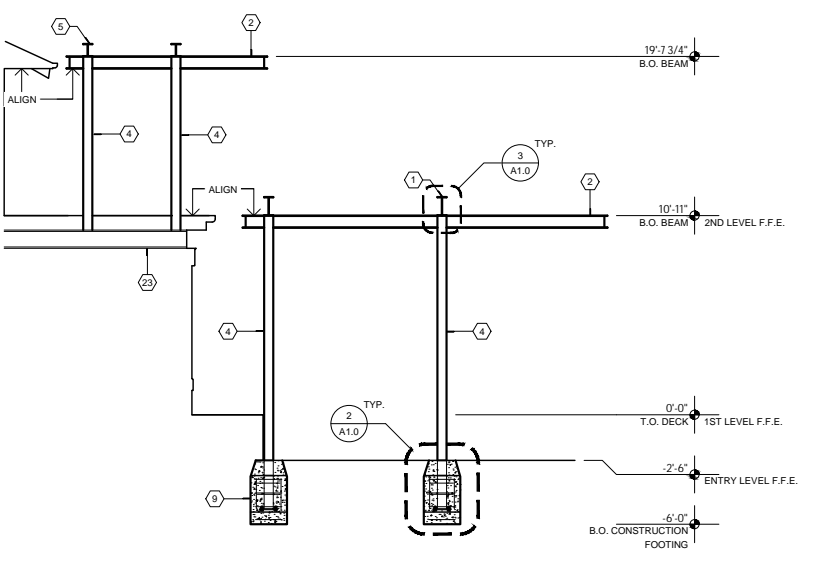
A1.0
site plan

GENERAL NOTES

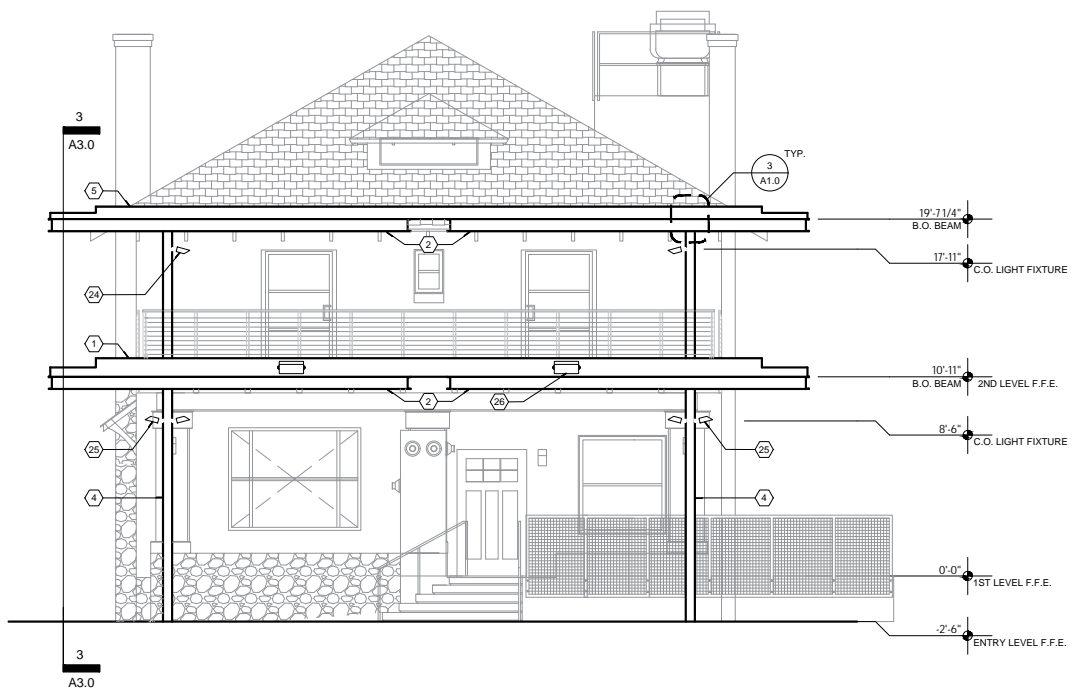
1. DIMENSIONS GIVE ARE NOMINAL AND FOR REFERENCE ONLY. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. DIMENSIONS ARE FROM FACE OF FRAMING.
3. ANY CHANGES AND OR ADDITIONS SHALL NOT INTERFERE WITH THE EXISTING HISTORIC IDEATION OF THE STRUCTURE.
4. APPROVED DEVELOPMENT PACKAGE: _____

KEYNOTES

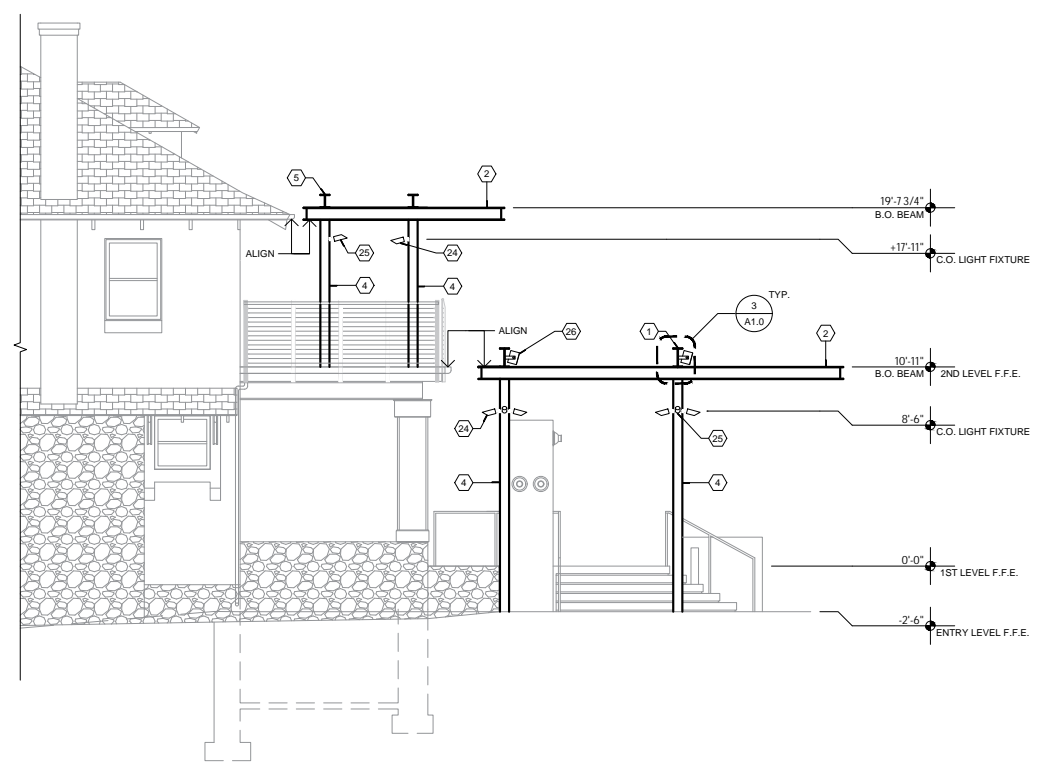
- ALL KEYNOTES MAY NOT BE USED ON THIS SHEET
1. W FLANGE W12 X26 PAINTED TO MATCH EXISTING STEEL. SEE STRUCTURAL SPEC
 2. C CHANNEL C8 X 11.5 PAINTED TO MATCH EXISTING STEEL. SEE STRUCTURAL SPEC
 3. HSS RECTANGLE STEEL TUBING 8 X 2 X 3/16" PAINTED TO MATCH EXISTING STEEL. SEE STRUCTURAL SPEC
 4. 6" O.D. TUBE STEEL. SEE STRUCTURAL FOR SPECIFICATION
 5. W FLANGE W8 X 21 PAINTED TO MATCH EXISTING STEEL (DUNN EDWARDS 'IRON FIXTURE', SEE STRUCTURAL FOR SPEC
 6. RETRACTABLE ROMAN SHADE SAIL SYSTEM. SEE SPECIFICATION
 7. 3" DIAMETER FOOTING. SEE STRUCTURAL
 8. 3" ASYMMETRICAL FOOTING. SEE STRUCTURAL
 9. CONSTRUCTION FOOTING
 10. DOUBLE NUTS, LEVELING. SEE SPEC
 11. 1/2" X 12 X 1'-0" STEEL BASE PLATE WITH (4) 3/4" Ø ANCHOR BOLTS (3" EMBED)
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 16. 5/8" Ø HOLE FOR ELECTRICAL, AUDIO SYSTEM OR MISTING SYSTEM
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 18. LIGHT FIXTURE, SEE SPECIFICATION
 19. 1/2" NPS COUPLING WELDED INTO POLE
 20. HOLE BEYOND FOR ELECTRICAL, MISTING SYSTEM, WHERE APPLICABLE
 21. 1/2" X COLUMN Ø COLUMN CAP PLATE
 22. RUN BLACK CONDUIT TO C CHANNEL FOR ELECTRICAL OR MISTER SYSTEM IF NECESSARY
 23. EXISTING 10" X 10" STRUCTURAL TUBE STEEL
 24. DOWN LIGHTS ON COLUMN AT 8'-0" A.F.F., SEE SPEC
 25. UP LIGHTS ON COLUMN AT 8'-0" A.F.F., SEE SPEC
 26. WEATHER PROOF SPEAKER SYSTEM, BLUETOOTH COMPATIBLE. MOUNT TO W FLANGE. SEE SPECIFICATION AND VERIFY WITH OWNER
 27. EXISTING DECK OVERHANG



3 EAST SECTION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

| issue | date |
|-------|------|
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REFRESH
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project no. 2021-011

A3.0
elevations + sections



EXISTING CONDITIONS



NORTH



EAST



SOUTH



WEST

SURROUNDING AREA



VIEW TO THE NORTH



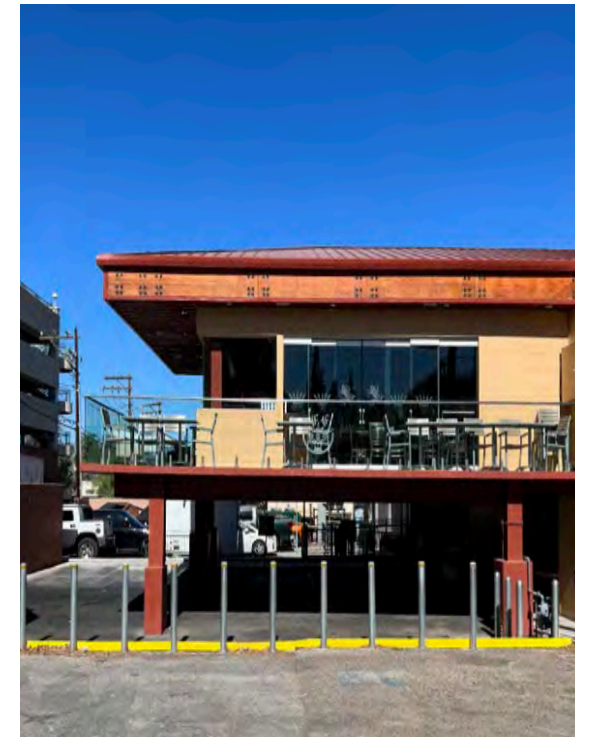
VIEW TO THE EAST



VIEW TO THE SOUTH



VIEW TO THE WEST



PRECEDENT EXAMPLES IN AREA



870 E UNIVERSITY BLVD FIXED SHADE STRUCTURE



874 E UNIVERSITY BLVD



870 E UNIVERSITY BLVD UPPER DECK WITH SHADE

NEIGHBORHOOD MEETING INVITATION

Rob Paulus Architects Ltd

1

June 15, 2022

Notice of Virtual Neighborhood Meeting

You are cordially invited to attend a presentation related to the REFRESH of the exterior of the Illegal Pete's located at 876 East University Boulevard.

Meeting time: June 30th at 5:30pm

Meeting Location: Virtual Meeting via Zoom – see meeting instructions on other side.

Subject: Proposal: Illegal Pete's REFRESH, New Shade Structures, Application for Main Gate District + Historic Review

Located in the center of the Historic Main Gate Square District in Tucson, Arizona, the Illegal Pete's REFRESH project enhances the restaurant experience with new retractable shade canopies at the existing outdoor area at the lower north space and upper balcony. The project will provide much needed shade to the existing outdoor dining area with a design that is complementary to the existing historic structure. The improvements will join the neighboring establishments, to the west of this property, that already provide extensive shade and will offer a more comfortable and thermally advantageous space for outdoor gathering and dining. The project will also provide a safer gathering space for customers during the era of Covid.

Design and Development team members will provide a brief overview of the REFRESH project with three dimensional images, site and floor plans and building elevations available for your viewing.

Your questions and comments about the project will be welcomed during the meeting but may also be submitted in writing to the project applicant, Kenneth Lowe, at kenneth@robpaulus.com, (520) 624-9805.

We are looking forward to your participation in assisting us in adding to the vibrant Main Gate Square experience.

Meeting Agenda

1. Introductions
2. Presentation of Project
 - Project Overview
 - Site Plan
 - Elevations
 - Perspectives
 - Floor Plan
 - Surroundings
3. Questions and Answers along with comments via email
4. Adjournment

Location map



AFFIDAVIT OF MAILING

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| 2. | 733-745 N 4TH AVE ASSOCIATES DBA 534 FOREST AVE NEW ROCHELLE NY 10804 | | | | |
| 3. | CREIGHAN KEVIN P & HAMPTON CATHY J CP/RS 302 10TH ST SE WASHINGTON DC 20003 | | | | |
| 4. | GANTENBEIN ALICE 1300 ARMY NAVY DR APT 516 ARLINGTON VA 22202 | | | | |
| 5. | AMBROSE JEFFREY A & SHARON F CP/RS 3759 KINSLEY PL WINTER PARK FL 32792 | | | | |
| 6. | CONTI AGATHA ANNA TR 22992 LEEWIN ST DETROIT MI 48219 | | | | |

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| 1. | DONALD MARK A 12603 DILLON RD BROOMFIELD CO 80020 | | | | |
| 2. | D&F HOLDINGS LLC 240 N BROADWAY DENVER CO 80203 | | | | |
| 3. | CHRISTY SUSAN M 1895 ALLISON ST LAKEWOOD CO 80214 | | | | |
| 4. | DARBIE CAROLYN G 2931 SILVERPLUME DR FORT COLLINS CO 80526 | | | | |
| 5. | DUNCAN TANIS A 1532 ARROYO DR WINDSOR CO 80550 | | | | |
| 6. | 1025 N EUCLID LLC 420 E OREGON AVE PHOENIX AZ 85012 | | | | |

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| 1. | BETSCH DAVID 115 TRANSIT ST APT 3 PROVIDENCE RI 02906 | | | | |
| 2. | ROBARTS DAVID & GRUSHECK NANCY CP/RS 677 US RT 1 STOCKTON SPRINGS ME 04981 | | | | |
| 3. | UFFORD-CHASE CATHERINE PO BOX 62 LOWELL VT 05847 | | | | |
| 4. | HUHNKE JAMES C & VAN LEEUWEN JANNEKE B JT/RS 4 RIVERSIDE LN MADISON, CT 06443 | | | | |
| 5. | GOODRICH RHEA WOOLSTON 84 MARGARITE ROAD EXT MIDDLETOWN CT 06457 | | | | |
| 6. | NOWICKI MATTHEW & NOWICKI CHRISTOPHER JT/RS 1 NOTTINGHAM WAY RANDOLPH NJ 07869 | | | | |

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| 1. | CAPGROW HOLDINGS JV SUB II LLC 320 W OHIO ST STE 650 CHICAGO IL 60654 | | | | |
| 2. | WELTY ANDREW M & ANN M LIVING TR 4237 LACLEDE AVE UNIT B SAINT LOUIS MO 63108 | | | | |
| 3. | ARIZONA MORTUARY INC 1929 ALLEN PKWY STE 2920 HOUSTON TX 77019 | | | | |
| 4. | DOLGNER EVERETT RONALD & ELIZABETH ERIN CP/RS 1321 UPLAND DR PMB 9225 HOUSTON TX 77043 | | | | |
| 5. | HOPKINS RICHARD FRANCES JR & LISA NOVAK CP/RS 1201 GROVE BLVD APT 503 AUSTIN TX 78741 | | | | |
| 6. | NISSAN TRACY A & NISSAN RAMSEY M JT/RS 7211 EASY WIND DR UNIT 1145 AUSTIN TX 78752 | | | | |

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| 2. | MAUSER JUSTIN 2007 W QUAIL TRACK DR PHOENIX AZ 85085 | | | | |
| 3. | CROSSWHITE FRANK S & CAROL D JT/RS 500 N JAY ST QUEEN VALLEY AZ 85118 | | | | |
| 4. | DEZIEL FRANCIS XAVIER 8808 E RAINIER DR GOLD CANYON AZ 85118 | | | | |
| 5. | RIGGINS SCOTT L TR PO BOX 2150 COOLIDGE AZ 85128 | | | | |
| 6. | GOLD MOUNTAIN ELEVEN LLC 2735 W CALLE DEL NORTE CHANDLER AZ 85224 | | | | |



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| 1. | TONTO OAKS APARTMENTS LLC 6803 E MAIN ST UNIT 6609 SCOTTSDALE AZ 85251 | | | | |
| 2. | COTTER CHRISTOPHER 6312 E MESCAL ST SCOTTSDALE AZ 85254 | | | | |
| 3. | RUDNER WAYNE D 5130 E PHELPS RD SCOTTSDALE AZ 85254 | | | | |
| 4. | WOOD KENNETH C 27036 N 70TH PL SCOTTSDALE AZ 85266 | | | | |
| 5. | TINAJERO JULIO C & VELEZ RICARDO M JT/RS 449 E CONTINENTAL DR TEMPE AZ 85281 | | | | |
| 6. | GUO ZHIKAI & LIAO WANCHUN 1150 W CANARY WAY CHANDLER AZ 85286 | | | | |



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| 2. | TAPS ALE HOUSE LLC 3021 N 23RD PL PHOENIX AZ 85015 | | | | |
| 3. | 3011 NINE LLC 2929 E CAMELBACK RD STE 218 PHOENIX AZ 85016 | | | | |
| 4. | TAPS ALE HOUSE LLC 6021 N 23RD PL PHOENIX AZ 85016 | | | | |
| 5. | DASPIT JACQUELINE M 2517 E MERCER LN PHOENIX AZ 85028 | | | | |
| 6. | 101 E UNIVERSITY LLC 14002 N 29TH ST PHOENIX AZ 85032 | | | | |



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| 2. | GOLD MOUNTAIN SEVENTEEN LLC 2735 W CALLE DEL NORTE CHANDLER AZ 85224 | | | | |
| 3. | GOLD MOUNTAIN SOUTHWEST LLC 2735 W CALLE DEL NORTE CHANDLER AZ 85224 | | | | |
| 4. | VAN HULSE CAMIL FOUNDATION 118 S KYRENE RD STE 1 CHANDLER AZ 85226 | | | | |
| 5. | 7ONE4 TUCSON LLC 5117 N 81ST ST SCOTTSDALE AZ 85250 | | | | |
| 6. | MARSHALL BROOK B & ROBERT J CP/RS 5078 N 83RD ST SCOTTSDALE AZ 85250 | | | | |



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| 2. | COATES DERRICK 1415 E MOONRISE TRL HEREFORD AZ 85615 | | | | |
| 3. | LARRIVA CORPORATION 441 N GRAND AVE STE 14 NOGALES AZ 85621 | | | | |
| 4. | MEXICAYOTL ACADEMY INC 850 N MORLEY AVE NOGALES AZ 85621 | | | | |
| 5. | YOUNG ROBERT R & SANDRA M CP/RS PO BOX 624 PATAGONIA AZ 85624 | | | | |
| 6. | CHAO WA NGOY 15461 S CAMINO AGUA AZUL SAHUARITA AZ 85629 | | | | |



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| 1. | DE CONCINI SUZANNE 589 S MAIN AVE TUCSON AZ 85701 | | | | |
| 2. | FIFTH & EUCLID LLC 182 N COURT AVE TUCSON AZ 85701 | | | | |
| 3. | FLEURY DANIEL R 826 S 2ND AVE TUCSON AZ 85701 | | | | |
| 4. | HILL THOMAS LANGDON & EMMELINE K JT/RS 288 N CHURCH AVE TUCSON AZ 85701 | | | | |
| 5. | JOY RICK A & KAPPL CLAUDIA CP/RS 400 S RUBIO AVE TUCSON AZ 85701 | | | | |
| 6. | NORTH SEVENTH LLC 344 S 6TH AVE TUCSON AZ 85701 | | | | |



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| 1. | SRIVASTAVA MITHLESH K & ARUN K CP/RS 3232 E DEVONSHIRE CT GILBERT AZ 85297 | | | | |
| 2. | PAX ENTERPRISES LLC 5239 W GARDEN DR GLENDALE AZ 85304 | | | | |
| 3. | MARTIN B RANDOLF & EDNA M JT/RS 4686 E COUNTY 15TH ST YUMA AZ 85365 | | | | |
| 4. | IRWIN ROBERT ALLEN & SUSAN GAIL REVOC TR 14519 E 47TH LN YUMA AZ 85367 | | | | |
| 5. | ALPHA PI OF ALPHA GAMMA RHO FRATERNITY INC 7684 W TIERRA BUENA LN PEORIA AZ 85382 | | | | |
| 6. | PARKINSON FAMILY TR 8343 W AVENIDA DEL SOL PEORIA AZ 85383 | | | | |



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| 1. | EMORY STEVEN P 11221 S VAIL CREEK PL VAIL AZ 85641 | | | | |
| 2. | SAMJI TARIQ 14485 E YELLOW SAGE LN VAIL AZ 85641 | | | | |
| 3. | OSWALD LAURINDA PO BOX 504 AMADO AZ 85645 | | | | |
| 4. | GLOBAL COMMUNITY COMMUNICATIONS ALLIANCE PO BOX 4910 TUBAC AZ 85646 | | | | |
| 5. | ARMENTA CONNIE 12871 N CUTRI CT MARANA AZ 85653 | | | | |
| 6. | GROUP DWELLING LLC 12419 N WING SHADOW LN MARANA AZ 85658 | | | | |



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| Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719 | | TOTAL NO. of Pieces Listed by Sender 6 | TOTAL NO. of Pieces Received at Post Office™ 6 | Affix Stamp Here Postmark with Date of Receipt. | | | |
| Postmaster, per (name of receiving em) Jek | | U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15 22 AMOUNT \$2.82 R2304E107384-12 | | | | | |
| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | | |
| 1. | CHAMBERS CHAMBERS LLC PO BOX 1015 TUCSON AZ 85702 | | | | | | |
| 2. | O HEARN MICHAEL A & TERRY P CP/RS PO BOX 2888 TUCSON AZ 85702 | | | | | | |
| 3. | SANCHEZ FRANCISCO A PO BOX 289 TUCSON AZ 85702 | | | | | | |
| 4. | SHEAR RONALD C & SHANNON T CP/RS PO BOX 215 TUCSON AZ 85702 | | | | | | |
| 5. | TUCSON SCOTTISH RITE CHARITABLE PO BOX 391 TUCSON AZ 85702 | | | | | | |
| 6. | FATTYROLL TR PO BOX 5004 TUCSON AZ 85703 | | | | | | |



Certificate of Mailing — Firm

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | | |
| 1. | ARRIETA JAVIER & KAREN C & ARRIETA GENAVIEVE 1320 W VIA TIERRA TUCSON AZ 85704 | | | | | | |
| 2. | AZ 102 LLC 7355 N ORACLE RD STE 111 TUCSON AZ 85704 | | | | | | |
| 3. | BLOCK JAMES P LIVING TR 235 E RUDASILL RD TUCSON AZ 85704 | | | | | | |
| 4. | CASAS ANTIGUAS ENTERPRISES LLC 6700 N ORACLE RD STE 504 TUCSON AZ 85704 | | | | | | |
| 5. | FOUR PALMS APARTMENTS LTD 6700 N ORACLE RD STE 504 TUCSON AZ 85704 | | | | | | |
| 6. | HUERTA SAUL M & REBECCA L CP/RS 655 E CANYON VIEW DR TUCSON AZ 85704 | | | | | | |



Certificate of Mailing — Firm

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | | |
| 1. | PORTER TR 447 S STONE AVE TUCSON AZ 85701 | | | | | | |
| 2. | PRIMAVERA FOUNDATION INC 720 S 6TH AVE TUCSON AZ 85701 | | | | | | |
| 3. | RACLIFF PROPERTY GROUP LLC 440 E LAOS ST TUCSON AZ 85701 | | | | | | |
| 4. | UNIVERSITY & EUCLID LLC 70 W CUSHING ST TUCSON AZ 85701 | | | | | | |
| 5. | VANDEMARK RICHARD & LEE TINA CP/RS 1026 S 7TH AVE TUCSON AZ 85701 | | | | | | |
| 6. | BARR LYNN M & HAWKINS DOUGLAS N JT/RS PO BOX 735 TUCSON AZ 85702 | | | | | | |



Certificate of Mailing — Firm

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | | |
| 1. | GORDIAN DOMINGO & GORDIAN KARIN & GORDIAN PO BOX 5353 TUCSON AZ 85703 | | | | | | |
| 2. | MAC KENZIE EARLINE G PO BOX 5225 TUCSON AZ 85703 | | | | | | |
| 3. | STRONG ALTON MICHAEL PO BOX 50636 TUCSON AZ 85703 | | | | | | |
| 4. | 3 MONSTERS MA LLC 6700 N ORACLE RD STE 504 TUCSON AZ 85704 | | | | | | |
| 5. | 49WESTUNIVERSITY LLC 550 W ORANGE GROVE RD TUCSON AZ 85704 | | | | | | |
| 6. | 901WESTUNIVERSITY LLC 550 W ORANGE GROVE RD TUCSON AZ 85704 | | | | | | |



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|---|---|---------|-----|------------------|----------------|
| 1. | 4TH STREET RENTALS LLC 519 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | 623 EAST 6TH ST LLC 623 E 6TH ST TUCSON AZ 85705 | | | | |
| 3. | ALBANESE DELORES M 519 E 1ST ST TUCSON AZ 85705 | | | | |
| 4. | ALBERT DONALD J REVOC LIVING TR 522 E 2ND ST TUCSON AZ 85705 | | | | |
| 5. | ALONSO ANA MARIA & KILLICK DAVID J CP/RS 1042 N 5TH AVE TUCSON AZ 85705 | | | | |
| 6. | ALVA ORLANDO & FAITH ANN CP/RS 101 E UNIVERSITY BLVD APT 12 TUCSON AZ 85705 | | | | |



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|---|--|---------|-----|------------------|----------------|
| 1. | BARRASSO DANIEL 645 E 1ST ST TUCSON AZ 85705 | | | | |
| 2. | BARRIO HOLDINGS LLC 721 N 4TH AVE TUCSON AZ 85705 | | | | |
| 3. | BARTHOLOMAEI PHRED 522 E SPEEDWAY BLVD # 2 TUCSON AZ 85705 | | | | |
| 4. | BAYLESS HOUSE LLC 145 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 5. | BERNIER DENISE 922 N HOFF AVE TUCSON AZ 85705 | | | | |
| 6. | BERNSTEIN MINDY TR 945 N 5TH AVE TUCSON AZ 85705 | | | | |



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|---|---|---------|-----|------------------|----------------|
| 1. | LINDO COURT ENTERPRISES LLLP 6700 N ORACLE RD STE 504 TUCSON AZ 85704 | | | | |
| 2. | LOCAL CASH BUYER LLC 6760 N ORACLE RD STE 130 TUCSON AZ 85704 | | | | |
| 3. | MARBURY HOLDINGS INC 441 E CANYON VIEW PL TUCSON AZ 85704 | | | | |
| 4. | UNIVERSITY RINCON LLC 555 E RIVER RD STE 201 TUCSON AZ 85704 | | | | |
| 5. | JONES JULIE INGRID 921 N 7TH AVE TUCSON AZ 85705 | | | | |
| 6. | 25-27 E 4TH STREET LLC 307 E 5TH ST TUCSON AZ 85705 | | | | |



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|---|---|---------|-----|------------------|----------------|
| 1. | ANDERSON-SMITH SUSAN & SAWYER ANNE REVOC TR 737 N 6TH AVE TUCSON, AZ 85705 | | | | |
| 2. | ARDEN GEORGE J & YVONNE B JT/RS 529 E 1ST ST TUCSON AZ 85705 | | | | |
| 3. | BAGLIONE PERRY C & LOS ANGELES 48 E 1ST ST TUCSON AZ 85705 | | | | |
| 4. | BAIG LAURENT J 911 N 7TH AVE TUCSON AZ 85705 | | | | |
| 5. | BARDORFF ALEXANDER & WILLIAMS TERESA 203 W UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 6. | BARKER MICHAEL SHANE & DLUGOSCH KATRINA 316 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | BRATISLAVA LLC 601 E 1ST ST TUCSON AZ 85705 | | | | |
| 2. | BRIGHTMAN ENTERPRISES LLC 924 N 6TH AVE TUCSON AZ 85705 | | | | |
| 3. | BURKHART NIETHAMMER REVOC TR 604 E 1ST ST TUCSON AZ 85705 | | | | |
| 4. | BURNER JANET K 1019 N JACOBUS AVE TUCSON AZ 85705 | | | | |
| 5. | BURR ALYSSA 591 N 3RD AVE TUCSON AZ 85705 | | | | |
| 6. | BUTLER J SCOTT 446 E 1ST ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | CONNERS JANE M 215 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 2. | COPELAND JUDITH ANN 907 N 5TH AVE TUCSON AZ 85705 | | | | |
| 3. | CORMIER DAVID J 339 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 4. | COSTANTINO ALICIA M & RIGHTMER 315 E 1ST ST TUCSON AZ 85705 | | | | |
| 5. | CVITKOVIC LINDA A 1025 N 4TH AVE TUCSON AZ 85705 | | | | |
| 6. | DAVIS JACOB D & AMY C CP/RS 635 E 4TH ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | BIELAWSKI JILL & GANS CHRIS FAMILY REVOC TR 130 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 2. | BOELTS JOHN G & ALISON CP/RS 345 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 3. | BOHN KARL H 338 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 4. | BOSTON DAVID H & LORI L CP/RS 242 E 4TH ST TUCSON AZ 85705 | | | | |
| 5. | BOUFFARD IRREVOCABLE TR AGREEMENT FOR 412 E 4TH ST TUCSON AZ 85705 | | | | |
| 6. | BRADY CHARLES J & CHRISTINA A JT/RS 621 N 7TH AVE TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | CALLIS MARC & KHANH & LIN CHYONG-FEN ALL JT/RS 101 E UNIVERSITY BLVD APT 17 TUCSON AZ 85705 | | | | |
| 2. | CASTALIA BRADFORD & PATRICIA JT/RS 712 N 7TH AVE TUCSON AZ 85705 | | | | |
| 3. | CHAMBERLIN ROY & JUNE FAMILY TR 907 N 3RD AVE TUCSON AZ 85705 | | | | |
| 4. | CHASE BRIAN M & LANNI JACQUELINE SUSAN JT/RS 329 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 5. | CHOYGUHA JEFFERS 101 E UNIVERSITY BLVD APT 18 TUCSON AZ 85705 | | | | |
| 6. | COCHRAN WILLIAM S & MILLER-COCHRAN SUSAN K CP/RS 925 N 3RD AVE TUCSON AZ 85705 | | | | |



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| 1. | DIAL SHARON M 629 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | DIGIBOY LLC 626 N 6TH AVE TUCSON AZ 85705 | | | | |
| 3. | DOMIN CHRISTOPHER & CHEN TIN-TIN CP/RS 840 N 2ND AVE TUCSON AZ 85705 | | | | |
| 4. | DOMIN FAMILY TR 309 E 1ST ST TUCSON AZ 85705 | | | | |
| 5. | DOOGAN MARGARET BAILEY REVOC LIVING TR 521 E 2ND ST TUCSON AZ 85705 | | | | |
| 6. | DOST WILLIAM R 1045 N 4TH AVE TUCSON AZ 85705 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | EDWARDS MARTHA H & EDWARDS FREDERICK S JT/RS 1005 N 6TH AVE TUCSON AZ 85705 | | | | |
| 2. | EGGERS BRADLEY E & ROMERO ELAINE JT/RS 845 N 4TH AVE TUCSON AZ 85705 | | | | |
| 3. | ELIASON PATRICIA A 940 N 4TH AVE TUCSON AZ 85705 | | | | |
| 4. | ESCOBEDO BERTHA M LOPEZ REVOC TR 326 E 4TH ST TUCSON AZ 85705 | | | | |
| 5. | ESCOBEDO BERTHA M LOPEZ REVOC TR 332 E 4TH ST TUCSON AZ 85705 | | | | |
| 6. | FAJARDO FAMILY REVOC TR 828 N 6TH AVE TUCSON AZ 85705 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | DE JONG LEWIS 614 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | DE MARS LISETTE H 102 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 3. | DECEDENTS TR UNDER THE L' ITALIEN FAMILY TR 5234 N PAPAYA AVE TUCSON AZ 85705 | | | | |
| 4. | DESERT DAY DREAMER LLC 1690 N STONE AVE STE 210 TUCSON AZ 85705 | | | | |
| 5. | DEWEY JANICE L 1046 N 2ND AVE TUCSON AZ 85705 | | | | |
| 6. | DI CAMPLI KYLE N & DICAMPLI TONY C JT/RS 320 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |



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| 1. | DOWNEN JEANNE F 528 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | DSW PROPERTIES I LLC 721 N 3RD AVE TUCSON AZ 85705 | | | | |
| 3. | DSW PROPERTIES II LLC 721 N 3RD AVE TUCSON AZ 85705 | | | | |
| 4. | DSW PROPERTIES III LLC 721 N 3RD AVE TUCSON AZ 85705 | | | | |
| 5. | EAST 6TH STREET LLC 203 W UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 6. | EDWARDS LEASEHOLD EXCHANGE LLC 518 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |



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| 1. | GARCIA JAMES 101 E UNIVERSITY BLVD APT 7 TUCSON AZ 85705 | | | | |
| 2. | GAWLOSKI NICHOLAS A 627 N 7TH AVE TUCSON AZ 85705 | | | | |
| 3. | GLOCK/MACRI LIVING TR 219 E 2ND ST TUCSON AZ 85705 | | | | |
| 4. | GORMAN PATRICK L 233 E HELEN ST TUCSON AZ 85705 | | | | |
| 5. | GOUDINOFF STEPHEN P 637 E 5TH ST TUCSON AZ 85705 | | | | |
| 6. | GRACE FAMILY LIVING TR 1004 N 6TH AVE TUCSON, AZ 85705 | | | | |



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| 1. | HADDAD MELODY & KUHEL MONIKA CP/RS 1001 N 3RD AVE TUCSON AZ 85705 | | | | |
| 2. | HALL DAVID H & HEILMAN BRONWEN JT/RS 603 N 3RD AVE TUCSON AZ 85705 | | | | |
| 3. | HARAYDA MARK A & ALMA R JT/RS 311 E 5TH ST TUCSON AZ 85705 | | | | |
| 4. | HARMAN NORMAN JOHN JR 631 N 5TH AVE TUCSON AZ 85705 | | | | |
| 5. | HAZAN DAVID & ASHLEY CP/RS 705 N 7TH AVE TUCSON AZ 85705 | | | | |
| 6. | HEILMAN BRONWEN W S & HALL DAVID H CP/RS 603 N 3RD AVE TUCSON AZ 85705 | | | | |



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| 1. | FELIPE MICHAEL & GOULD AARON A CP/RS 1037 N 3RD AVE TUCSON AZ 85705 | | | | |
| 2. | FLETCHER RHEA HOLLY 327 E 4TH ST TUCSON AZ 85705 | | | | |
| 3. | FOWLER GREGG 722 N 3RD AVE TUCSON AZ 85705 | | | | |
| 4. | FRANTZ ILENA SMITH 26 E 2ND ST TUCSON AZ 85705 | | | | |
| 5. | FULGENZI FALLON & RSTOVAC ALEXANDER CP/RS 29 E 2ND ST TUCSON AZ 85705 | | | | |
| 6. | GALVIN LYNN M 526 N HOFF AVE TUCSON AZ 85705 | | | | |



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| Postmaster, per (name of receiving employee) <i>Jek</i> | | | | | |
| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | GRAHAM AMANDA K 1021 N 3RD AVE TUCSON AZ 85705 | | | | |
| 2. | GRAHAM COLLEEN R 1041 N 4TH AVE TUCSON AZ 85705 | | | | |
| 3. | GRASSY ISLAND INC 444 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 4. | GRISWOLD SOPHIE E 314 E 2ND ST TUCSON AZ 85705 | | | | |
| 5. | GRYGUTIS JAMES E 528 E 2ND ST TUCSON AZ 85705 | | | | |
| 6. | GUPTA SANS FAMILY TR 941 N 6TH AVE TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | IRELAND JOEL T REVOC TR 939 N 2ND AVE TUCSON AZ 85705 | | | | |
| 2. | J JENNE SHEEP CO LLC 939 N 2ND AVE TUCSON AZ 85705 | | | | |
| 3. | JARVIS VIVIAN D 629 E 5TH ST TUCSON AZ 85705 | | | | |
| 4. | JENSON GEORGE R 1/2 & JENSON GEORGE R & 501 E 1ST ST TUCSON AZ 85705 | | | | |
| 5. | JOHNSON AMY LOUISE & AARON MICHAEL CP/RS 910 N 4TH AVE # 1 TUCSON AZ 85705 | | | | |
| 6. | JOHNSON RONALD J JR 643 N 4TH AVE TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | KENT JUDITH & BAZGAN IOAN DIMITRIE JT/RS 102 E 1ST ST TUCSON AZ 85705 | | | | |
| 2. | KETTLEWELL SUSAN A 610 N 2ND AVE TUCSON AZ 85705 | | | | |
| 3. | KINCAID CHARLES DAVIS 120 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 4. | KIRK DANIEL P & ALYSSA G JT/RS 517 N 3RD AVE TUCSON AZ 85705 | | | | |
| 5. | KISIEL HAYLEY H 425 E 1ST ST TUCSON AZ 85705 | | | | |
| 6. | KITTELSON KAREN 514 N 2ND AVE TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | HENDERSON SCOTT L & KATHERINE ANDREWS CP/RS 529 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | HOGUE PETER K 1029 N 5TH AVE TUCSON AZ 85705 | | | | |
| 3. | HOLPERT PETER ALAN TR 620 E 4TH ST TUCSON AZ 85705 | | | | |
| 4. | HOUSE DAYNA L 101 E UNIVERSITY BLVD APT 9 TUCSON AZ 85705 | | | | |
| 5. | HUNN ROBIN T 332 E 5TH ST TUCSON AZ 85705 | | | | |
| 6. | HUTCHISON SCOT M & JENNIFER S REVOC TR 301 E 4TH ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | JONES CLYDE JAMES & PETERSON SPIKE JT/RS 526 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | JULIANI THOMAS ADAMS BUDD 630 E 2ND ST TUCSON AZ 85705 | | | | |
| 3. | KANE SAMUEL & BETTINA JT/RS 830 N ARIZONA AVE TUCSON AZ 85705 | | | | |
| 4. | KARRA RAMESH & JULIE A CP/RS 1015 N 5TH AVE TUCSON AZ 85705 | | | | |
| 5. | KARSK RICHARD S 311 E 4TH ST TUCSON AZ 85705 | | | | |
| 6. | KEMP BRIAN D 445 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | KUNDE EUGENE R 612 E 2ND ST TUCSON AZ 85705 | | | | |
| 2. | LA BATE JANET PITTS 30 E 1ST ST TUCSON AZ 85705 | | | | |
| 3. | LANGONE BRUEE MARSHALL LIFE ESTATE 1003 N 5TH AVE TUCSON AZ 85705 | | | | |
| 4. | LANGONE KENNETH GERARD JR 1003 N 5TH AVE TUCSON, AZ 85705 | | | | |
| 5. | LANGONE SONDRRA JANE 1007 N 5TH AVE TUCSON AZ 85705 | | | | |
| 6. | LEIGHTON CHRISTOPHER N 727 N 7TH AVE TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | LUKSO MATTHEW KLEIN 103 E 2ND ST TUCSON AZ 85705 | | | | |
| 2. | MAKER CAROL J 503 E 2ND ST TUCSON AZ 85705 | | | | |
| 3. | MARKKULA LISA 830 N 7TH AVE FRNT TUCSON AZ 85705 | | | | |
| 4. | MARKKULA LISA R 830 N 7TH AVE TUCSON AZ 85705 | | | | |
| 5. | MARSTALL JASON 1019 N BEAN AVE TUCSON AZ 85705 | | | | |
| 6. | MARSTELLER ERIC D & ANDRADE MARIA C CP/ RS 920 N 6TH AVE TUCSON AZ 85705 | | | | |


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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | KLEIN JOHN 502 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | KNODLE ROBERT B & LINDA E CP/RS 825 N 3RD AVE TUCSON AZ 85705 | | | | |
| 3. | KOENIG ROBERT S & MARY M JT/RS 304 E 4TH ST TUCSON AZ 85705 | | | | |
| 4. | KOEPKE HUGH P & KOEPKE KELSEY J JT/RS 1056 N HERBERT AVE TUCSON AZ 85705 | | | | |
| 5. | KRAMKOWSKI LLC 616 N 4TH AVE TUCSON AZ 85705 | | | | |
| 6. | KROMKO JOHN 717 N 7TH AVE TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | LEMPERT MANYA & NILSON PETER CP/RS 917 N 3RD AVE TUCSON AZ 85705 | | | | |
| 2. | LESNEY LANCE & LEAH LIVING TR 307 E 5TH ST TUCSON AZ 85705 | | | | |
| 3. | LESNY LANCE S & LEAH M CP/RS 311 E 5TH ST TUCSON AZ 85705 | | | | |
| 4. | LESNY LANCE S & LEAH M JT/RS 307 E 5TH ST TUCSON AZ 85705 | | | | |
| 5. | LESNY LISA M 29 E 4TH ST TUCSON AZ 85705 | | | | |
| 6. | LOPEZ DALE D 616 E 5TH ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | MAY DEBRA L & PURGASON 225 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | MAYERS RICHARD A & SCHAFFER SUZANNE JT/RS 628 N 3RD AVE TUCSON AZ 85705 | | | | |
| 3. | MC CARTHY KEELI MARIE 331 E 5TH ST TUCSON AZ 85705 | | | | |
| 4. | MC DONNELL REVOC LIVING TR & MC DONNELL 127 E 1ST ST TUCSON AZ 85705 | | | | |
| 5. | MC DONNELL RICHARD A & MARCI L CP/RS 505 E 5TH ST TUCSON AZ 85705 | | | | |
| 6. | MC GINNIS SUSAN E 1045 N 3RD AVE TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | MILES SYLVIA JO 619 E 5TH ST TUCSON AZ 85705 | | | | |
| 2. | MILLER GALEN L 1007 N 6TH AVE TUCSON AZ 85705 | | | | |
| 3. | MILNOR ADAM ASH & BUNCH CLAIRE ELIZABETH CP/RS 548 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 4. | MOLINA FERNANDO B & CHRISTINE R CP/RS 620 N 5TH AVE TUCSON AZ 85705 | | | | |
| 5. | MORRISON MELANIE & SCHWARTZ KERRY L JT/ RS 224 E 2ND ST TUCSON AZ 85705 | | | | |
| 6. | MORSE MICHAEL L & SANDRA C 127 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |

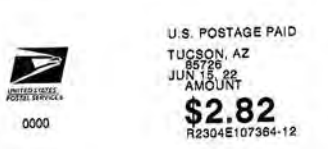
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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | MARTIN CLIFFORD P 317 E 1ST ST TUCSON AZ 85705 | | | | |
| 2. | MARTIN DAVID E & BARBARA L JT/RS 904 N 4TH AVE TUCSON AZ 85705 | | | | |
| 3. | MARTIN HUBERT & JOAN K CP/RS 437 E 1ST ST TUCSON AZ 85705 | | | | |
| 4. | MARTIN LIVING TR 225 E 1ST ST TUCSON AZ 85705 | | | | |
| 5. | MARTINEZ JULIUS E 609 N 3RD AVE TUCSON AZ 85705 | | | | |
| 6. | MATA HERIBERTO P & CELIA I CP/RS 1004 N 6TH AVE TUCSON AZ 85705 | | | | |


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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | MC GRATH MICHAEL & EILEEN ROMER REVOC LIVING TR 937 N 5TH AVE TUCSON AZ 85705 | | | | |
| 2. | MCNEILUS MELINDA A 1/2 & HENDRICKS PENELOPE A 617 E 4TH ST TUCSON AZ 85705 | | | | |
| 3. | MEHRABANI ARDESCHIR 927 N 2ND AVE TUCSON AZ 85705 | | | | |
| 4. | MICHLER JEFFREY & JOSEPHSON ANNA CP/RS 612 E 5TH ST TUCSON AZ 85705 | | | | |
| 5. | MIKELAITIS JOSEPH & EDITH JOSEPHINE CP/RS 512 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 6. | MILES STACIE G 619 E 5TH ST TUCSON AZ 85705 | | | | |

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| 1. | NORTH FOURTH PROPERTIES LLC 833 N 4TH AVE TUCSON AZ 85705 | | | | |
| 2. | NORTHERN LIGHTS LLC 140 E 4TH ST TUCSON AZ 85705 | | | | |
| 3. | NOWICKI CHRISTOPHER & NOWICKI MATTHEW JT/RS 648 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 4. | NUNEZ OSCAR A 101 E UNIVERSITY BLVD APT 4 TUCSON AZ 85705 | | | | |
| 5. | O MALLEY CAROL A LIVING TR 602 N 7TH AVE TUCSON AZ 85705 | | | | |
| 6. | OLAGUE JASON ANDRES 428 E 5TH ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | PITTS ROBERT C & PINZON-PITTS PATRICIA E CP/RS 829 N 5TH AVE TUCSON AZ 85705 | | | | |
| 2. | QUADE JAY & BARBRA A V JT/RS 612 E 1ST ST TUCSON AZ 85705 | | | | |
| 3. | QUIJADA SALVADOR R & WINGATE ADINA RUTH JT/RS 434 E 1ST ST TUCSON AZ 85705 | | | | |
| 4. | QUINN MARGARET MARY REVOC LIVING TR 524 E 4TH ST TUCSON AZ 85705 | | | | |
| 5. | QUINTANAR FEBE Q 518 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 6. | REILLY JEFFREY M 602 E 4TH ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | MOSLEY KURT E & HOFFMANN ANNE M JT/RS 530 E 1ST ST TUCSON AZ 85705 | | | | |
| 2. | MURPHY ROBERT W & ALEXANDRA CP/RS 627 N 6TH AVE TUCSON AZ 85705 | | | | |
| 3. | MUZALL DEIRDRE FRANCES 541 E UNIVERSITY BL TUCSON AZ 85705 | | | | |
| 4. | MYERS ROGER & SIMMONS-MYERS ANN JT/RS 819 N 4TH AVE TUCSON AZ 85705 | | | | |
| 5. | NELSON ARNOLD & MARILYN JT/RS 518 E 1ST ST TUCSON AZ 85705 | | | | |
| 6. | NEUFELD BRENDA G LIVING TR 914 N 4TH AVE TUCSON AZ 85705 | | | | |

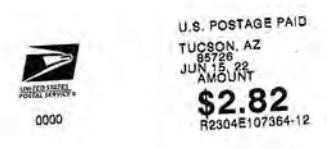
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| 1. | OPPER GARY L & TREIBER PAMELA J CP/RS 236 E 2ND ST TUCSON AZ 85705 | | | | |
| 2. | PEELER STEWART V & ELIZABETH S CP/RS 1035 N 5TH AVE TUCSON AZ 85705 | | | | |
| 3. | PERREAULT THERESE A 901 N 3RD AVE TUCSON AZ 85705 | | | | |
| 4. | PETTIT DIANA S 420 E 4TH ST TUCSON AZ 85705 | | | | |
| 5. | PHILLIPS JAMES & VIOLETA JT/RS 318 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 6. | PIERCE DAVID ERNEST 110 E 2ND ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | ROSS SEAN HENRY 245 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | SANDERS SAM E & GAMBOIAN NANCY L CP/RS 919 N 5TH AVE TUCSON AZ 85705 | | | | |
| 3. | SAXE GREGORY M & SHEERAN OLIVIA JT/RS 615 E 1ST ST TUCSON AZ 85705 | | | | |
| 4. | SCHLESINGER WILLIAM D 510 E 4TH ST UNIT 1 TUCSON AZ 85705 | | | | |
| 5. | SCHOONMAKER SEAN & ELISE CP/RS 219 E 4TH ST TUCSON AZ 85705 | | | | |
| 6. | SCHRAG-TOSO FAMILY TR 112 E 1ST ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | SMITH INVESTMENTS LLC 600 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 2. | SNELL DAVID P & ELIZABETH S JT/RS 627 E 1ST ST TUCSON AZ 85705 | | | | |
| 3. | SOKSER MARKUS LIVING TR 1/2 & 720 N 6TH AVE APT 305 TUCSON AZ 85705 | | | | |
| 4. | SOOTER KIMBERLY C LIVING TR 429 E 6TH ST TUCSON AZ 85705 | | | | |
| 5. | SPICKER LIVING TR 3128 N ESTRELLA AVE TUCSON AZ 85705 | | | | |
| 6. | STAGE LISA 1044 N 4TH AVE TUCSON AZ 85705 | | | | |

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|---|--|--|--|--|----------------|
| Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719 | | TOTAL NO. of Pieces Listed by Sender 6 | TOTAL NO. of Pieces Received at Post Office™ 6 | Affix Stamp Here Postmark with Date of Receipt. | |
| Postmaster, per (name of receiving employee) <i>[Signature]</i> | | | |  <p>U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15 22 AMOUNT \$2.82 R2304E107364-12</p> | |
| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | REX ADAM M & MARIE D JT/RS 211 E 2ND ST TUCSON AZ 85705 | | | | |
| 2. | RHOADS RICHARD S & CARR ERIC K JT/RS 721 N 2ND AVE TUCSON AZ 85705 | | | | |
| 3. | RICHARDSON ELAINE 415 E 2ND ST TUCSON AZ 85705 | | | | |
| 4. | RINGSTON CHRISTOPHER A REVOC TR 643 E 6TH ST TUCSON AZ 85705 | | | | |
| 5. | ROE JADEL L TR 128 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 6. | ROSE WENDELLE A 3115 N FAIRVIEW AVE UNIT 117 TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | SENSIBARRIO NOAH C & JUDITH R JT/RS 624 N 7TH AVE TUCSON AZ 85705 | | | | |
| 2. | SEXTON JAY & RUBY CP/RS 621 N 3RD AVE TUCSON AZ 85705 | | | | |
| 3. | SHELLEN PROPERTIES LLC 25 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 4. | SHEW SHARON 616 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 5. | SHORT DEBRA TRAGER & SHORT MARISSA ELAN JT/RS 1021 N 2ND AVE TUCSON AZ 85705 | | | | |
| 6. | SMALL JOANNE 512 E 2ND ST TUCSON AZ 85705 | | | | |

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| 1. | SVENSON GARY E 522 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | TADEO JULIETTE THERESE 118 E 1ST ST TUCSON AZ 85705 | | | | |
| 3. | TANNER BERNADETTE 935 N 6TH AVE TUCSON AZ 85705 | | | | |
| 4. | TANZILLO FAMILY TR 901 N 6TH AVE TUCSON AZ 85705 | | | | |
| 5. | TAYLOR MARGARET JEAN SHENK 700 N 6TH AVE TUCSON AZ 85705 | | | | |
| 6. | THOMAS JEFFERSON W & PARRY ADRIENNE R CP/RS 341 E 1ST ST TUCSON AZ 85705 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | UNIVERSITY CITY CHURCH 604 N 6TH AVE TUCSON AZ 85705 | | | | |
| 2. | URBANIAK SHANE & URBANIAK DAVID 924 N 3RD AVE TUCSON AZ 85705 | | | | |
| 3. | VAN LEEUWEN WILLEM & CHAVARRIA SARA CP/RS 729 N 6TH AVE TUCSON AZ 85705 | | | | |
| 4. | VAZQUEZ MIGUEL I & GONZALEZ LIZBETH CP/RS 632 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 5. | VERNON BENJAMIN & JULIE CP/RS 312 E 2ND ST TUCSON AZ 85705 | | | | |
| 6. | VERSON JOSHUA M 1040 N ARIZONA AVE TUCSON AZ 85705 | | | | |

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| 1. | STEELE-HABERLY LISA & HABERLY JEFFREY CP/RS 245 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 2. | STEPHAN ROBERT P & MONTGOMERY LINDSAY M JT/RS 708 N ARIZONA AVE TUCSON AZ 85705 | | | | |
| 3. | STERNBERG MITCH 1022 N BEAN AVE TUCSON AZ 85705 | | | | |
| 4. | STITZ MICHELLE 317 E 5TH ST TUCSON AZ 85705 | | | | |
| 5. | STONER GREGORY & O SULLIVAN THERESA 911 N 2ND AVE TUCSON AZ 85705 | | | | |
| 6. | STRATFORD HERBERT R IV & KERRY L CP/RS 308 E 2ND ST TUCSON AZ 85705 | | | | |

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| 1. | TINDELL JOAN E 432 E 4TH ST TUCSON AZ 85705 | | | | |
| 2. | TOMA MICHAEL J 237 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 3. | TOMAT ELISA & HOE WARREN CP/RS 608 E 4TH ST TUCSON AZ 85705 | | | | |
| 4. | TRINITY CHURCH PRESBYTERIAN OF TUCSON 400 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 5. | TROUTMAN FAMILY REVOC TR 2742 W CARNAUBA ST TUCSON AZ 85705 | | | | |
| 6. | TURNER DAMON C & GLOVER LENOR A LIVING TR 335 E 4TH ST TUCSON AZ 85705 | | | | |



Certificate of Mailing — Firm

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| 1. | WEINSTEIN SUZANNE & WEINSTEIN TERESA F JT/RS 515 E 2ND ST TUCSON AZ 85705 | | | | |
| 2. | WEISHEIT WESLEY 436 E SPEEDWAY BLVD TUCSON AZ 85705 | | | | |
| 3. | WEST KAREN K 728 N BEAN AVE APT 2 TUCSON AZ 85705 | | | | |
| 4. | WHEELWRIGHT MARY 237 E 4TH ST TUCSON AZ 85705 | | | | |
| 5. | WILLIAMS JILL M & APICELLA MORGAN B G JT/RS 911 N 6TH AVE TUCSON AZ 85705 | | | | |
| 6. | WILLIAMS RICKY E & CARA CP/RS 205 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |



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| 1. | JENDAL LLC 907 N ROBB HILL PL TUCSON AZ 85710 | | | | |
| 2. | JUNIOR VILLAGE LLC 6831 E BAKER ST TUCSON AZ 85710 | | | | |
| 3. | STRONG PAULINE TR 830 N HAYDEN DR TUCSON AZ 85710 | | | | |
| 4. | BAHAY LLC 5720 E 8TH ST TUCSON AZ 85711 | | | | |
| 5. | BGP LLC 4400 E BROADWAY BLVD STE 516 TUCSON AZ 85711 | | | | |
| 6. | BRADY CHRISTINA 5755 E 4TH ST TUCSON AZ 85711 | | | | |



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| 1. | VILLEGAS JOSE R & CARMEN M JT/RS 939 N 7TH AVE TUCSON AZ 85705 | | | | |
| 2. | VINEYARD CHRISTIAN COMMUNITY INC 625 N 2ND AVE TUCSON AZ 85705 | | | | |
| 3. | WADE NATHAN THOMAS 116 E 2ND ST TUCSON AZ 85705 | | | | |
| 4. | WARFIELD TIMOTHY MERRIS & RUSK SARA MARGARET 1030 N 4TH AVE TUCSON AZ 85705 | | | | |
| 5. | WARREN LARRIE 1010 N 7TH AVE TUCSON AZ 85705 | | | | |
| 6. | WATTS NICHOLAS JAMES 630 E HARVILL DR UNIT 205 TUCSON AZ 85705 | | | | |



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| 1. | WILSON RICHARD P & CARLOTA L JT/RS 305 E UNIVERSITY BLVD TUCSON AZ 85705 | | | | |
| 2. | WILSON RICHARD PAGE & CARLOTA L JT/RS 305 E UNIVERSITY BLVD APT G TUCSON AZ 85705 | | | | |
| 3. | ZIMMERMAN CARL K 950 N 6TH AVE TUCSON AZ 85705 | | | | |
| 4. | ER PEREZ FAMILY REALTY TR 5111 S GREENWAY DR TUCSON AZ 85706 | | | | |
| 5. | AMHERST CLUB HOMEOWNERS ASSOC INC 8755 E BROADWAY BLVD TUCSON AZ 85710 | | | | |
| 6. | FICKE FRITZ A & LEAH A CP/RS 9167 E COCKLEBERRY LN TUCSON AZ 85710 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | |
| 1. | KMS ENTERPRISES LLC 5225 E PIMA ST TUCSON AZ 85712 | | | | | |
| 2. | ORIENT PHYLLIS A & ORIENT WILLIAM L TR 5171 E PEACH ST TUCSON AZ 85712 | | | | | |
| 3. | PODOLSKY WILLIAM I 3048 N PALOMINO PARK LOOP TUCSON AZ 85712 | | | | | |
| 4. | GARCIA NANCY FREGOSO DE 1697 E SAINT JOAN OF ARC DR TUCSON AZ 85713 | | | | | |
| 5. | HOCHULI PETER WATT 2335 E AJO WAY TUCSON AZ 85713 | | | | | |
| 6. | BARBEE MIKE & AMY CP/RS 9140 E CANYON TERRACE DR TUCSON AZ 85715 | | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | |
| 1. | KEAHON JOHN D & VALERIE ESTRADA JT/RS 3418 N FOX AVE TUCSON AZ 85716 | | | | | |
| 2. | LMLN PROPERTIES LLC 2618 E DEVON ST TUCSON AZ 85716 | | | | | |
| 3. | MANDRACCHIA MICHELLE M 3875 N COUNTRY CLUB RD APT 314 TUCSON AZ 85716 | | | | | |
| 4. | O DOWD JOHN S & CLAIRE M REVOCABLE TR 2819 E LISBON PL TUCSON AZ 85716 | | | | | |
| 5. | PIMA MONTHLY MEETING HOLDING COMPANY 3301 E LESTER ST TUCSON AZ 85716 | | | | | |
| 6. | RUIZ ANGELA B & JORGE CP/RS 515 S AVENIDA DE PALMAS TUCSON AZ 85716 | | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | |
| 1. | LUCIANO J A & C J TR 214 S CALLE DE MADRID TUCSON AZ 85711 | | | | | |
| 2. | BBV INVESTMENT LIMITED PARTNERSHIP LLLP 5633 E GRANT RD TUCSON AZ 85712 | | | | | |
| 3. | BOURKE ELIZABETH & BOURKE KAREN JT/RS 1230 B BELVEDERE AVE TUCSON AZ 85712 | | | | | |
| 4. | COMMON GROUND PROPERTIES LLC 4542 E CAMP LOWELL DR STE 100 TUCSON AZ 85712 | | | | | |
| 5. | ECHO PROPERTIES INC 1625 N ALVERNON WAY STE 104 TUCSON AZ 85712 | | | | | |
| 6. | KMS CV 2 LLC 5225 E PIMA ST TUCSON AZ 85712 | | | | | |



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| 1. | ORCUTT FAMILY TR 3221 N SAN SEBASTIAN TUCSON AZ 85715 | | | | | |
| 2. | RO BRO LLC 6761 E TANQUE VERDE STE 7 TUCSON AZ 85715 | | | | | |
| 3. | SILVERS STEVEN G & DERI B CP/RS 8026 E MAGGIE CT TUCSON AZ 85715 | | | | | |
| 4. | COPPER UNIVERSITY LLC 2709 E 8TH ST TUCSON AZ 85716 | | | | | |
| 5. | CROW JOHN H FAMILY TR 727 N TREAT AVE TUCSON AZ 85716 | | | | | |
| 6. | JONES RUSSELL 3401 E WAVERLY ST TUCSON AZ 85716 | | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | LFBR LLC PO BOX 40933 TUCSON AZ 85717 | | | | |
| 2. | MOUGEOT FAMILY TR PO BOX 41564 TUCSON AZ 85717 | | | | |
| 3. | MY BEST HOME EVER LLC PO BOX 40070 TUCSON AZ 85717 | | | | |
| 4. | PLAGMAN CAROL E PO BOX 40492 TUCSON AZ 85717 | | | | |
| 5. | PLAGMAN CAROL ESTHER PO BOX 40492 TUCSON AZ 85717 | | | | |
| 6. | SARR INVESTMENTS LLC PO BOX 40724 TUCSON AZ 85717 | | | | |

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| 1. | DIAMOND DAVID J & DIANE L CP/RS 4850 N CAMINO ESCUELA TUCSON AZ 85718 | | | | |
| 2. | DURANDO MICHAEL & SHAHED CP/RS 6902 N TABLE MOUNTAIN RD TUCSON AZ 85718 | | | | |
| 3. | FLEMING ROBERT B & RHONDA R TR 1745 E RIVER RD STE 101 TUCSON AZ 85718 | | | | |
| 4. | GANAPOL PROPERTIES LLC 1820 E CALLE DEL CIELO TUCSON AZ 85718 | | | | |
| 5. | GREEN JAMES ARTHUR 6741 N PLACITA MANZANITA TUCSON AZ 85718 | | | | |
| 6. | HOLLINS PATRICK 4621 E DON JOSE DR TUCSON AZ 85718 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | TIERS DAVID P & BREEMS SUE ANN LIVING TR 4107 N CACTUS BLVD TUCSON AZ 85716 | | | | |
| 2. | TIERS DAVID PATRICK & BREEMS SUE ANN LIVING TR 4107 N CACTUS BLVD TUCSON AZ 85716 | | | | |
| 3. | WHITE JOSHUA & ESTERSON JAMES & LEMIEUX 433 S STRATFORD DR TUCSON AZ 85716 | | | | |
| 4. | COHN JULIE J PO BOX 40727 TUCSON AZ 85717 | | | | |
| 5. | DAWS JOHN THOMAS PO BOX 41913 TUCSON AZ 85717 | | | | |
| 6. | DILLER JAMES L & SHEILA M KAHLE CP/RS PO BOX 40367 TUCSON AZ 85717 | | | | |

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| 1. | A1 COMP TEAL LLC 6761 N PLACITA BELLA TUCSON AZ 85718 | | | | |
| 2. | AL-RASHID ZULEMA & AL-RASHID ALIA & 6531 N CAMINO KATRINA TUCSON AZ 85718 | | | | |
| 3. | BEAN STREET INVESTMENTS LLC 5781 N CAMINO DEL SOL TUCSON AZ 85718 | | | | |
| 4. | BULLOCK DAVID H & JANICE M CP/RS 4911 N CAMINO LUZ TUCSON AZ 85718 | | | | |
| 5. | CARLAT STEPHEN P REVOC TR 3220 E VIA CELESTE TUCSON AZ 85718 | | | | |
| 6. | CHANDLER DEE TR 6616 N CALLE PADRE FELIPE TUCSON AZ 85718 | | | | |

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| 1. | MATTHEWS JOHNNA & NEWELL MORRISON 2420 E CAMINO MIRAVAL TUCSON AZ 85718 | | | | |
| 2. | MHA LLC 6246 N CALLE DEL HALCON TUCSON AZ 85718 | | | | |
| 3. | NICHOLS CATHERINE ANN 4556 N FLECHA DR TUCSON AZ 85718 | | | | |
| 4. | PONGRATZ ANDREW & ANDREA CP/RS 6641 N SKYWAY RD TUCSON AZ 85718 | | | | |
| 5. | RC & C PARTNERSHIP 1701 E CALLE DEL CIELO TUCSON AZ 85718 | | | | |
| 6. | ROTH HOWARD B & MARY M JT/RS 7461 N MOUNTAIN SHADOWS DR TUCSON AZ 85718 | | | | |

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| 1. | AJ & J CP TR 2261 E MABEL ST TUCSON AZ 85719 | | | | |
| 2. | ALEXANDER MARY J 1710 E WAVERLY ST TUCSON AZ 85719 | | | | |
| 3. | ARAIZA CRISOLFO R & MARY ANN REVOC TR 740 E 4TH ST TUCSON AZ 85719 | | | | |
| 4. | ARIZONA BOARD OF REGENTS 220 W 6TH ST PO BOX 210300 TUCSON AZ 85719 | | | | |
| 5. | BARNES JACQUELINE 734 E 4TH ST TUCSON AZ 85719 | | | | |
| 6. | BELYANI-NGUYEN FAMILY LIVING TR 701 E 1ST ST TUCSON AZ 85719 | | | | |

| Name and Address of Sender Rob Paulus Rob Paulus Architects 990 East 17th Street Suite 100 Tucson, Arizona 85719 | | TOTAL NO. of Pieces Listed by Sender 6 | TOTAL NO. of Pieces Received at Post Office™ 6 | Affix Stamp Here <i>Postmark with Date of Receipt.</i> | |
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| Postmaster, per (name of receiving employee) Jek | | | |  | |
| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | KAPPA ALPHA GAMMA EPSILON HOUSE CORP 4319 N VIA BELLAS CATALINAS TUCSON AZ 85718 | | | | |
| 2. | KEEN SUEY GEE & DEANNA L SUN PING GEE 6326 N VIA LOMAS DE PALOMA TUCSON AZ 85718 | | | | |
| 3. | KS & DL GEE TR 6326 N VIA LOMAS DE PALOMA TUCSON AZ 85718 | | | | |
| 4. | LACY R FAMILY LP 7324 N CAMINO SIN VACAS TUCSON AZ 85718 | | | | |
| 5. | LARSON LANE ESTATE OF & LARSON WANDA 3449 E RIVER RD TUCSON AZ 85718 | | | | |
| 6. | MALUSA RUDOLPH J & PATRICIA A TR 5220 E CALLE DEL CIERVO TUCSON AZ 85718 | | | | |

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| 1. | SARLOT EYDE LIVING TR 4639 E CAMINO DE ORO TUCSON AZ 85718 | | | | |
| 2. | SCHINDLER SETH & DITTEMORE DIANE & 5110 N CAMPBELL AVE TUCSON AZ 85718 | | | | |
| 3. | WONDERS WILLIAM K & JUDITH A TR 2941 E PLAZA ENCANTADA TUCSON AZ 85718 | | | | |
| 4. | 724 CM LLC 507 N CAMPBELL AVE STE 111 TUCSON AZ 85719 | | | | |
| 5. | 724 CM LLC 724 E UNIVERSITY BLVD TUCSON AZ 85719 | | | | |
| 6. | AGGIE HOUSE INC 819 N EUCLID AVE TUCSON AZ 85719 | | | | |



Certificate of Mailing — Firm

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| Postmaster, per (name of receiving employee) JPK | | U.S. POSTAGE PAID TUCSON, AZ 85726 JUN 15 22 AMOUNT \$2.82 R2304E107364-12 | | | | | |
| USPS® Tracking Number Firm-specific Identifier | | | | | Address (Name, Street, City, State, and ZIP Code™) | | Postage |
| 1. | | CULLEN THERESA ANN 230 N SIERRA VISTA DR TUCSON AZ 85719 | | | | | |
| 2. | | DE LORENZO ANTHONY FRANCIS JR & 728 E 4TH ST TUCSON AZ 85719 | | | | | |
| 3. | | DENNIS KEITH A & BRENDA A CP/RS 726 E 5TH ST TUCSON AZ 85719 | | | | | |
| 4. | | DISHON JAMES 1830 E BROADWAY BLVD STE 124 PMB 137 TUCSON AZ 85719 | | | | | |
| 5. | | DOWNER WALLIS 2327 E 3RD ST TUCSON AZ 85719 | | | | | |
| 6. | | EUCLID WEST UNIV LLC 701 N EUCLID AVE TUCSON AZ 85719 | | | | | |



Certificate of Mailing — Firm

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| USPS® Tracking Number Firm-specific Identifier | | | | | Address (Name, Street, City, State, and ZIP Code™) | | Postage |
| 1. | | GREGERMAN DEBRA 633 N 1ST AVE TUCSON AZ 85719 | | | | | |
| 2. | | HARRINGTON RYAN & NACHTRAB LAURA 927 N 1ST AVE TUCSON AZ 85719 | | | | | |
| 3. | | HARRITY MICHAEL M 1918 E GREENLEE RD TUCSON AZ 85719 | | | | | |
| 4. | | HAYNES GEORGE L & VESELKO-HAYNES 1071 E SENECA ST TUCSON AZ 85719 | | | | | |
| 5. | | HEALY WILLIAM TIMOTHY JR 3719 N CAMPBELL AVE TUCSON AZ 85719 | | | | | |
| 6. | | JARAMILLO AMBROSIO M & LUCY JT/RS 837 N 1ST AVE TUCSON AZ 85719 | | | | | |



Certificate of Mailing — Firm

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| USPS® Tracking Number Firm-specific Identifier | | | | | Address (Name, Street, City, State, and ZIP Code™) | | Postage |
| 1. | | BERNARD HOLDINGS LLC 2317 N MARTIN AVE TUCSON AZ 85719 | | | | | |
| 2. | | BLY JAMES F & MARGARET E CP/RS 730 N 1ST AVE TUCSON AZ 85719 | | | | | |
| 3. | | BROWN RICHARD MONFORT LANGFORD REVOC TR 3736 N JACKSON AVE TUCSON AZ 85719 | | | | | |
| 4. | | CHADWICK SHARON E & CAHWICK DOUGLAS P JT/RS 832 E 7TH ST TUCSON AZ 85719 | | | | | |
| 5. | | CORCORAN KATHY L & IRWIN LAUREL A & CORCORAN 728 N 1ST AVE TUCSON AZ 85719 | | | | | |
| 6. | | COWAN STEVEN J & LAI BELINDA M JT/RS 1322 E MILES ST TUCSON AZ 85719 | | | | | |



Certificate of Mailing — Firm

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| USPS® Tracking Number Firm-specific Identifier | | | | | Address (Name, Street, City, State, and ZIP Code™) | | Postage |
| 1. | | FIRST CHRISTIAN CHURCH 740 E SPEEDWAY BLVD TUCSON AZ 85719 | | | | | |
| 2. | | FIRST UNITED METHODIST CHURCH OF TUCSON 915 E 4TH ST TUCSON AZ 85719 | | | | | |
| 3. | | FITZPATRICK FINDLEY & TOMIZUKA FRANK & 2046 E 4TH ST TUCSON AZ 85719 | | | | | |
| 4. | | GARREN BENJAMIN 715 1/2 E 5TH ST TUCSON AZ 85719 | | | | | |
| 5. | | GISCOMBE MICHAEL & MEGGITT JOAN REVOC TR TUCSON AZ TUCSON AZ 85719 | | | | | |
| 6. | | GRACE EVANGELICAL LUTHERAN CHURCH 830 N 1ST AVE TUCSON AZ 85719 | | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | MARSHALL FOUNDATION 814 E UNIVERSITY BLVD TUCSON AZ 85719 | | | | |
| 2. | MC DONALD NANCY 704 N 1ST AVE TUCSON AZ 85719 | | | | |
| 3. | MILLER KATHY GIOKARIS 717 E 6TH ST TUCSON AZ 85719 | | | | |
| 4. | MISIAK CHRISTOPHER RYAN 746 E 4TH ST TUCSON AZ 85719 | | | | |
| 5. | O MALLEY ROBERT F 1616 E EDISON ST TUCSON AZ 85719 | | | | |
| 6. | PATTERSON JOHN DAVID & DAVENPORT JEANNE 720 E UNIVERSITY BLVD TUCSON AZ 85719 | | | | |

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| 1. | SPAULDING RICHARD GUY 709 E 5TH ST TUCSON AZ 85719 | | | | |
| 2. | STOKES EDWARD G & LISA C CP/RS 2030 E 4TH ST TUCSON AZ 85719 | | | | |
| 3. | TUCSON RESIDENTIAL LLC 2030 E BROADWAY BLVD STE 22 TUCSON AZ 85719 | | | | |
| 4. | URIE KENNETH HORNER & SUSAN HORNER CP/RS 633 N EUCLID AVE TUCSON AZ 85719 | | | | |
| 5. | WERCHAN HENRY A & BRIDGET R JT/RS 715 E UNIVERSITY BLVD TUCSON AZ 85719 | | | | |
| 6. | WEST MAIN GATE CENTER LLC 814 E UNIVERSITY BLVD TUCSON AZ 85719 | | | | |

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| 1. | KAUFMAN ASHER & NICHOLS CATHERINE ANN CP/RS 1030 N 1ST AVE TUCSON AZ 85719 | | | | |
| 2. | KNIFE DEAN H 727 E 6TH ST TUCSON AZ 85719 | | | | |
| 3. | LAUFFER EURA R & DIANE C JT/RS 728 E 5TH ST TUCSON AZ 85719 | | | | |
| 4. | LITTLE VALEDA LEE 634 N 1ST AVE TUCSON AZ 85719 | | | | |
| 5. | LUND RAY E 126 N 1ST AVE TUCSON AZ 85719 | | | | |
| 6. | MARSH VAN SLYKE LIVING TR 707 E 1ST ST TUCSON AZ 85719 | | | | |

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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | POSTAL HISTORY FOUNDATION INC 920 N 1ST AVE TUCSON AZ 85719 | | | | |
| 2. | REDESIGN BY BLASER LLC 1745 E GLENN ST APT 227 TUCSON AZ 85719 | | | | |
| 3. | RILEY ROBIN M 2035 E 5TH ST TUCSON AZ 85719 | | | | |
| 4. | SALAIZ DEBRA S & TWYLA & SALAIZ GRACE S JT/RS 1332 E HAMPTON ST TUCSON AZ 85719 | | | | |
| 5. | SEA TAB LLC 870 E UNIVERSITY BLVD TUCSON AZ 85719 | | | | |
| 6. | SENSIBARRIO LLC 1050 S TYNDALL AVE TUCSON AZ 85719 | | | | |



Certificate of Mailing — Firm

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| Postmaster, per (name of receiving employee) JPK | | | | U.S. POSTAGE PAID TUCSON, AZ 85728 JUN 15 22 AMOUNT \$2.82 R2304E107384-12 | |
| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | BTFD REVOC TR PO BOX 65256 TUCSON AZ 85728 | | | | |
| 2. | MAGIONE SANDRA J PO BOX 65303 TUCSON AZ 85728 | | | | |
| 3. | MAGLIONE JOSEPH A PO BOX 64224 TUCSON AZ 85728 | | | | |
| 4. | WESTPLEX LLC PO BOX 65328 TUCSON AZ 85728 | | | | |
| 5. | GECKO UNIVERSITY LLC 10650 E PANTANO TRL TUCSON AZ 85730 | | | | |
| 6. | TEAM TUCSON PROPERTIES LLC 11550 E PANTANO TRL TUCSON AZ 85730 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | BESINGER BARBARA IRREVOC TR NO. 201 PO BOX 36163 TUCSON AZ 85740 | | | | |
| 2. | DENIA SKIES LLC PO BOX 36071 TUCSON AZ 85740 | | | | |
| 3. | DEVLIN BRIAN C PO BOX 36434 TUCSON AZ 85740 | | | | |
| 4. | DEVLIN GARY P PO BOX 36434 TUCSON AZ 85740 | | | | |
| 5. | GOULD FAMILY PROPERTIES VIII LLC PO BOX 36163 TUCSON AZ 85740 | | | | |
| 6. | HOEFLE FAMILY TR PO BOX 35451 TUCSON AZ 85740 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | WILHELM TAMARA PRIME 1023 N 1ST AVE TUCSON AZ 85719 | | | | |
| 2. | WILLIAMS MATTHEW 528 N 1ST AVE TUCSON AZ 85719 | | | | |
| 3. | WOLFE GOLDRING LLC 1221 E ADAMS ST OFC G TUCSON AZ 85719 | | | | |
| 4. | YODER DAVID K & KELLY L JT/RS 731 E 4TH ST TUCSON AZ 85719 | | | | |
| 5. | YORDANI ARTHUR & BAUER MARGUERITE JT/RS 715 E 4TH ST TUCSON AZ 85719 | | | | |
| 6. | CITY OF TUCSON PO BOX 27210 TUCSON AZ 85726 | | | | |



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| 1. | 935-1 TR PO BOX 18075 TUCSON AZ 85731 | | | | |
| 2. | WEST UNIVERSITY COURT HOA PO BOX 57610 TUCSON AZ 85732 | | | | |
| 3. | DONALDSON AMRIT PO BOX 43698 TUCSON AZ 85733 | | | | |
| 4. | JBR PROPERTIES LLC PO BOX 44297 TUCSON AZ 85733 | | | | |
| 5. | LOFTS ON 6TH LLC PO BOX 43025 TUCSON AZ 85733 | | | | |
| 6. | DEMING FAMILY TR 13930 N SUTHERLAND TRL TUCSON AZ 85739 | | | | |



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| 1. | 127 E 2ND LLC 7781 N WADE RD TUCSON AZ 85743 | | | | |
| 2. | 623 E 4TH LLC 7781 N WADE RD TUCSON AZ 85743 | | | | |
| 3. | FLORES FAMILY TR 8287 N ROCKY BROOK DR TUCSON AZ 85743 | | | | |
| 4. | FOUNDAS-DAWSON FAMILY LIVING TR 4888 W SUNSET RD TUCSON AZ 85743 | | | | |
| 5. | CASTILLO-REINA DIANA ERENDIRA & MARKOVICH 2710 N SUNDANCE TRL TUCSON AZ 85745 | | | | |
| 6. | CHAMORRO ALBERTO & MARIA FERNANDA CP/ RS 4236 W CALVA DRAW PL TUCSON AZ 85745 | | | | |



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| 1. | UNIVERSITY AREA RENTALS LLC 2010 W ANKLAM RD STE 100 TUCSON AZ 85745 | | | | |
| 2. | BROWN LARRY W & KATHLEEN L TR 50% & BROWN TOM L 1630 W COMMERCE CT TUCSON AZ 85746 | | | | |
| 3. | BROWN TOM L & PATRICIA Y CORDERO JT/RS 1630 W COMMERCE CT TUCSON AZ 85746 | | | | |
| 4. | KIRSHY LIVING TR 656 S LUCINDA DR TUCSON AZ 85748 | | | | |
| 5. | LIU NAI LIN 11601 E SPEEDWAY BLVD TUCSON AZ 85748 | | | | |
| 6. | BLAIR DAVID 2696 N MEGAFUNA CT TUCSON AZ 85749 | | | | |



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| 1. | WHARTON DONALD J & JULIA K REVOC LIVING TR 6440 N PLACITA DE ONA TUCSON AZ 85741 | | | | |
| 2. | 1043 N 2ND LLC 10979 N DELPHINUS ST ORO VALLEY AZ 85742 | | | | |
| 3. | NGUYEN SID & NGUYEN QUYEN JT/RS 2628 W MYSTIC MOUNTAIN DR TUCSON AZ 85742 | | | | |
| 4. | RCRA VENTURES LLC PO BOX 206 TUCSON AZ 85742 | | | | |
| 5. | SELAHS HOME LLC 8732 N MAYA CT TUCSON AZ 85742 | | | | |
| 6. | 1026 N 5TH LLC 7781 N WADE RD TUCSON AZ 85743 | | | | |



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| 1. | CR4 PROPERTIES LLC 5465 W SWEETWATER DR TUCSON AZ 85745 | | | | |
| 2. | KORMASH FAMILY TR 3020 W CALLE PAULO TUCSON AZ 85745 | | | | |
| 3. | NICHOLS CHRISTOPHER B & MARY H JT/RS 2491 N CAMINO DE OESTE TUCSON AZ 85745 | | | | |
| 4. | ORTIZ RICARDO LEON 4121 W EL CAMINO DEL CERRO TUCSON AZ 85745 | | | | |
| 5. | PEREZ SHIVA ROHANI & NATHAN P CP/RS 5121 W SALERNO DR TUCSON AZ 85745 | | | | |
| 6. | POLACHEK JOSHUA & UGULETHU MOYO CP/RS 4530 W CAMINO PINTORESCO TUCSON AZ 85745 | | | | |

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| 1. | 622 SECOND STREET LLC 4981 N FORT VERDE TRL TUCSON AZ 85750 | | | | |
| 2. | GOULD FAMILY PROPERTIES VIII LLC 8571 E HILLWOOD LN TUCSON AZ 85750 | | | | |
| 3. | LANE ROBERT 4132 N CALLE VISTA CIUDAD TUCSON AZ 85750 | | | | |
| 4. | LINDEN EDWARD A DECEDENTS TR 4895 N VENTANA RIDGE PL TUCSON AZ 85750 | | | | |
| 5. | MARTINEZ LIV TR 6979 E WILD CANYON PL TUCSON AZ 85750 | | | | |
| 6. | SICE-SWEGER FAMILY TR 4835 N PASEO SONOYTA TUCSON AZ 85750 | | | | |

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| 1. | BLYTHE M A TR PO BOX 85141 TUCSON AZ 85754 | | | | |
| 2. | BOYER FAMILY TR 12351 N SUNKIST SPRINGS PL TUCSON AZ 85755 | | | | |
| 3. | WUN1V123 LLC 12351 N SUNKIST SPRINGS PL TUCSON AZ 85755 | | | | |
| 4. | VALENCIA PAULA CATHERINE 7003 S CATCHFLY CT TUCSON AZ 85756 | | | | |
| 5. | DOSKICZ JOHN H & JULIE CP/RS 3016 W FOOTHILLS WAY FLAGSTAFF AZ 86001 | | | | |
| 6. | LEHN FAMILY TR 2299 S ROCKING HORSE LN FLAGSTAFF AZ 86001 | | | | |

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| 1. | CHILCOTE BRADLEY T & KERRY S JT/RS 1800 N FORTY NINER DR TUCSON AZ 85749 | | | | |
| 2. | COSGROVE ELIZABETH LIVING TR 3921 N SMOKEY TOPAZ TUCSON AZ 85749 | | | | |
| 3. | DAVID BLAIR 2696 N MEGAFUNA CT TUCSON AZ 85749 | | | | |
| 4. | DAVID MC CALL LLC 2211 N CONESTOGA AVE TUCSON AZ 85749 | | | | |
| 5. | SAWYER COLISTIA REVOC TR 3100 N SANTA ANA LN TUCSON AZ 85749 | | | | |
| 6. | TYLER ZACHARY RANDOLPH & HEATHER NICOLE & RANDALL 12320 E SUTTER MILL ST TUCSON AZ 85749 | | | | |

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| 1. | STONE MOUNTAIN INVESTMENTS LLC 4874 N TERRITORY LOOP TUCSON AZ 85750 | | | | |
| 2. | VECCHIARELLI ROSE & VECCHIARELLI 6361 N PLACITA ALTA REPOSA TUCSON AZ 85750 | | | | |
| 3. | CAPITAL SOURCE FINANCIAL LLC PO BOX 30817 TUCSON AZ 85751 | | | | |
| 4. | LUMM RANDOLPH S & ESTHER D PO BOX 30337 TUCSON AZ 85751 | | | | |
| 5. | MOON FAMILY PROPERTIES LLC PO BOX 30817 TUCSON AZ 85751 | | | | |
| 6. | MORNING STAR PROPERTY MANAGEMENT LLC PO BOX 30817 TUCSON AZ 85751 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | BELLA VISTA VENTURES LLC 3225 MCLEOD DR # 777 LAS VEGAS NV 89121 | | | | |
| 2. | SCHROEDER KURT C TR & SCHROEDER 2129 CAMDEN AVE LOS ANGELES CA 90025 | | | | |
| 3. | DENISSEN MURDOCK TR 3025 ST GEORGE ST LOS ANGELES CA 90027 | | | | |
| 4. | TUDISCO-SADACCA ISABELLA PILAR PO BOX 27625 LOS ANGELES CA 90027 | | | | |
| 5. | QUINN JEFFREY C 112 N DETROIT ST LOS ANGELES CA 90036 | | | | |
| 6. | LINDALE TUCSON LLC 50% & M LOFTS TUCSON LLC 50% 12100 W OLYMPIC BLVD STE 350 LOS ANGELES CA 90064 | | | | |



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| 1. | ROSS CAPITAL LLC 21250 CALIFA ST STE 216 WOODLAND HILLS CA 91367 | | | | |
| 2. | CHASSEN BENJAMIN M & MOLLY JT/RS 50% & SCHEIDEMAN 16021 MARTINCOIT RD POWAY CA 92064 | | | | |
| 3. | BONANNO JOHN P & ADABEL P CP/RS 7240 CAMINO DE ARRIBA RANCHO SANTA FE CA 92067 | | | | |
| 4. | DELTA BETA HOUSE LLC 7969 ENGINEER RD STE 108 SAN DIEGO CA 92111 | | | | |
| 5. | SANTA CRUZ RAFAELA M 6280 LAKE ARROWHEAD DR SAN DIEGO CA 92119 | | | | |
| 6. | RICHARDS MATTHEW H 1/2 & RICHARDS JASON 1/4 & 6749 TOP GUN ST STE 104 SAN DIEGO CA 92121 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift |
| 1. | MOLINE ANGELA 1718 N MESA DR FLAGSTAFF AZ 86001 | | | | |
| 2. | ROBERTSON LYNN E & KRISTINE L JT/RS PO BOX 847 WINSLOW AZ 86047 | | | | |
| 3. | RUSK LIVING TR 4722 TURNSTONE DR PRESCOTT AZ 86301 | | | | |
| 4. | WALTERS FAMILY TR 2147 W ASPEN ACRES DR PRESCOTT AZ 86303 | | | | |
| 5. | SOUTHERLAND GROUP LLC 13995 N THUNDERBIRD RD PRESCOTT AZ 86305 | | | | |
| 6. | WARD CHERYL L & MATTHES DONALD T JT/RS 707 W HILL ST SILVER CITY NM 88061 | | | | |



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| 1. | TORCHIN RODERICK R & MICHELLE CP/RS 12678 DEWEY ST LOS ANGELES CA 90066 | | | | |
| 2. | WILDCAT REALTY INVESTMENTS LLC 1295 OZETA TER WEST HOLLYWOOD CA 90069 | | | | |
| 3. | NELSON KEVIN 4930 BELOIT AVE CULVER CITY CA 90230 | | | | |
| 4. | LINK APARTMENTS LLC 1334 PARK VIEW AVE STE 100 MANHATTAN BEACH CA 90266 | | | | |
| 5. | BERNARD HOLDINGS LLC 32210 PHANTOM DR RANCHO PALOS VERDES CA 90275 | | | | |
| 6. | 7TH DAY PROPERTY LLC 17525 VENTURA BLVD STE 312 ENCINO CA 91316 | | | | |



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|---|--|---------|-----|------------------|----------------|
| 1. | PYT PROPERTIES LLC 301 E CARRILLO ST STE B SANTA BARBARA CA 93101 | | | | |
| 2. | O MAHONEY MARY 8200 KROLL WAY APT 232 BAKERSFIELD CA 93311 | | | | |
| 3. | HSU NANA & HSU ELEANA JT/RS 267 MIRAMAR AVE SAN FRANCISCO CA 94112 | | | | |
| 4. | GALVIN RAPHAEL P & YVONNE M 2003 LIVING TR 718 26TH AVE SAN MATEO CA 94403 | | | | |
| 5. | PADWAY MICHAEL N & DIANE J JT/RS 40 BASINSIDE WAY ALAMEDA CA 94502 | | | | |
| 6. | AVENIDA RON L & DAWN M & 3700 DEER TRAIL DR DANVILLE CA 94506 | | | | |



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|---|---|---------|-----|------------------|----------------|
| 1. | JORGL STEPHANIE L 847 ORCHARD RD HOLLISTER CA 95023 | | | | |
| 2. | DE CONTE LIVING TR 264 MARCHMONT CT LOS GATOS CA 95032 | | | | |
| 3. | PATEL NAYAN R & JANKI N CP/RS 1284 CROWLEY AVE SANTA CLARA CA 95051 | | | | |
| 4. | HEGLAND SYLVIA L 1544 ALISAL AVE SAN JOSE CA 95125 | | | | |
| 5. | ORMAN 2005 REVOC TR PO BOX 2189 MURPHYS CA 95247 | | | | |
| 6. | NICCOLI JACOB & NICCOLI ALEXANDER JT/RS 806 FERNBROOK CT VACAVILLE CA 95687 | | | | |



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|---|--|---------|-----|------------------|----------------|
| 1. | THE SPOT ON 5TH LLC 8 RIEZ NEWPORT COAST CA 92657 | | | | |
| 2. | DE LORENZO ANTHONY FRANCIS JR & JULIE 3501 JAMBOREE RD STE 100 NEWPORT BEACH CA 92660 | | | | |
| 3. | DELORENZO ANTHONY FRANCIS JR & JULIE ANN 3501 JAMBOREE RD STE 100 NEWPORT BEACH CA 92660 | | | | |
| 4. | DE LORENZO ANTHONY FRANCIS JR & JULIE 50 BALIZA RD RANCHO MISSION VIEJO CA 92694 | | | | |
| 5. | FORKAN JOSEPH A 265 N BUSH ST SANTA ANA CA 92701 | | | | |
| 6. | TAROLA HOYT M 607 GRAND AVE OJAI CA 93023 | | | | |



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|---|---|---------|-----|------------------|----------------|
| 1. | WEINSTEIN DAVID R & GOLDSTEIN SARA E CP/RS 2 SCENIC CT DANVILLE CA 94506 | | | | |
| 2. | SMITH STEPHEN E 402 VIA ROYAL WALNUT CREEK CA 94597 | | | | |
| 3. | BURKE SHAWN P 320 LEE ST APT 106 OAKLAND CA 94610 | | | | |
| 4. | WILDWIND REALTY LLC 320 LEE ST APT 106 OAKLAND CA 94610 | | | | |
| 5. | 1048 N 2ND AVE LLC 6469 BENVENUE AVE OAKLAND CA 94618 | | | | |
| 6. | ARDA ZIYA KIVANC & AIMEE TRACEY ARVULLA CP/RS 9 STRAWBERRY LNDG MILL VALLEY CA 94941 | | | | |



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| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | | |
| 1. | EDWARDS JERRY L 2202 SAINT LOUIS DR HONOLULU HI 96816 | | | | | TUCSON AZ MAIN OFFICE JUN 15 2022 WINDOWS 85726-9712 USPS | |
| 2. | 827 N 4TH AVE LLC 7875 SE 9TH AVE PORTLAND OR 97202 | | | | | | |
| 3. | BOYER DEAN O & MARY P CP/RS 2325 SE LINCOLN ST PORTLAND OR 97214 | | | | | | |
| 4. | VERDEROSA GEOFFREY J 5034 SW FAIRHAVEN DR PORTLAND OR 97221 | | | | | | |
| 5. | AUDIA JULIE E 63050 DICKEY RD BEND OR 97701 | | | | | | |
| 6. | ARNO-TUCSON LLC 1259 COPPER CREST BELLINGHAM WA 98229 | | | | | | |



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| Postmaster, per (name of receiving employee) Jek | | | | U.S. POSTAGE PAID TUCSON, AZ JUN 15 22 AMOUNT \$1.41 R2304E107364-12 | | | |
| USPS® Tracking Number Firm-specific Identifier | Address (Name, Street, City, State, and ZIP Code™) | Postage | Fee | Special Handling | Parcel Airlift | | |
| 1. | GLOVER LENOR P.O. BOX 42825 TUCSON AZ 85733 | | | | | TUCSON AZ MAIN OFFICE JUN 15 2022 WINDOWS 85726-9712 USPS | |
| 2. | BLY MARGARET P.O. BOX 42825 TUCSON AZ 85733 | | | | | | |
| 3. | KOZACHIK STEVE C 3202 E 1ST ST TUCSON AZ 85716 | | | | | | |
| 4. | | | | | | | |
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| 1. | WEIL FAMILY TR OF 1988 16476 PLATEAU CIR REDDING CA 96001 | | | | | TUCSON AZ MAIN OFFICE JUN 15 2022 WINDOWS 85726-9712 USPS | |
| 2. | CLONEY JEAN-MARC & MONTOYA HILDA C CP/RS 271 KAKAHIKA ST KAILUA HI 96734 | | | | | | |
| 3. | AKINA CLEMENT K 45-170 LEHUUILA PL KANEHOHE HI 96744 | | | | | | |
| 4. | MAU ERICA 2675 AALIAMANU PL HONOLULU HI 96813 | | | | | | |
| 5. | AKINA CLEMENT & MAU SCHANK ERICA JT/RS 2270 KALAKAUA AVE AP HONOLULU HI 96815 | | | | | | |
| 6. | KEDD PROPERTIES AZ-1 LLC 2270 KALAKAUA AVE STE 1800 HONOLULU HI 96815 | | | | | | |



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| 1. | SMITH LIVING TR & SMITH ETHAN KELLY 6682 WELLINGTON LN NE BREMERTON WA 98311 | | | | | TUCSON AZ MAIN OFFICE JUN 15 2022 WINDOWS 85726-9712 USPS | |
| 2. | BLUM ROBERT A & GINA MARIE JT/CP/RS 520 ANDERSON CT MONTESANO WA 98563 | | | | | | |
| 3. | KARAHALIOS ALEXANDER & WENDY & 416 E 9TH AVE SPOKANE WA 99202 | | | | | | |
| 4. | CUTTING SUMMER ANN & ANDREW SCOTT CP/ RS 1230 H ST ANCHORAGE AK 99501 | | | | | | |
| 5. | ROMERO REGINA 255 W ALAMEDA ST TUCSON AZ 85701 | | | | | | |
| 6. | SENSIBAR JUDY P.O. BOX 42825 TUCSON AZ 85733 | | | | | | |

NEIGHBORHOOD MEETING - MATERIALS



Current view from the corner of University Blvd & Tyndall Ave

Project Description

The 2015 renovation and re-purposing of the 876 University Boulevard building into a new restaurant marked the fourth phase of use for the 1911 structure. Designed initially as a single-family residence in the early 1900's, the house then became a boarding home in the 30's, a clothing store in 1939 and entered a new phase in the 21st century as a restaurant along the thriving Main Gate Square.

Seven years after Illegal Pete's was introduced and opened in the historic Main Gate Square, the fifth phase approach in 2022 for the new shade structures and additional outdoor dining will preserve the authentic character of the existing building's exterior while simultaneously infusing the site and neighborhood with new life.

The new additions and alterations are designed in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.

History of 876 University Boulevard, Tucson Arizona

The structure at 876 University was built in 1910 by Captain Hiram M. Powell and his wife Jane. Captain Powell was the head of the military department at the University of Arizona.

In 1915 Charles and Hattie Ferris Solomon bought and moved into the house. Charles came from a pioneer family and was president of the Arizona National Bank. Hattie was one of four graduates from the University of Arizona class of 1898. Charles died in 1930 at 57. Hattie then turned the basement into a Better Woman shop called the Campus Lounge. She also converted the 2nd floor into a rooming house for college students and lived on the main floor. Hattie died in 1964.

Landmark Clothing, formerly the Franklin's Men Store, was opened in the building September 29th, 1928 and stayed in business till December 31, 2014. The property was purchased by Mori Edberg and the Ostry trust in 1962 who recently sold the property to D&F Holdings LLC.

Transcribed from Mori Edberg, previous owner of 876 University

ILLEGAL PETE'S REFRESH

ROB PAULUS ARCHITECTS
www.robpaulus.com

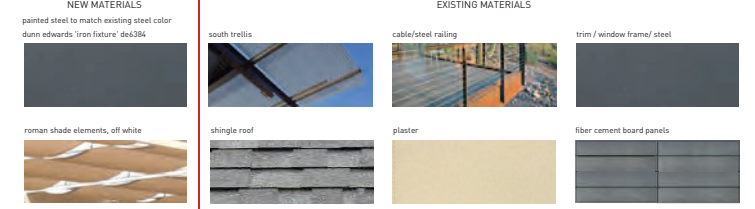
JUNE 30, 2022

ELEVATIONS + MATERIALS



SOUTH

NEW ELEVATIONS



ILLEGAL PETE'S REFRESH

ROB PAULUS ARCHITECTS
www.robpaulus.com

JUNE 30, 2022

NEW CANOPY



Existing

ILLEGAL PETE'S REFRESH

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JUNE 30, 2022

SITE PLAN



EXISTING AERIAL



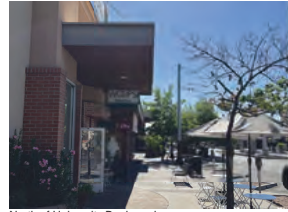
AERIAL/ SITE PLAN

ILLEGAL PETE'S REFRESH

ROB PAULUS ARCHITECTS
www.robpaulus.com

JUNE 30, 2022

MAIN GATE CONTEXT



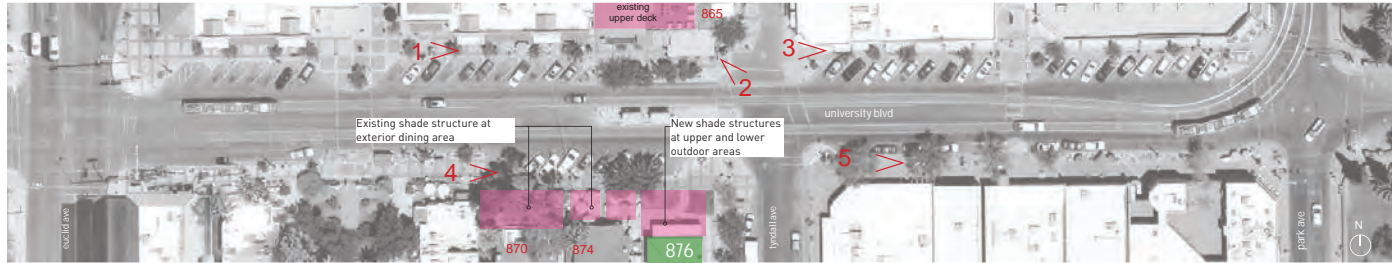
North of University Boulevard



Steel shade structure/ upper deck



North of University Boulevard



Permanent shade structure at 870 E University Boulevard



South of University Boulevard

- Shade structures and awnings are prevalent along Main Gate and increase viability for restaurants
- Upper dining decks allow restaurants to take advantage of our great weather while further activating the streetscape and life along University Boulevard

ILLEGAL
PETE'S
REFRESH

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5

SURROUNDING CONTEXT



870 E UNIVERSITY BLVD SHADE STRUCTURE



874 E UNIVERSITY BLVD SHADE STRUCTURES



870 E UNIVERSITY BLVD UPPER DECK

ILLEGAL
PETE'S
REFRESH

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7

SURROUNDING CONTEXT



VIEW TO THE NORTH



VIEW TO THE EAST



VIEW TO THE SOUTH



VIEW TO THE WEST



ILLEGAL
PETE'S
REFRESH

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6

EXISTING BUILDING



NORTH ELEVATION
1959 Images (taken by Mort Edberg)



EAST ELEVATION



NORTH ELEVATION DETAIL



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

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PETE'S
REFRESH

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8

COMPATIBILITY

Building Height Compatibility

The original historic building height will remain the highest structure on site. All new vertical construction will be lower in height than the existing building. The width of the new canopies to cover the outdoor dining areas will be wider than the existing structure but will remain within the setback limitations.

Building Form

The additions to the building have been designed to require the least amount of change to the materials and features of the existing building in order to retain and preserve the historic character of the property. The new components and canopies of the project are designed with the Secretary of the Interior Historic Standards for Historic Rehabilitation: The new work shall be differentiated from the old and New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpeded.

Setbacks

New steel structures that support retractable roman shades are within the setback limitations.

Rhythm

The overall rhythm of the existing building is maintained and made more apparent to passing pedestrians with the elimination of the Jumbrella shade elements as the primary shade source at the north patio. The new shade canopies are also pulled away from the existing structure to provide a gap that differentiates old from new while providing easy removal of the new elements in the future, if so desired, per Historic Standards.

Proportion

Proportions of the original building are maintained with distinct transitions between new and old construction allowing the original form to read as a separate time unto itself. The new canopies continue the same language as the 2015 shaded dining area at the south of the structure, maintaining a clear distinction between old and new.

Color

The existing building colors will maintain the dark color of the main structural steel. All new structural steel of the canopy will be painted out to match this dark gray color of existing steel work. Steel color shall have a light reflective value between 5-25.

Materials

Existing materials will be retained such as: stucco finish, painted wood structure and windows. New materials: steel shade canopy structure and new roman shade acrylic fabric will counterpoint the 1911 building and provide a differentiation between old and new.

Roof Type

Existing shingle roof material will not be affected or added to during this design. The new canopies of exterior fabric in a retractable roman shade configuration will allow maximum shade flexibility for seasonal and weather changes.

Landscaping

Landscaping of the property will not be affected during these improvements to the property.

Surface Texture

The original wall, roof and overhang surface textures will remain in place. The new retractable roman shade elements will offer an ephemeral texture to the mix that is already present on adjacent properties and restaurants along University Boulevard.

Site Utilization

The front dining area of the existing structure follows the precedent of the 2015 addition along with adjacent properties and creates fully shaded exterior dining for customers at this restaurant.

Utilities

All existing electrical service is routed underground from a nearby power pole. All other utilities are currently underground and will remain so.

Projections and Recessions

New canopies are designed with minimal structure and fabric shade to provide the least amount of visible interference to the existing building. The new roman shade elements will provide more visual reference to the existing building than the existing jumbrella shades that occupy the outdoor seating area at the north of the property.

ILLEGAL PETE'S REFRESH

ROB PAULUS ARCHITECTS
www.robpaulus.com JUNE 30, 2022

NEIGHBORHOOD MEETING NOTES + SIGN IN SHEET

MEETING RECORD

No Comments - No Attendies

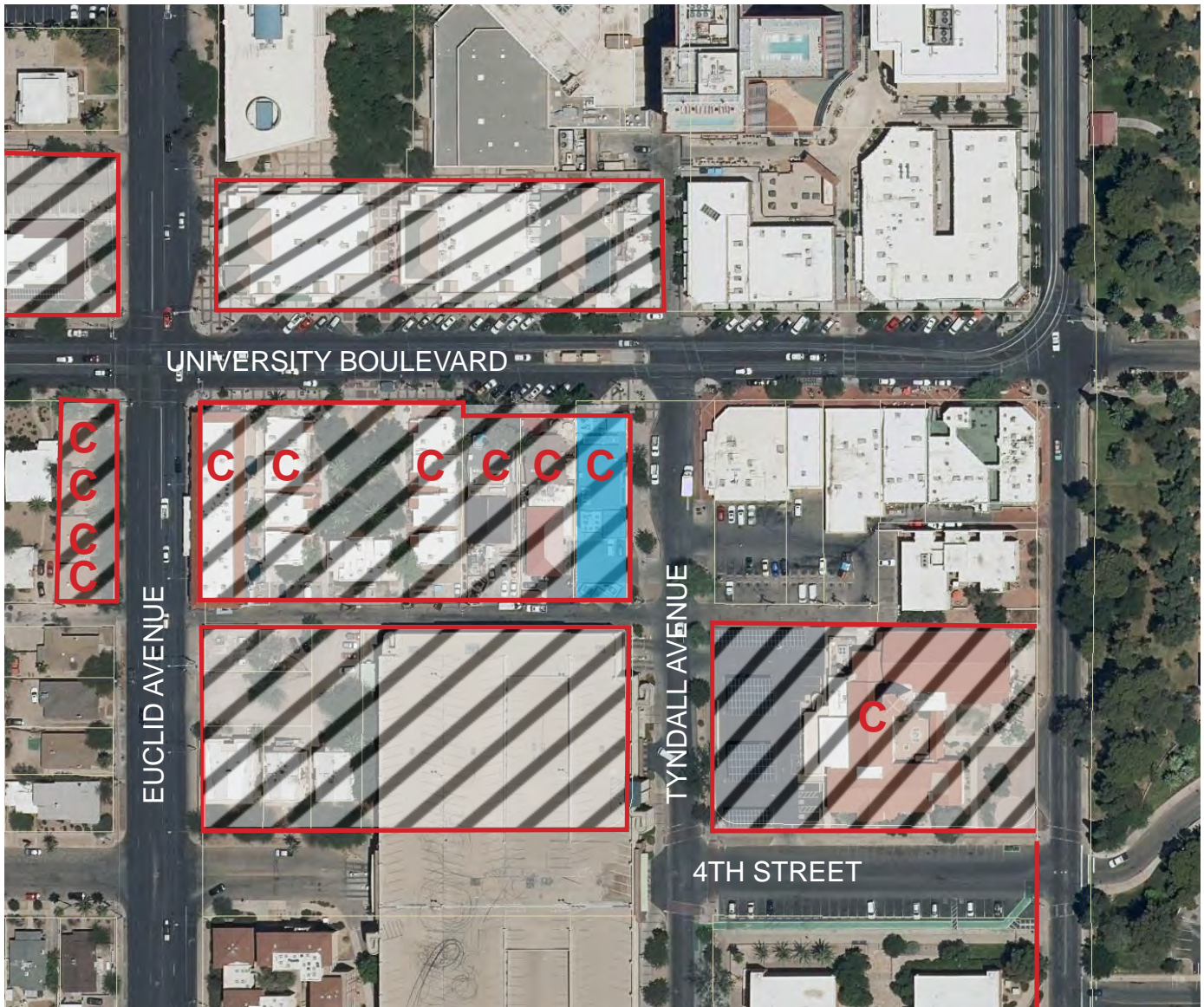
SIGN IN SHEET

Rob Paulus Architects (Rob Paulus, Kenneth Lowe, Dan Hutcherson)



APPLICABLE FEE'S

DEVELOPMENT ZONE



AERIAL PHOTO



DEVELOPMENT ZONE



CONTRIBUTING HISTORIC PROPERTY

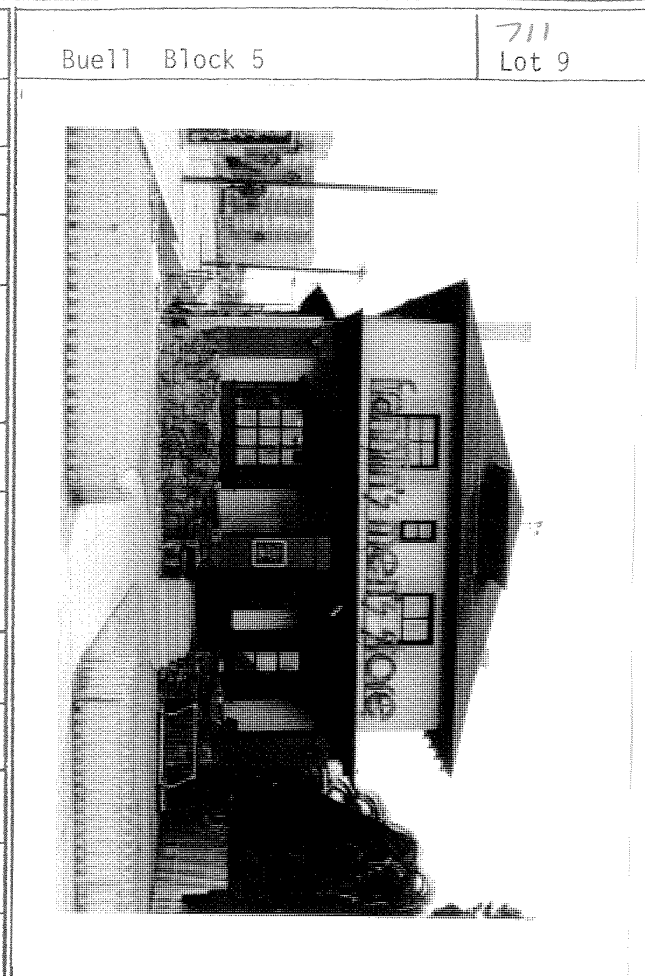


THIS PROJECT

ARIZONA HISTORIC PROPERTY INVENTORY FORM

ARIZONA STATE HISTORIC PROPERTY INVENTORY

| | |
|--|----------------|
| PROPERTY NAME Franklin's Men's Store | |
| LOCATION 876 E. University | |
| CITY/TOWN/VICINITY Tucson | COUNTY Pima |
| OWNER Morton & Ostroy Irving & Shirley Edberg | |
| OWNER'S ADDRESS 876 E. University Blvd. Tucson, AZ 85719 | |
| FORM COMPLETED BY Isabel S. Fathauer | |
| ADDRESS 1915 E. Camino Miraval Tucson, AZ 85718 | |
| PHOTO BY Barbara Armstrong | DATE 11/79 |
| VIEW Front | |
| PRESENT USE Franklin's Men's Store | ACREAGE |
| STYLE OR CULTURAL PERIOD Bungalow with stick influence | |
| SIGNIFICANT DATES 1911 | |



PHYSICAL DESCRIPTION

Two story building, former residence, stone foundation, brick load bearing walls, tan stucco surface, brown trim, front porch, pyramid roof with front ventilator, red asphalt shingles, chimneys. Good condition.

STATEMENT OF SIGNIFICANCE

Significant because it was constructed during the territorial era.

One of a collection of bungalows in the area.

Former residence of C.F. Solomon President of Arizona Southwest Bank
Prominent civic leader. His wife Hattie was a 2nd generation Tucsonan
and graduated in the 3rd class at the U of A.

VERBAL BOUNDARY DESCRIPTION

Buells Lot 9 tri portion on NE corner Block 5
(QCD: Dkt. 5459 pg. 832 02-08-77)

117-05-049-0

WM-5-1003