



# HISTORIC HOUSES DOCUMENTATION AND RELOCATION PLAN

WEST UNIVERSITY NEIGHBORHOOD  
SPEEDWAY BLVD. AND EUCLID AVE.  
TUCSON, AZ

MARCH 2022



Ankrom Moisan

BREVOORT  
PRESERVATION  
STRATEGIES

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## INTRODUCTION

This evaluation was prepared for **Capstone Collegiate Communities, LLC**, with the intent to identify and evaluate the historic status of six houses located in the West University Historic District in Tucson, Arizona. The site is located at the southeast corner of Euclid Avenue and Speedway Boulevard, and is within the boundaries of the West University Historic District. The district was listed on the National Register of Historic Places in 1980. All of the primary properties are designated as “Contributing” structures in the district. The houses are also designated historic under the City of Tucson historic preservation ordinance. It is acknowledged that the site is now an area where the land use and architectural context have changed dramatically to the point where this portion of the West University historic district is essentially an appendix to the larger neighborhood.

Redevelopment and change on this corner is imminent, largely due to the building proposed by Capstone Collegiate Communities. This narrative constitutes a formal documentation report to be presented to the City of Tucson as part of a mitigation plan inclusive of the historic background of the houses and their original owners, accompanied by measured drawings and photographs of each house. It has now been determined that five of the houses will be relocated to another site in the West University neighborhood where they will retain their status as contributors to the West University Historic District.



 VICINITY MAP  
N.T.S.



## NEIGHBORHOOD BACKGROUND

The property at the southeast corner of Speedway and Euclid is a vestige of the West University neighborhood, an early suburb of Tucson. The neighborhood is a collection of architectural styles, primarily Bungalow, and has associations with many community leaders.

The National Register of Historic Places nomination identifies the significance as follows:

*The West University Historic District is a significant historic area because it exemplifies the pattern of middle and upper class residential development in Tucson as that city evolved from 1890 until 1930. During that period, the District became the first major Tucson suburb north of the Southern Pacific Railroad and it retains the scale and density of an early 1900's neighborhood. The buildings in this neighborhood reflect a full range of styles which are structures. Each Bungalow is given a singular identity through the application of various stylistic detailing. Consequently, no other area in Tucson combines such an array of unique structures.*

*Beginning with the opening of the University of Arizona in 1891 and continuing until the Depression, the District developed as a neighborhood occupied by many community leaders in politics, commerce, education, religion, architecture and the arts. In addition, it provided housing and clean dry air for tuberculosis victims who sought relief from their affliction by moving to Tucson.*

*Linda Laird, National Register nomination, 1980*

The West University Historic District today represents a collection of subdivisions and land plats created by various speculators and investors in the late nineteenth century. By the 1880's the extension of the Southern Pacific transcontinental railroad going through downtown Tucson led to rapid expansion related to commerce. At the same time, the establishment of the University of Arizona just north of the downtown core stimulated new growth in the area north of the railroad and on lands both east and west of the University Campus. The area to the west was directly north of downtown, and on established routes headed north, so it was prime for residential development.



 **NEIGHBORHOOD MAP**  
N.T.S.



## FELDMAN'S ADDITION

The Speedway and Euclid site is a corner of the Feldman's Addition. A.M. Feldman arrived in Tucson around 1878. In 1881 the Feldman family built an adobe home on one of three pieces of property Feldman had purchased through the Homestead Act. A patent for the land was issued in 1883. The subject properties on the corner of Speedway and Euclid are located in Block 29 of this addition (see map). When Feldman platted his holdings as the Feldman Addition in 1901, he named the "major" east-west road Feldman Street, which would later be renamed as Speedway Boulevard.

Two of the Feldman parcels lie north of Speedway Boulevard and one lies south. The northern portions are in the Feldman Historic District. The southern portion is located within the boundaries of the West University Historic District.

According to Feldman's 1906 obituary, his land was considered to be quite valuable, which correlates well with the development of houses in the Feldman and West University additions in the first decades of the 20th century. This is further documented by the dominance of the Craftsman Bungalows and various Spanish Colonial Revival and Mission style houses in the West University neighborhood. Feldman operated a photography shop on Stone Avenue during the time he lived in Tucson. He tragically died after falling off the new electric trolley in June 1906.

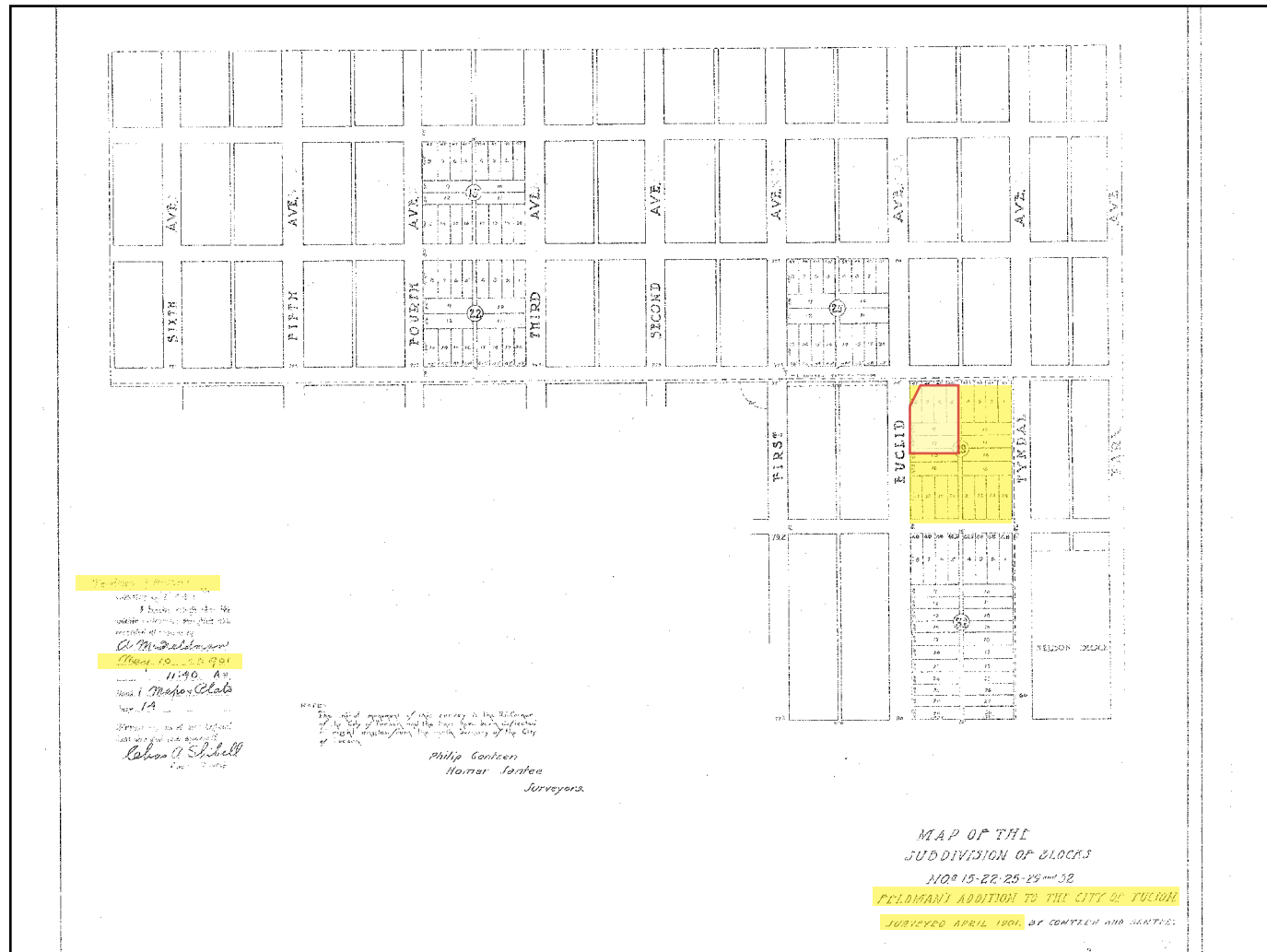
Another of the prominent developers and active real estate promoters was James Mitman. He acquired land one mile to the east of the Feldman Addition which he developed as Speedway Addition in 1919.

Notably, he lived at 812 E. Speedway within the Feldman Addition in one of the houses to be relocated as part of this current Capstone project.

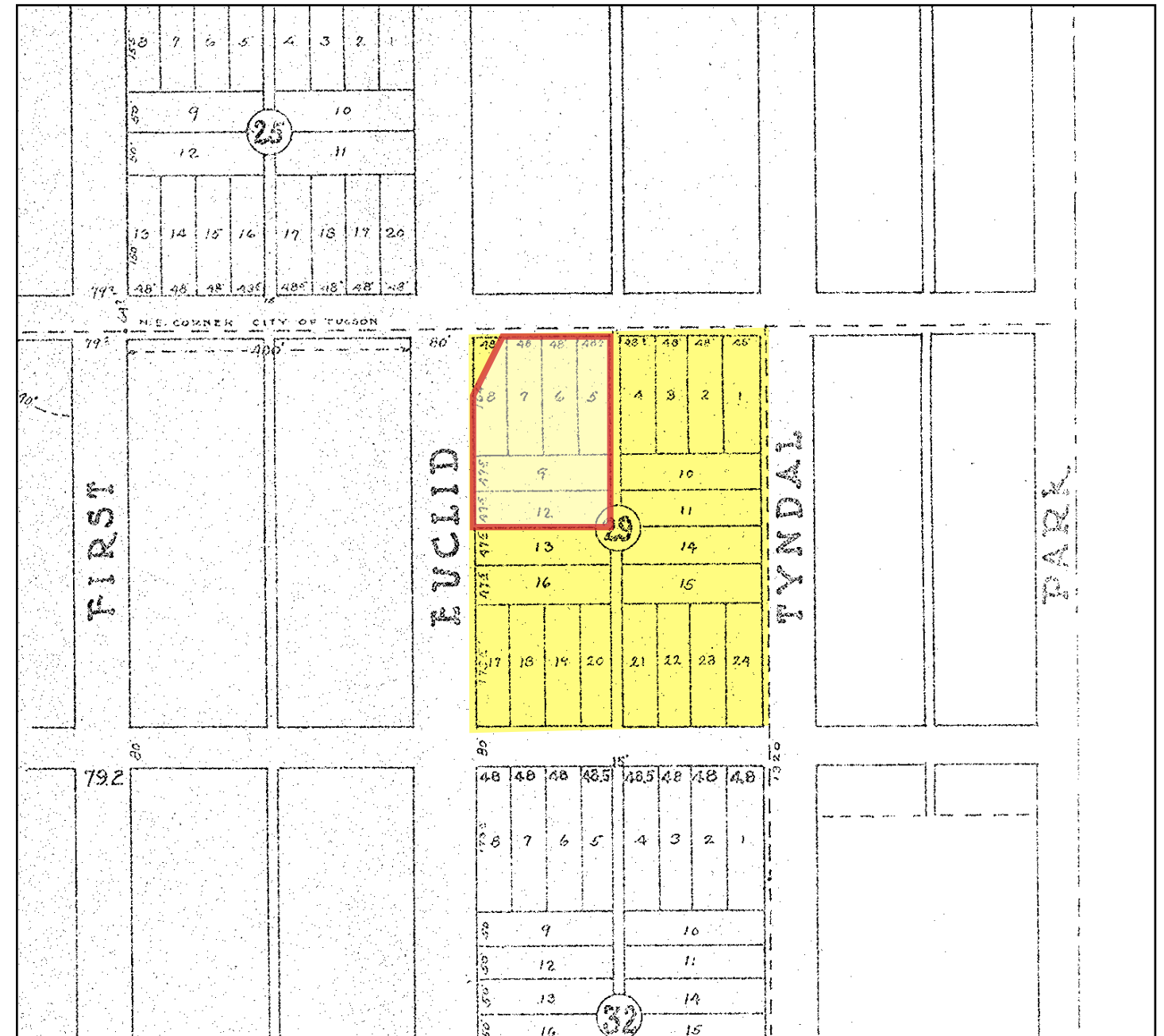


Historic aerial photograph from 1924 of the West University Neighborhood, Feldman's addition, and northern portion of the University of Arizona. Location of current Capstone project boundaries in red.

# FELDMAN'S ADDITION



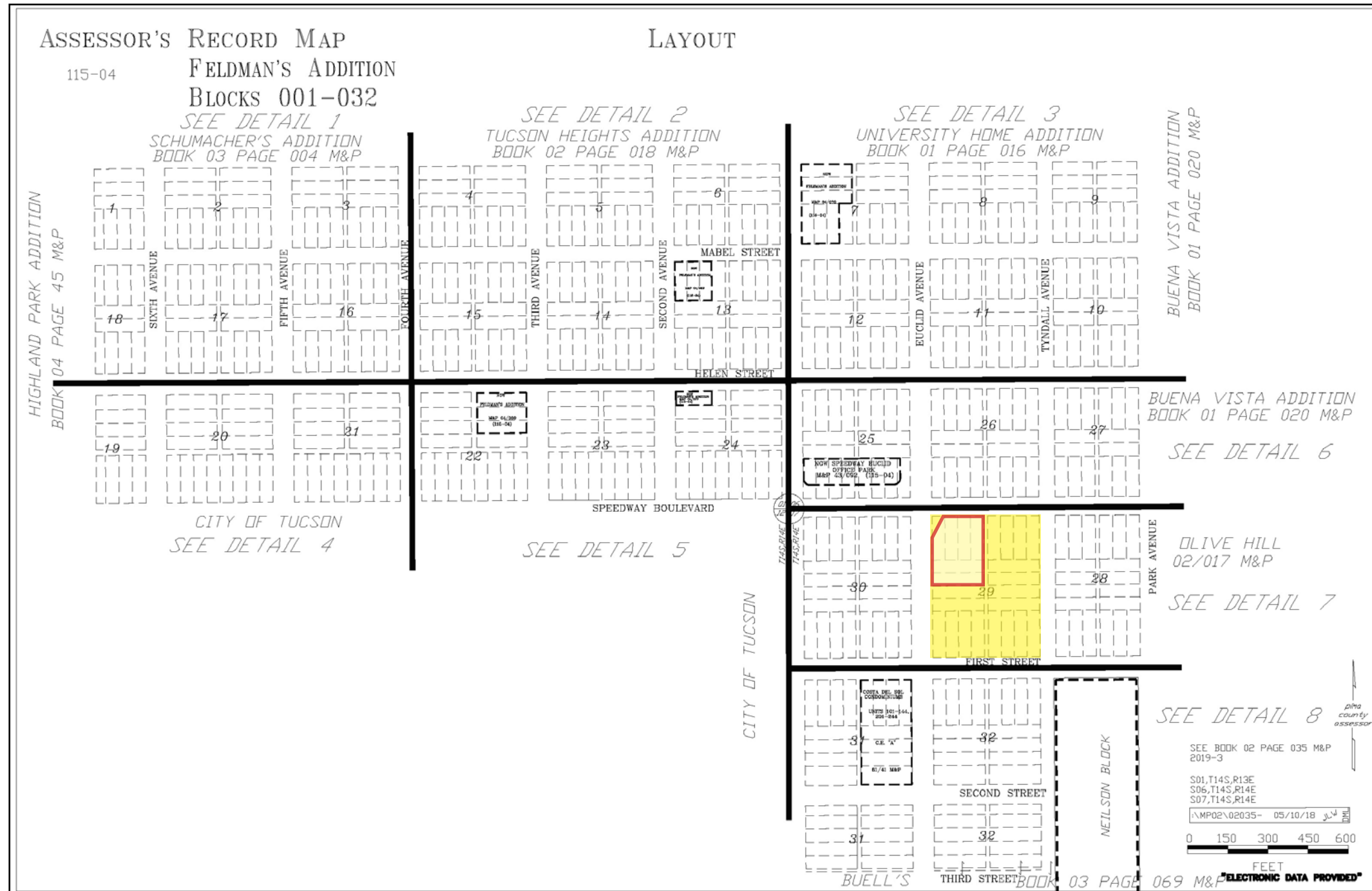
1901 Survey of Feldman's Addition - Map of the subdivision of several new blocks at the northeast boundary of the City of Tucson. Note that Arizona was just a territory of the United States at the time and would not achieve statehood until February 14th, 1912.



Same image as left, enlarged to show detail and location of current Capstone project boundaries.



# FELDMAN'S ADDITION



Pima County Assessor Map of Feldman's Addition. Same image as left, enlarged to show detail and location of current Capstone project boundaries.

## SANBORN MAPS AND SITE DEVELOPMENT SEQUENCE



**1919 Sanborn Map** - Houses on Speedway are constructed, and the first two houses on Euclid. Note there was a house at the northwest corner of the site that is now gone.



**1947, reprinted 1948 Sanborn Map** - Houses on Euclid are now in place. The outbuilding behind the house at 818 is still in place, although modified.



## PROJECT SITE AND THE WEST UNIVERSITY BOUNDARIES

When the West University District was created, the district boundaries were determined, defined and justified by the major thoroughfares on the north and west, and the University of Arizona Campus on the west. Speedway Boulevard, as the north boundary is a main arterial street, and a logical boundary for the northern edge of the district. The architectural character of Speedway has changed dramatically since 1980 from partially residential, to a haphazard mix of residential, institutional, and retail uses in various types of buildings, and there are still numerous houses that are still residential.

The University of Arizona campus and related housing and support uses have expanded west. The new development has reached the West University district boundary. The western edge of the campus is now dominated by mid-rise student housing and the new Campus Hub retail complex. Looking at the current land use patterns, the former “campus edge” is no longer a definitive or realistic boundary for the WUNA district. The corner of the West University district that extends east of Euclid Avenue, and thereby includes the properties that are now part of the proposed development site, is now essentially an isolated appendix to the historic district.



EXISTING HOUSES SITE, SE CORNER OF SPEEDWAY AND EUCLID  
N.T.S.



## PHOTOGRAPHS OF CURRENT SITE FOR CONTEXT



Eastern edge of site, note chimney of 818 Speedway on the right.



West side of Euclid Avenue, opposite site, looking southwest.



West side of Euclid Avenue, looking west.



West frontage of site, looking east. Context is changing, but houses still line streetscape.



View of site, looking southeast from opposite corner.



## HISTORIC HOUSES ON THE CURRENT CAPSTONE PROJECT SITE

The houses on the Speedway/Euclid site were all built between 1918-1921, based on their first appearance in the Tucson City Directories, and their appearance on the Sanborn Fire Insurance maps from 1919 and 1947 that cover this neighborhood. These dates were corroborated with the West University National Register of Historic Places nomination, and independently verified with the sources noted.

Tracing the properties in the City Directories also established a chain of occupancy. The houses appear to have been rental properties from the outset, with only a few long term tenants. For the most part, the tenants (see charts) are relatively short-term, therefore the houses do not have strong associations with particular individuals. The one exception is James Mitman, as noted.

Architecturally, the houses involved with this relocation do represent typical residential designs and the range of architectural styles that were prevalent in Tucson in the first decades of the 20th century, notably Craftsman Bungalow and Period Cottage. The majority of the homes in West University are Craftsman Bungalows, typically defined by broad porches accented by the use of cobblestone and basaltic tufa stone. Both materials were commonly used on Bungalows, but tufa is particularly prevalent in Tucson due to its availability.

The project site features two identical Period Cottages (adjacent on Euclid Avenue), a stylistic category that appeared immediately after WW1 and was based on European influences. Constructed in 1921, this pair of houses is notable as an early

example of this national trend. The diversity of architectural styles is one of the premises for establishing the eligibility of the West University Historic District, as cited in the National Register nomination.





## HOUSE INVENTORY - 812 E. SPEEDWAY BLVD.

**HISTORY:** The first house on Speedway east of Euclid today is actually on the second lot of the block. One house has been demolished, creating an open space at the intersection. The house dates to 1918 (based on its appearance in the 1919 Directory, and appearance on the 1919 Sanborn map. This also applies to the adjacent house on Speedway) and is a modest Bungalow, distinguished by the open truss beams inside the open gable porch. The walls are textured stucco, highlighted by recessed panels as ornament.

The initial occupants were James and Annie Mitman, who were in the real estate business, and active in the development of this subdivision. They occupied this house through James' death in 1925, and perhaps longer since there is no other occupant listed until 1928. The Mitman House is visually important for anchoring the site from the intersection of Speedway and Euclid.

James Howard Mitman was born in Brooklyn, New York in the early 1870s (the exact date is unknown). Mitman arrived in Tucson in 1913, according to contemporary newspaper articles. Mitman bought substantial acreage along what is now the east end of Speedway Boulevard and began to subdivide it. He is credited with being a visionary with respect to the importance of this road and even predicted in 1923 that one day Speedway would be paved.

Mitman formed a brief real estate partnership with Columbus Glasmann in 1919 with an office on the corner of Congress and Main Streets. Together they purchased land which was recorded as the Speedway Addition in September 1919. After the dissolution of this partnership, Mitman continued to use the South Main Street office, but listed his residence at 812 East Speedway in various real estate ads.

The three properties facing East Speedway, 812, 814, and 818, were all likely owned by Mitman during the initial development phase of this subdivision, all apparently used as rental properties.

Mitman died in 1925. Unfortunately, the death certificate provides little details and no obituary was found. Following Mitman's death, his wife Annie moved out of the house at 812 East Speedway but retained ownership. She moved back to 812 East Speedway in 1946 and lived in the house until her death in 1949.

**CONDITION:** Good, needs window repair, trim and rafters need filling/painting.





## HOUSE INVENTORY - 812 E. SPEEDWAY BLVD.

Newspaper Advertisements Relevant to the Site and to James Mitman as Developer:

ACRE TRACTS in Speedway addition. \$100.00; terms, \$10.00 down and \$5.00 monthly. Call and let us show them to you.  
**GLASMANN & MITMAN**  
 Cor. Congress and Main Sts. Phone 690  
 Open evenings from 7:30 to 8:30. 299-1mo

Arizona Daily Star, 26 December 1919:7

55—FARMS AND LAND FOR SALE  
**ON BEAUTIFUL SPEEDWAY**  
 1 Acre Tracts.....\$10 Monthly  
 5 Acre Tracts.....\$35 Monthly  
 Fine Soil, Water and Neighbors  
 "Buy From Owner"  
**MITMAN THE LAND MAN**  
 Phone 106-R  
 10 S. Main St. and 812 E. Speedway

Arizona Daily Star, 13 May 1923: 5

**"W-A-T-C-H"**  
 The new homes going up on the MITMAN acre tracts. Any CHILD can afford to own one. Terms \$7.50 per month. See MITMAN, 812 Speedway, Phone 106-R.

Arizona Daily Star, 29 January 1921: 5 (This ad most likely pertains to his development to the east on Speedway).

**STOP, LOOK AND LISTEN**  
 SPEEDWAY VIEW ADDITION acre tracts are selling fast. Better go and make your selection. The longer you wait the less you will have to select from.  
 Easy terms, only \$7.50 monthly  
 See Owner  
**MITMAN THE LAND MAN**  
 10 S. Main St. Phone 690  
 812 E. Speedway Phone 106-R  
 tf

Arizona Daily Star, 2 July 1920:7

**Obituaries**  
**ANNIE MITMAN**  
 Mrs. Annie A. Mitman, 82, of 812 East Speedway, died at her home early yesterday.  
 She was the widow of James H. Mitman, a Tucson real estate dealer who developed the Mitman, Speedway View and Palo Verde additions. He preceded his wife in death in 1922.  
 Mrs. Mitman is survived by a sister, Mary E. Saw, Mexico, N.Y.; a niece, Doris Spence, Gordham, Me.; and a cousin, Edith A. Richardson, Denver.  
 Funeral arrangements will be announced later by Bring's Funeral home.

Arizona Daily Star, 5 May 1949:K13  
 Obituary for Annie Mitman, a primary occupant of the house. (Note, according to James Mitman's death certificate, he died in 1925, not 1922).

PLACE OF DEATH  
 1. County Pima  
 District 12  
 Town or City Tucson

ARIZONA STATE BOARD OF HEALTH  
 BUREAU OF VITAL STATISTICS  
 ORIGINAL CERTIFICATE OF DEATH  
 No. 812 E. Speedway  
 State Index - - - No. 339  
 County Registrar's - No. \_\_\_\_\_  
 Local Registrar's - No. \_\_\_\_\_

2. FULL NAME James H. Mitman  
 (a) Residence. No. 812 E. Speedway, St. \_\_\_\_\_, Ward Tucson, Arizona  
 Length of residence in city or town where death occurred 12 yrs. 0 mos. 0 ds. (If nonresident, give city or town and State)  
 How long in U. S. if of foreign birth? yrs. mos. ds.

PERSONAL AND STATISTICAL PARTICULARS  
 3. SEX Male 4. COLOR or RACE White 5. SINGLE, MARRIED, WIDOWED or DIVORCED Married  
 5a. If married, widowed or divorced HUSBAND of Annie A. Mitman (or) WIFE of \_\_\_\_\_  
 6. DATE OF BIRTH (month, day and year) Unknown  
 7. AGE Years \_\_\_\_\_ Months \_\_\_\_\_ Days \_\_\_\_\_ IF LESS than 1 day...hrs. or...min. About 52  
 8. OCCUPATION OF DECEASED  
 (a) Trade, profession, or particular kind of work Realtor  
 (b) General nature of industry, business or establishment in which employed (or employer) Real estate  
 (c) Name of employer \_\_\_\_\_  
 9. BIRTHPLACE (city or town) Brooklyn, N.Y. (State or country)

PARENTS  
 10. NAME OF FATHER Unknown  
 11. BIRTHPLACE OF FATHER Unknown (city or town) (State or country)  
 12. MAIDEN NAME OF MOTHER Unknown  
 13. BIRTHPLACE OF MOTHER Unknown (city or town) (State or country)

14. Informant Annie A. Mitman  
 (Address) 812 E. Speedway Tucson, Ariz.  
 15. Filed 2/11 1925 Blag Sabudal Local Registrar  
 Filed MAR 10 1925 \_\_\_\_\_ County Registrar  
 V. S. No. 1 \_\_\_\_\_

MEDICAL CERTIFICATE OF DEATH  
 16. DATE OF DEATH (month, day, and year) 2-7-25 1925  
 I HEREBY CERTIFY, That I attended deceased from Dec 25 1925 to 2/7/25 1925 that I last saw him alive on Dec 25 1925 and that death occurred, on the date stated above, at 110 m. The CAUSE OF DEATH\* was as follows:  
Acute leptotia  
 (duration) \_\_\_\_\_ yrs. \_\_\_\_\_ mos. \_\_\_\_\_ ds.  
 CONTRIBUTORY Unknown (duration) \_\_\_\_\_ yrs. \_\_\_\_\_ mos. \_\_\_\_\_ ds.  
 18. Where was disease contracted \_\_\_\_\_ (duration) \_\_\_\_\_ yrs. \_\_\_\_\_ mos. \_\_\_\_\_ ds.  
 Was there an operation preceeding death? No Date of \_\_\_\_\_  
 Was there an autopsy? No  
 What test confirmed diagnosis? Clinical  
 (Signed) Edw. J. [Signature] M. D.  
 1925 (Address) \_\_\_\_\_  
 \* State the Disease Causing Death, or in deaths from Violent Causes, state (1) Means and Nature of Injury, and (2) whether Accidental, Suicidal, or Homicidal. (See reverse side for additional space.)  
 19. PLACE OF BURIAL, CREMATION OR REMOVAL Evergreen Cemetery, Tucson, Ariz. DATE OF BURIAL Feb. 9, 1925  
 20. UNDERTAKER Parker-Grimshaw Co., Tucson, Ariz. ADDRESS \_\_\_\_\_

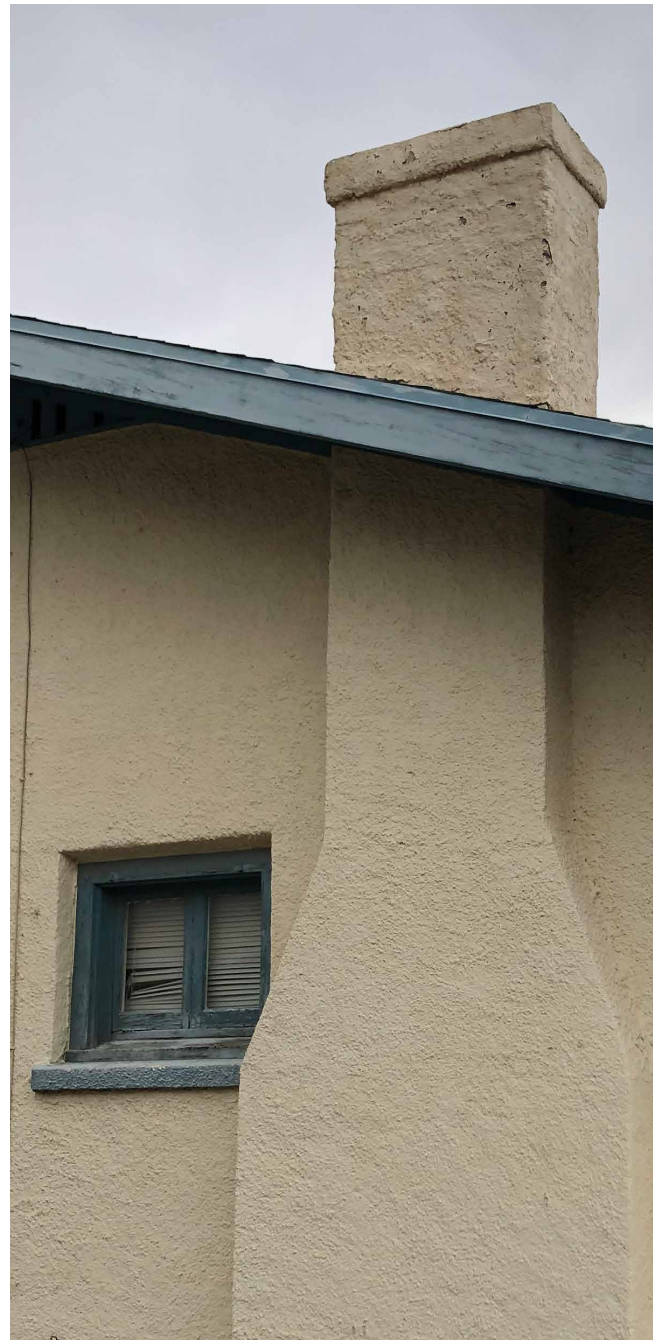
MARGIN RESERVED FOR BINDING  
 THIS IS A PERMANENT RECORD. Every item of information should be stated EXACTLY. PHYSICIANS should state CAUSE OF DEATH in plain terms, so that it may be properly classified. Exact statement of OCCUPATION is very important. See instructions on back of certificate.

Death Certificate for James Mitman, 1925



## HOUSE INVENTORY - 812 E. SPEEDWAY BLVD.

### City Directory Data:



Year	Resident	Occupation	Owned	Notes
1917				No listing of address
1918				“ “
1919	James & Annie <b>Mitman</b>	Real estate		Additional info will be provided on Mitman
1920	“ “			
1921	“ “	Glassmann & Mitman real estate		
1922	“ “			
1928	Henry H & Verna Heinemeier	Square Deal Car Co.		
1929	“ “			
1930	“ “			
1931	O. H. Davis			
1932	vacant			
1933	J. T. Sykes			
1934	Claire Castleman			
1935	Ramon & Louise Taylor”	Ramon’s Beauty Salon		
1936	C. D. Miller			
1937	Mrs. Annie Mitman		Y	
1938	Oliver & Eliz Klappmeyer	Salesman Rollings Motor Co.		
1940	Garret E & Eunice Harpst	Salesman Ronstadt Hardware		
1941	“ “			
1942	“ “			
1944	“ “			
1946	Mrs. A. A. Mitman		Y	
1948	“ “		Y	
1949	“ “		Y	Mrs. Mitman died in May 1949
1950	vacant			
1980	Danier Griffith			Now a 812 ½ listing too
1984-85	vacant			“ “



## HOUSE INVENTORY - 814 E. SPEEDWAY BLVD.

**HISTORY:** Completed in 1918, this is a one-story Craftsman Bungalow, highlighted by its distinctive tufa stone porch columns and railing. Use of tufa is a signature detail for Tucson houses of the period, found in many houses along Speedway Boulevard and the adjacent neighborhood streets. There is also an ornamental ventilator in the peak of the gable roof. The rafter tails are splayed, another signature detail of the Bungalow style. This house was initially occupied by Rueben and Ola Cook. He was the President of the Tucson National Bank. (Rental vs. ownership not documented, but they were only here 1 year.)

**CONDITION:** Fair, needs minor stucco repair, trim and windows need fill and paint.





## HOUSE INVENTORY - 814 E. SPEEDWAY BLVD.

City Directory Data:



Year	Resident	Occupation	Owned	Notes
1917				No listing for address
1918	Reuben R R & Ola Cook	Pres, Tucson National Bank		
1919	Maj Geo & Claudia Edgerly	Prof @ UofA		
1920	James F. & Hattie Blair	Electrician – Tucson Irrigation Co.		
1921	“ “			
1922	“ “			
1928	Mrs. Marquerite S. Palmer			
1929	“ “			
1930	“ “			
1931	vacant			
1932	Herbert Lewis			
1933	E. W. Berndt			
1934	Geo. H & Elsie Nordmeyer	Hlpr Pacific Fruit Express	Y	
1935	“ “		Y	
1936	“ “		Y	
1937	“ “		Y	
1938	Henry L. Nordmeyer			
1940	G. H. Nordmeyer			No longer listed as owner
1941	“ “			
1942	“ “	storekeeper		
1944	“ “			
1946	“ “		Y	Again listed as owner
1948	“ “		Y	
1949	“ “		Y	
1950	“ “		Y	George died in 1969 and he & his wife still lived at 814 E. Speedway
1980	Jeffrey Ochs			
1984-85	Erin Collopy			



## HOUSE INVENTORY - 818 E. SPEEDWAY BLVD.

**HISTORY:** Also completed in 1918, the house at 818 Speedway is a notable example of the Craftsman Bungalow, in this case enhanced by the use of cobblestone for the porch piers and chimney. The porch piers have clustered posts above the cobblestone, another signature detail of the Craftsman style. The original occupant was W.H. Land, a cashier at the Tucson National Bank. There is a small guest house at the rear of this lot that was likely built post WWII for additional housing, as it first appears on the 1947 Sanborn Map.

**CONDITION:** Good. Rafters, fascia need paint, rear additions need new siding.





## HOUSE INVENTORY - 818 E. SPEEDWAY BLVD.

City Directory Data:



YEAR	RESIDENT	OCCUPATION	OWNED	NOTES
1917				No listing for address
1918	W H Land	Cashier- Tucson National Bank		
1919	John D. Mathews			
1920	Charles Cohn			
1921	John D. Mathews	Valuation engineer - S P R R of Mexico		
1922	" "			
1928	George & Alberta Young	Mexican Law Consultant		
1929	" "			
1930	vacant			
1931	E. E. Gill			
1932	" "			
1933	" "			
1934	Mrs. Inez G Dice			
1935	" "			
1936	" "			
1937	St			
1938	Mrs. Isobel Stearley			
1940	transient			
1941	Dominick & Erma Busa			
1942	John C & Alice Phebus	Deputy sheriff		
1944	Mrs. C.A. McCullough		Y	Also a 818 1/2
1946	" "		Y	
1948	Cecil & Nettie Unruh		Y	
1949	" "		Y	
1950	" "		Y	
1980	Steve Rinehard			
1984-85	vacant			



## HOUSE INVENTORY - 1052 N. EUCLID AVE.

**HISTORY:** This house was first occupied in 1919. It is a simple Bungalow, highlighted by the open truss over the porch, and a roof ventilator on the main gable.

The porch columns are tapered, common to the Bungalow era. Windows are standard double-hung sash. Original occupants were Ernst H. & Genevieve Searing.

The house is constructed of adobe, but the walls are no longer stable.

**CONDITION:** Poor Wood trim and windows need paint.

BEAUTIFUL, NEW furniture, five-room house complete; small payment down, terms. Also house, never used by sick. 1052 N. Euclid. 124-2t

Arizona Daily Star, 25 May 1918:7





## HOUSE INVENTORY - 1052 N. EUCLID AVE.

### City Directory Data:



YEAR	RESIDENT	OCCUPATION	OWNED	NOTES
1917				No listing for address
1918				
1919	Ernst H. & Genevieve Searing	Root Beer		
1920	Wilmer E & Olive Croft	Teacher @ Safford School		
1921	transients			
1922	Frank J. Scully			
1928	vacant			
1929	vacant			
1930	C. G. Falk			
1931	Amanda Knickerbocker			
1932	Mrs. Amanda Knickerbocker			
1933	Mrs. Jeanette Anderson			
1934	“ “			
1935	“ “			
1936	“ “			
1937	Mrs. Jeanette Anderson		Y	1 <sup>st</sup> time Mrs. Anderson listed as owner
1938	“ “		Y	
1940	“ “		Y	
1941	“ “		Y	
1942	“ “		Y	
1944	“ “		Y	
1946	“ “		Y	
1948	“ “		Y	
1949	“ “		Y	Mrs. Anderson died in October 1949
1950	vacant			
1980	Paul York			
1984-85	Sammie Parker			



## HOUSE INVENTORY - 1040-1042 N. EUCLID AVE.

**HISTORY:** This house was constructed as a duplex, very typical for houses intended for rental use. It is a standard Bungalow design with open porches and textured stucco walls. It has a tufa stone foundation. The porch on the side façade is a more prominent detail and is attached to an original open-frame pergola. This house clearly predates the house adjacent to the south. The first occupant of this side is May Boyd, a teacher at Holladay School.

**CONDITION:** Good. Appears to be well maintained.



Arizona  
Daily Star,  
7 February  
1933:13.



South Entry (1040), facing south, side yard.



North Entry (1042) and Porch facing Euclid.



## HOUSE INVENTORY - 1040-1042 N. EUCLID AVE.

### City Directory Data:

YEAR	RESIDENT	OCCUPATION	OWNED	NOTES
1917				No listing
1918				“ “
1919	Mrs. W.C. Boyd – 1040 W. D. Wheatley - 1042			
1920	Mrs. W. C. Boyd – 1040 R.A. Wheatly - 1042			
1921	Mrs. E. May Boyd – 1040	Teacher @ Holladay School		May Boyd is the widow of W.C. Boyd. No listing for 1042
1922	Mrs. E. May Boyd – 1040 Dion & Nancy Morrison – 1042	Morrison: Salesman for Wheatley Produce Co.		
1928	Vacant			
1929	A.A. Meuniet – 1040 E.M. Keller - 1042			
1930	C. G. Thompson – 1040 C.C. Pritchard - 1042			



YEAR	RESIDENT	OCCUPATION	OWNED	NOTES
1931	W. P. Costello – 1040 H.W. Crofts - 1042			
1932	H. W. Crofts – 1040 O.A. King - 1042			Note Crofts switched sides of the duplex
1933	Vacant – 1040 Mrs. C. D. King – 1042			
1934	J. Godfrey & Sarah Hurtt – 1040 Frank Littlewood – 1042	Hurtt – student @ UofA		
1935	Godfrey & Sarah Hurtt – 1040 David M. & Rhoda Beitler	Hurtt- student	Y	Beitler is listed as the owner
1936	Beitlers – 1040 Alfred S. & Ira Wrye - 1042	Wrye driver for City Laundry	Y	“ “
1937	Beitlers – 1040 A.S. Wrye - 1042		Y	“ “
1938	Beitlers – 1040 Betty Light - 1042	Light – teacher @ Roskruge School	Y	“ “
1940	Beitlers – 1040 Mitch & Hattie Goodman	Goodman – druggist	Y	“ “
1941	Beitlers – 1040 Goodmans - 1042		Y	“ “
1942	Beitlers – 1040 Goodmans - 1042		Y	“ “
1944	Henry J. Eilmann - 1040			No listing for 1042
1946	Henry Eilmann – 1040 Xulla C. Love - 1042	Love – teacher at Davidson School		
1948	Mrs. Wilma Pennington – 1040 Mrs. X.C. Love - 1042			
1949	Transient – 1040 Mrs. Love - 1042			
1950	H.M Cook – 1040 Clyde Huff – 1042			
1980	Vacant – both units			
1984-85	Jean Rose – 1040 C.T. Incorporated Insulation Materials - 1042			



## HOUSE INVENTORY - 1036 N. EUCLID AVE.

**HISTORY:** Constructed in 1921, this house is a modest Period Cottage, noted by the curved peak in the gable end of the main roof, and the porch roofs, a detail that emerged nationwide immediately after World War 1, reflective of the English countryside. Also unique are the two Classical/Doric columns set interior to the main porch posts which are a Bungalow feature. The windows are multi-paned casement, and there are full sidelights framing the door, as well as a multi-paned window in the porch gable. The first occupant was Aida Poole, occupation unknown.

**CONDITION:** Good. Appears to be well maintained.





## HOUSE INVENTORY - 1036 N. EUCLID AVE.

### City Directory Data:



YEAR	RESIDENT	OCCUPATION	OWNED	NOTES
1917				Address not listed
1918				“ “
1919				“ “
1920				“ “
1921	Aida B. Poole			
1922	Edward L. & Rebecca Fox	Cashier at AZ Eastern Railway		
1928	Mrs. Rose D. Hardy			
1929	L. S. Luquer			
1930	Vacant			
1931	Richard D. & Clara Cleaver	Janitor @ Miles School		
1932	“ “			
1933	“ “		Y	Ownership not noted in previous yrs of Cleaver occupancy
1934	“ “		Y	
1935	Richard D & Blanche Cleaver	“ “	Y	
1936	“ “			
1937	D. E. Sullivan			
1938	Harry C. & Ruth Bigglestone	physician		
1940	Mrs. Madeline Parkinson			
1941	Vacant			
1942	transient			
1944	Francis A. Roy			
1946	Louis A. Endsley			
1948	Transient			
1949	Louis Endsley			
1950	“ “			
1980	Mary Love			
1984-85	Lawrence Smith			



## HOUSE INVENTORY - 1030 N. EUCLID AVE.

**HISTORY:** Constructed ca. 1921, this house is a virtual twin of the house to the north. The reason for the pair is unknown at this time. The house was built first occupied by Victor and Chassie Harrell. It is designed in the English Cottage style, which was common nationwide just after World War I due to the affinity of returning soldiers for the English countryside and memories of other European countries. The paired columns and porch detailing are an American Colonial Revival feature making this house a unique blend of styles. Houses of similar character are common in the West University Neighborhood.



1921	Vacant			1 <sup>st</sup> listing in directory. Built c. 1920/21
1922	Victor & Chassie Harrell	Driver Tucson Ice Co.		
1923	"	"		
1924	"	"		
1925	"	"		
1927	"	"		
1928	"	"		
1929	"	"		
1930	"	"		
1931	"	"		
1932	"	"		
1933	"	"	Y	1 <sup>st</sup> time ownership shown in directory. Since they have been living in house since 1922, they may have owned it from then
1934	"	"	Y	
1935	"	"	Y	
1936	Mrs. Lena Fritts		Y	
1937	"	"	Y	
1938	"	"	Y	
1939	"	"	Y	
1940	"	"	Y	
1941	"	"	Y	
1942	"	"	Y	
1944	Mrs. Caroline Gray	Steno So. Arizona Bank	Y	
1946	"	"	Y	
1948	"	"	Y	
1950	"	"	Y	
1951	"	"	Y	
1952	"	"	Y	
1953	"	"	Y	
1954	"	"	Y	
1955	"	"	Y	
1960	"	"	Y	



## HOUSE INVENTORY - 1024 N. EUCLID AVE.

**HISTORY:** This house is a Craftsman Bungalow constructed ca. 1922. Multiple occupants suggest it was a rental house for many years. Many tenants worked for the Southern Pacific Railroad. It is comparatively modest, but has trusses that are typical of the Bungalow style.

**CONDITION:** Fair. Rafters, windows and eaves need to be painted. There are minor stucco cracks.



YEAR	RESIDENT	OCCUPATION	OWNED	NOTES
1923	Frank & Alva Scarlotte			1st listing in directory. Built c. 1922/23
1924	Miss Ellen Hagg			
1925	June Granville			
1927	John & June B McCluskey	Ticket clerk for Southern Pacific		
1928	" "			
1929	" "			
1930	Thomas & Addie La Rock	carpenter		
1931	" "			
1932	Arthur & Imogene Phelps	Yardmaster for Southern Pacific		
1933	W Reese & Barbara Lowe	Salesman J. W. Taylor	Y	This appears to be the first year the directories show
1934	J Mercer & Margaret Johnson	Atty		
1935	" "			
1936	vacant			
1937	Mrs. Anna Croxen		Y	
1938	" "		Y	
1939	" "		Y	
1940	" "		Y	
1941	" "		Y	
1942	" "		Y	
1944	" "		Y	
1946	" "		Y	
1948	" "		Y	+ Secondary bldg. 1024 1/2 see 1941 article
1949	" "		Y	+ 1024 1/2
1950	" "		Y	
1951	" "		Y	
1952	" "		Y	Mrs. Croxen died 12 June 1952
1953	vacant			
1954	Rita Meacham			
1955	Mrs. Daisy Meacham			
1960	Martha Windsor			1024 1/2



### DOCUMENTATION PHOTOS - 812 E. SPEEDWAY BLVD.



Front - North Elevation



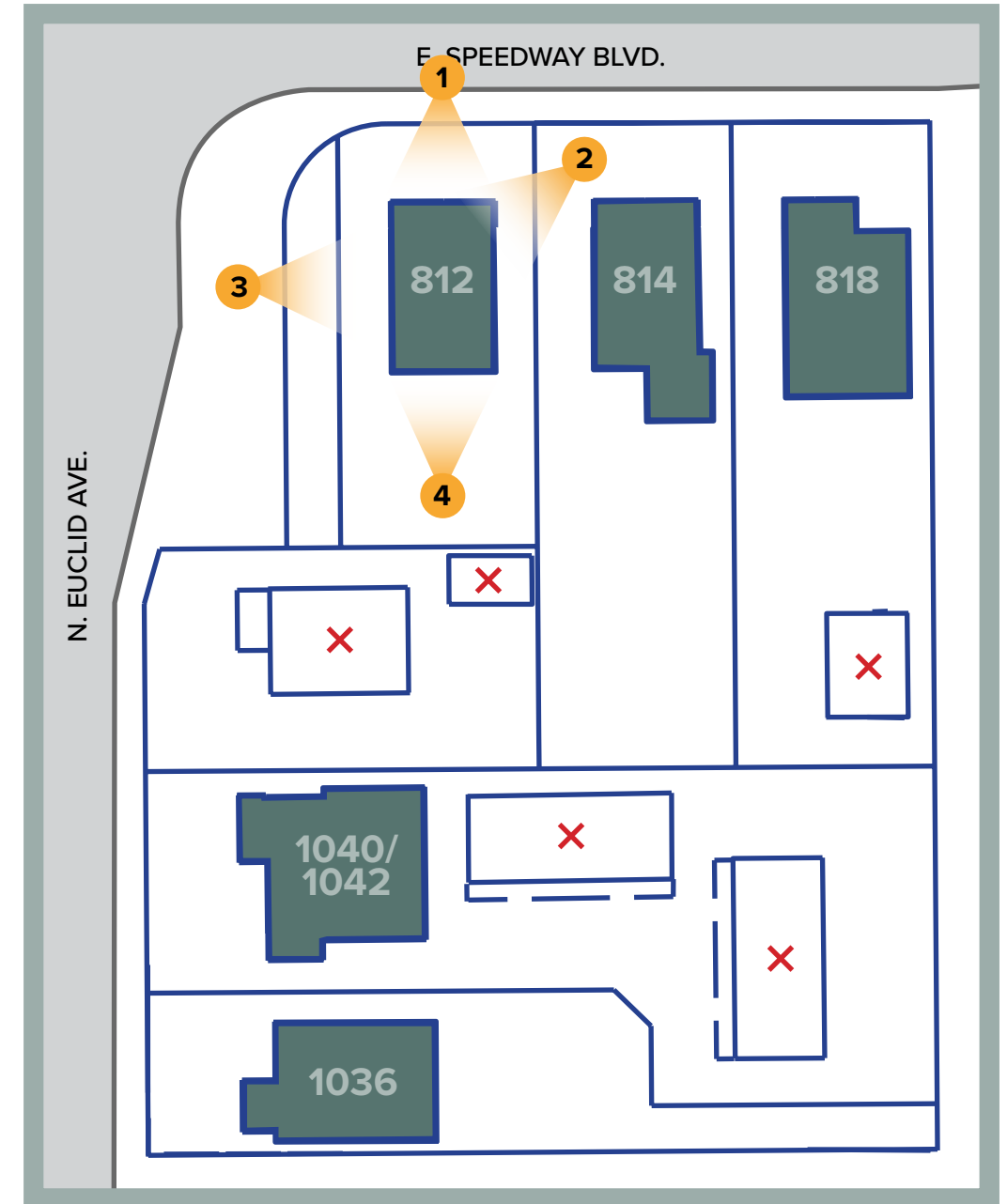
East Elevation



West Elevation



South Elevation



**SITE PHOTO LOCATION KEY**  
N.T.S.



### DOCUMENTATION PHOTOS - 814 E. SPEEDWAY BLVD.



Front - North Elevation



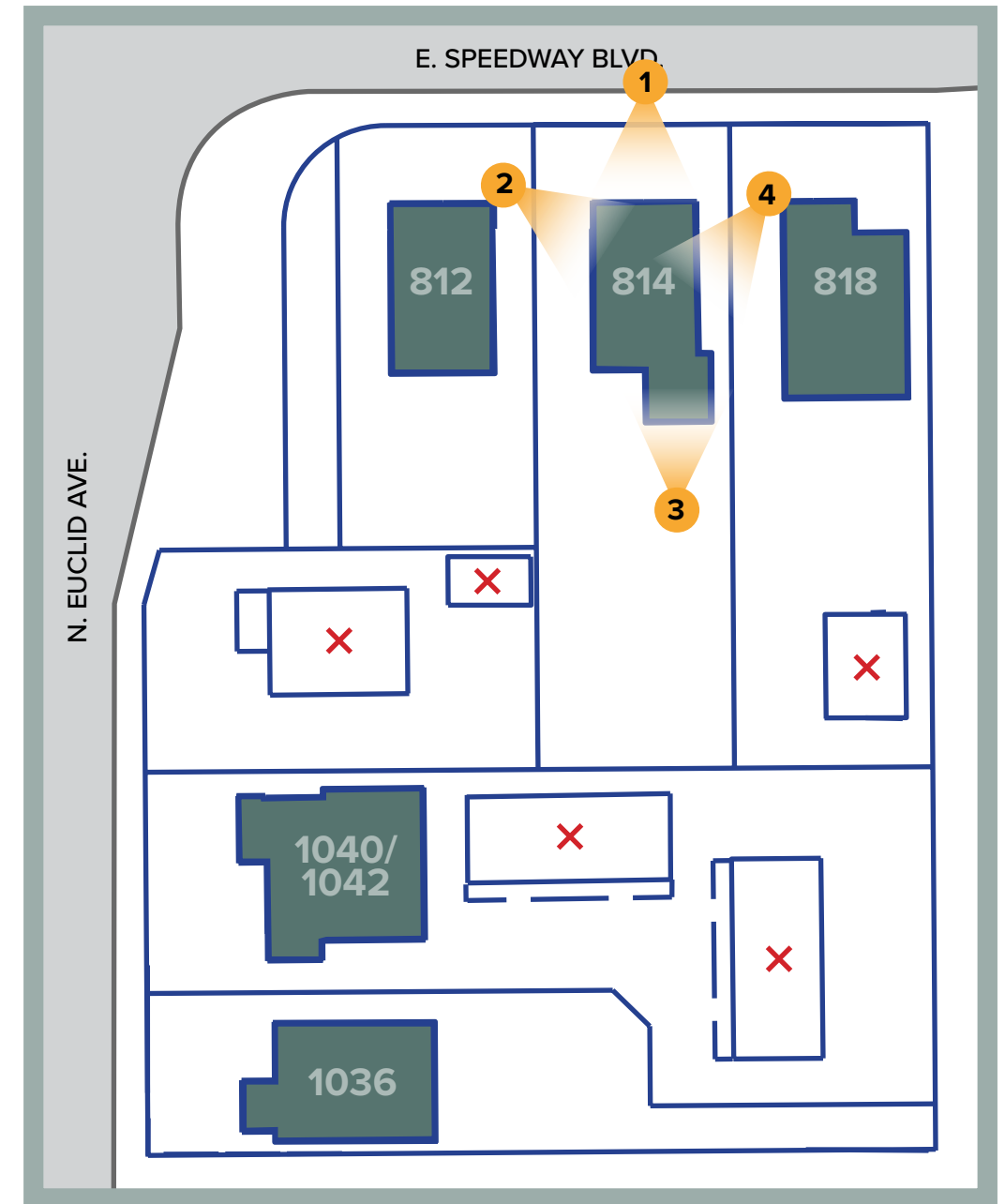
West Elevation



South Elevation



East Elevation



**SITE PHOTO LOCATION KEY**  
N.T.S.



### DOCUMENTATION PHOTOS - 818 E. SPEEDWAY BLVD.



Front - North Elevation



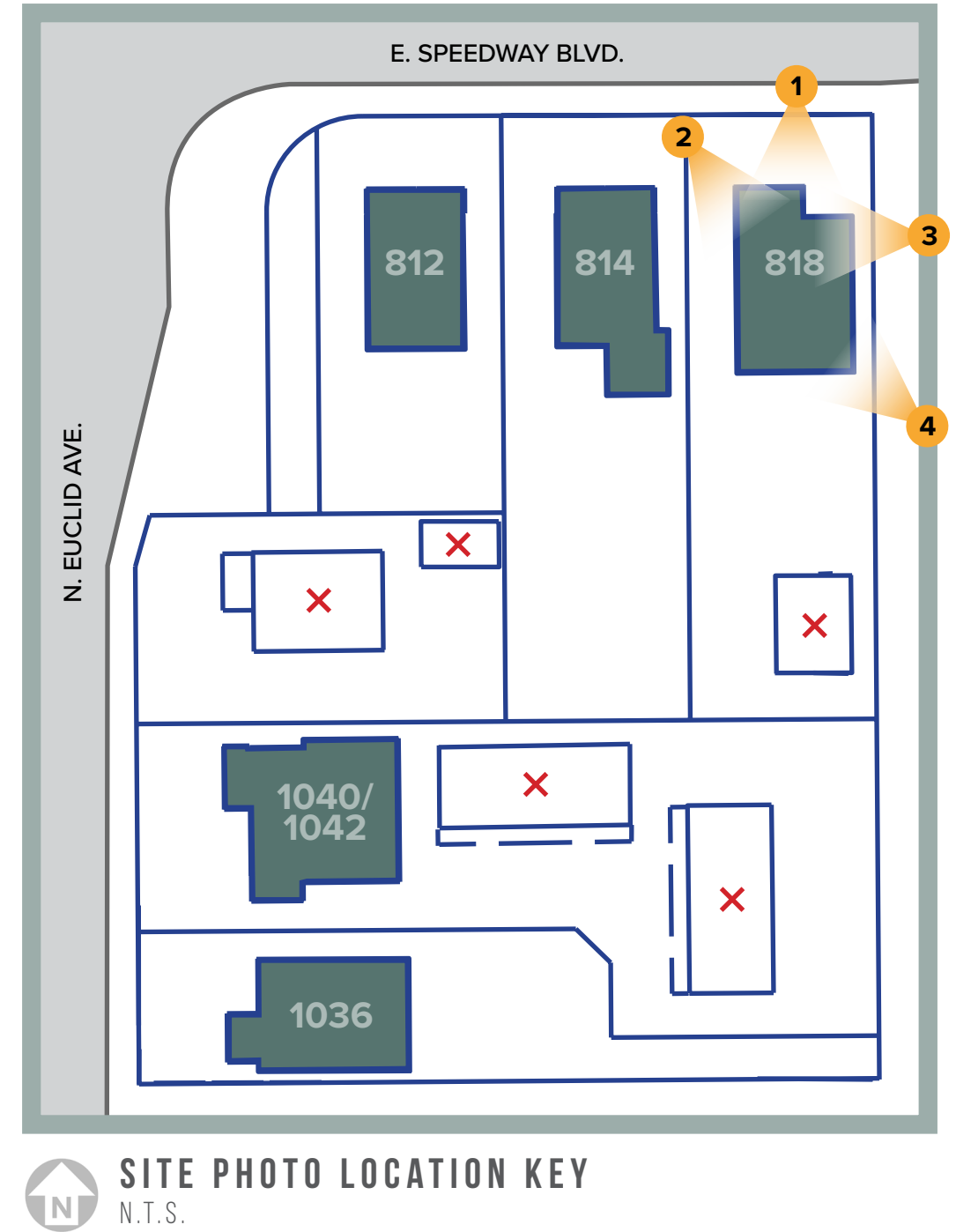
West Elevation



East Elevation featuring cobblestone chimney



Southeast Corner and Rear Elevation





### DOCUMENTATION PHOTOS - 1040/1042 N. EUCLID AVE.

1



Front - West Elevation (view looking north)

2



South Elevation, looking north. Note Pergola.

3

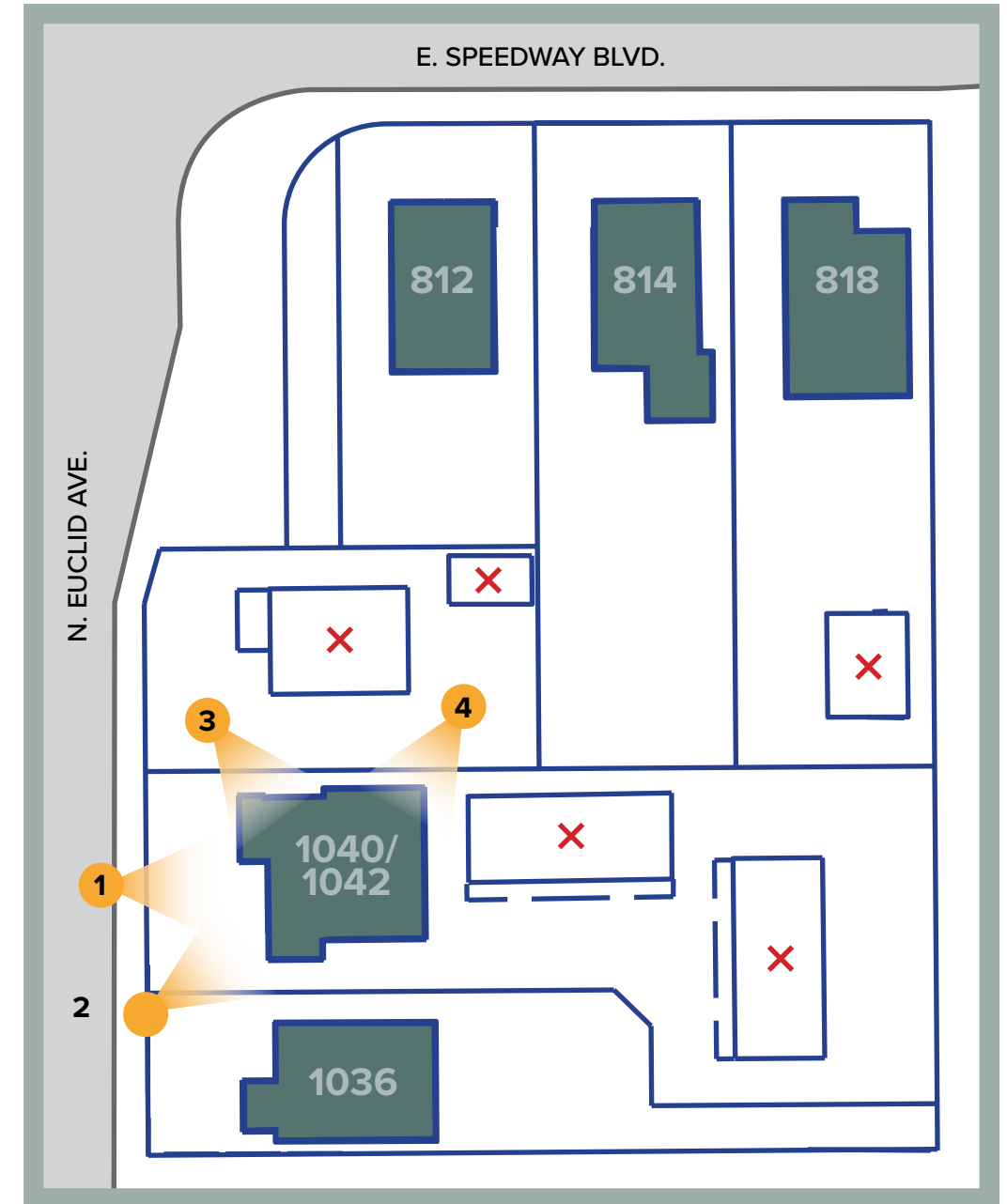


North Elevation (looking southeast)

4



Southeast Corner, east (rear) elevation.



**SITE PHOTO LOCATION KEY**  
N.T.S.



### DOCUMENTATION PHOTOS - 1036 N. EUCLID AVE.



Front - West Elevation



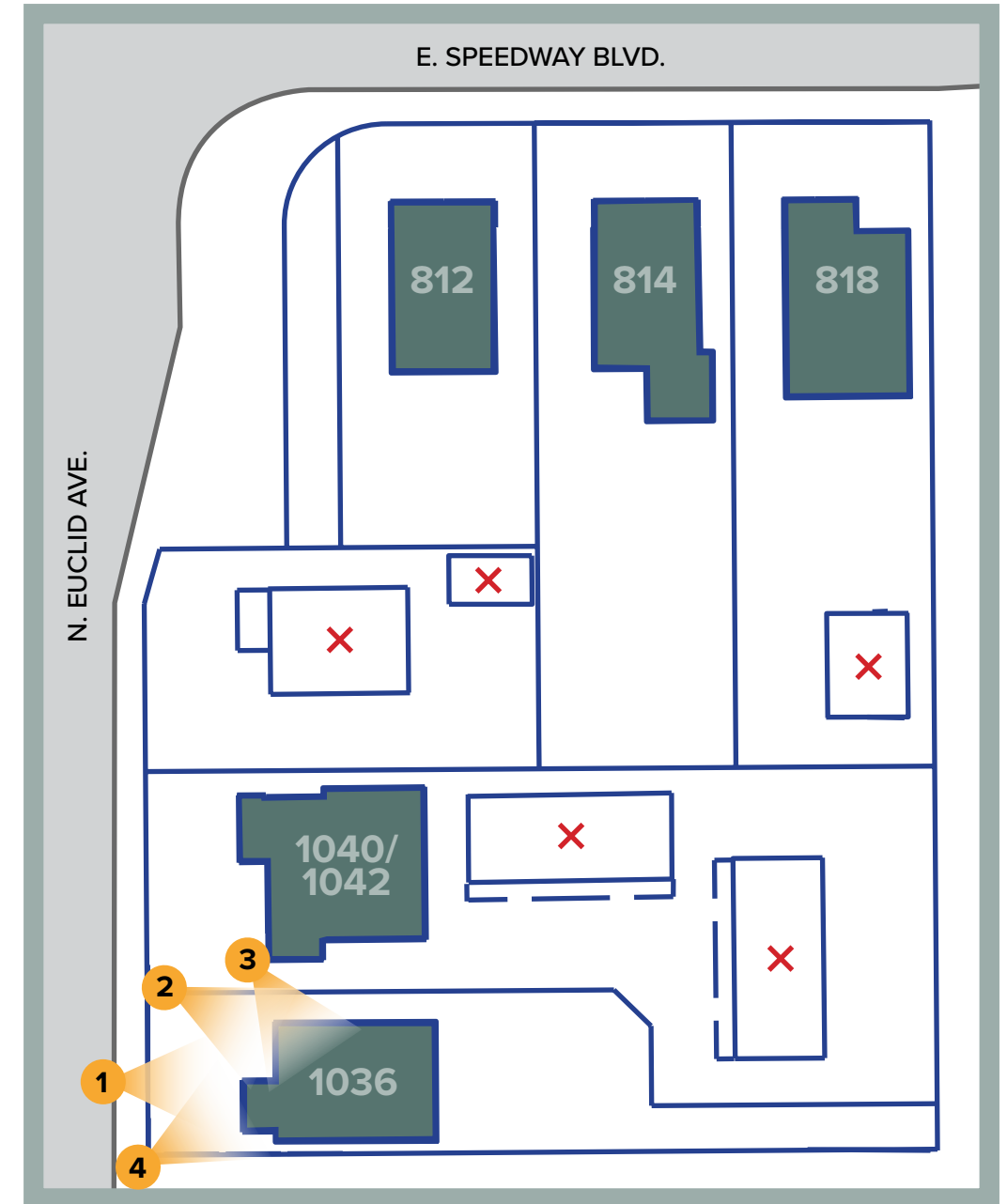
North Elevation



North Elevation



West Elevation



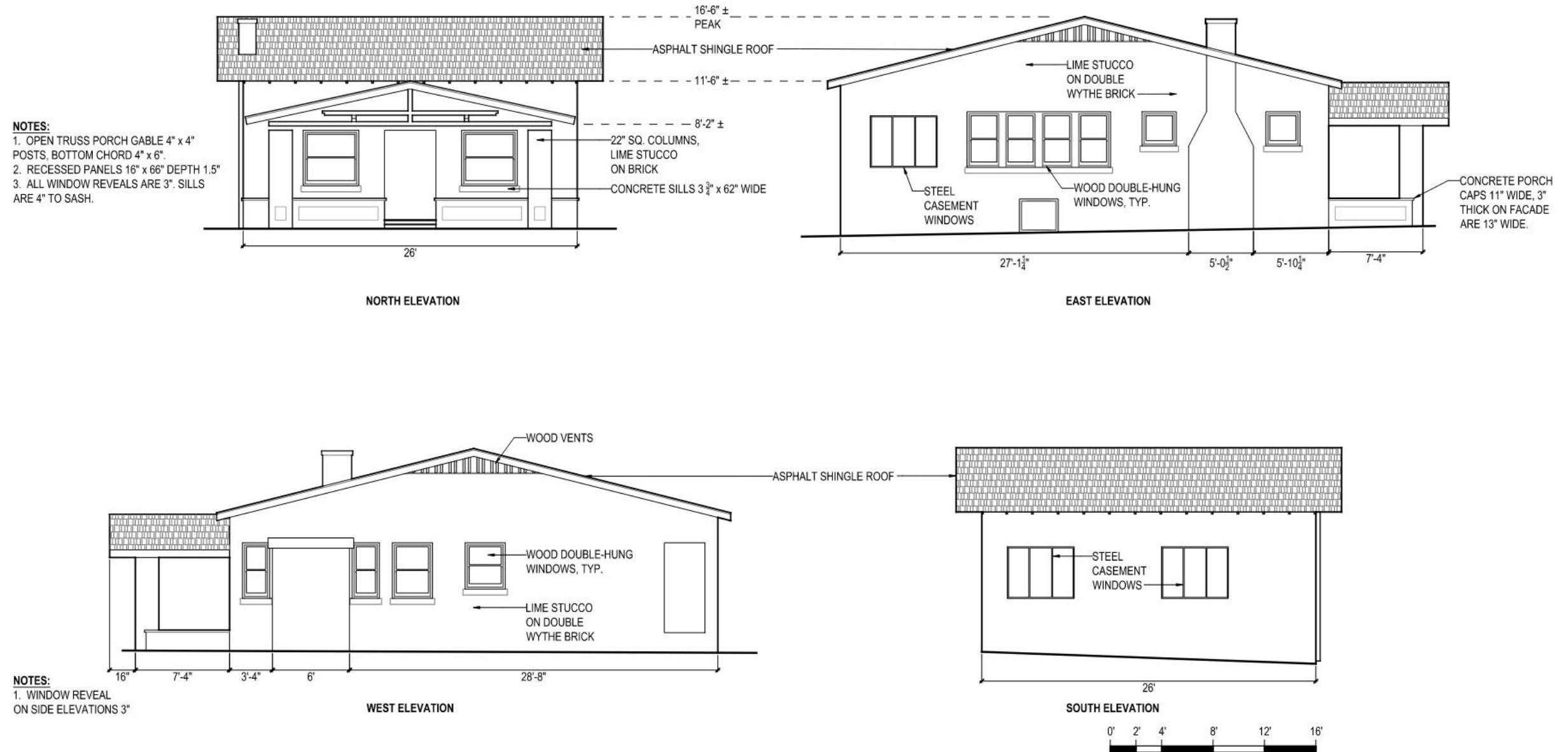
 **SITE PHOTO LOCATION KEY** N.T.S.

ADDITIONAL IMAGES ON PAGE 49,  
INCLUDING SOUTHEAST CORNER



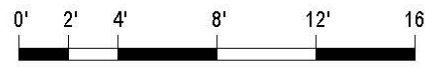
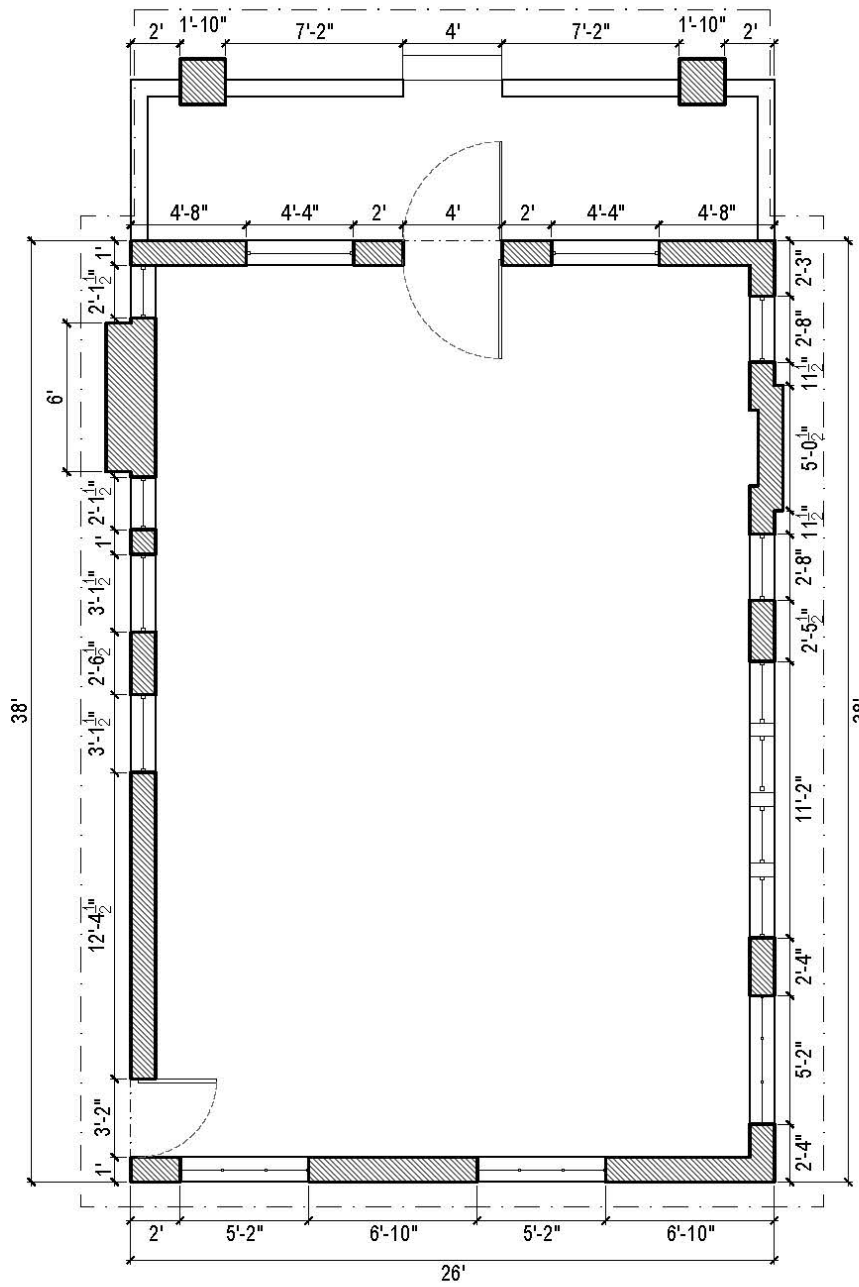
# DOCUMENTATION DRAWINGS: ELEVATIONS

## 812 E. SPEEDWAY BLVD.

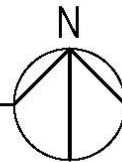




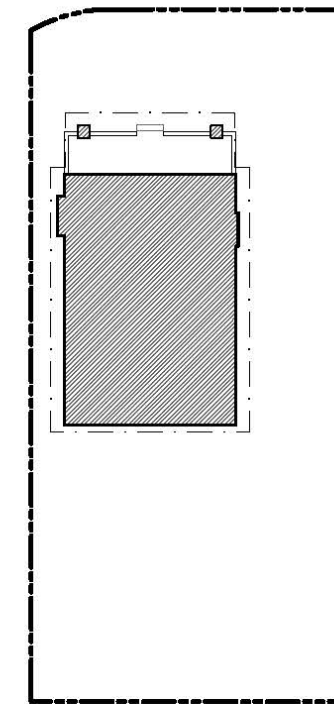
# FLOORPLAN 812 E. SPEEDWAY BLVD.



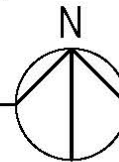
SCALE: 1/8" = 1'



FLOOR PLAN  
812 E. SPEEDWAY BLVD.



SCALE: 1" = 30'



SITE PLAN  
812 E. SPEEDWAY BLVD.



SUPPLEMENTAL IMAGES  
812 E. SPEEDWAY BLVD.



Looking at open truss in gable end, made of 4" x 4 "posts. The bottom chord is 4 x 6"



Wood gable vent in west elevation, east gable vent is identical

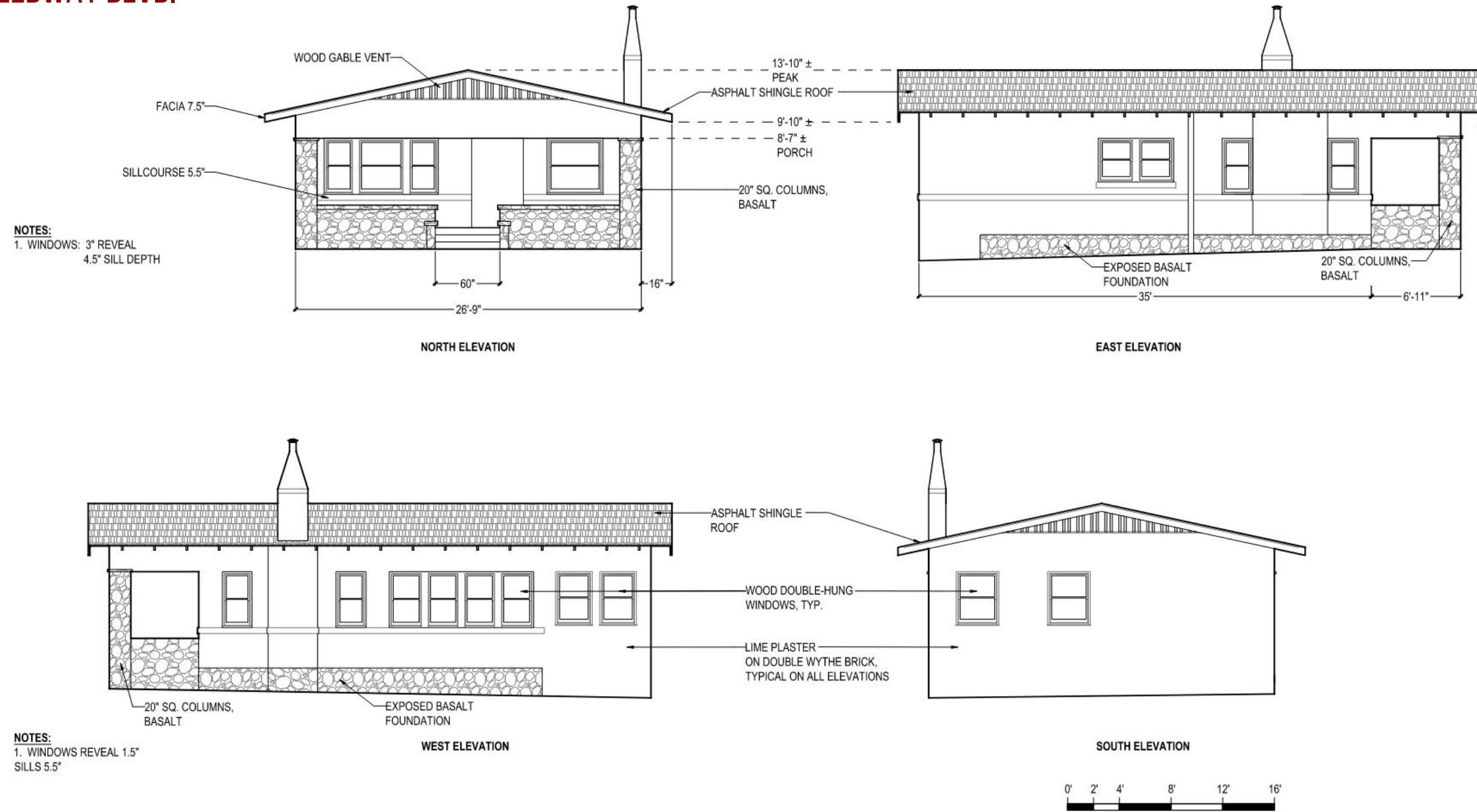


Projection on west elevation, bottom is 18" above grade.



# ELEVATIONS

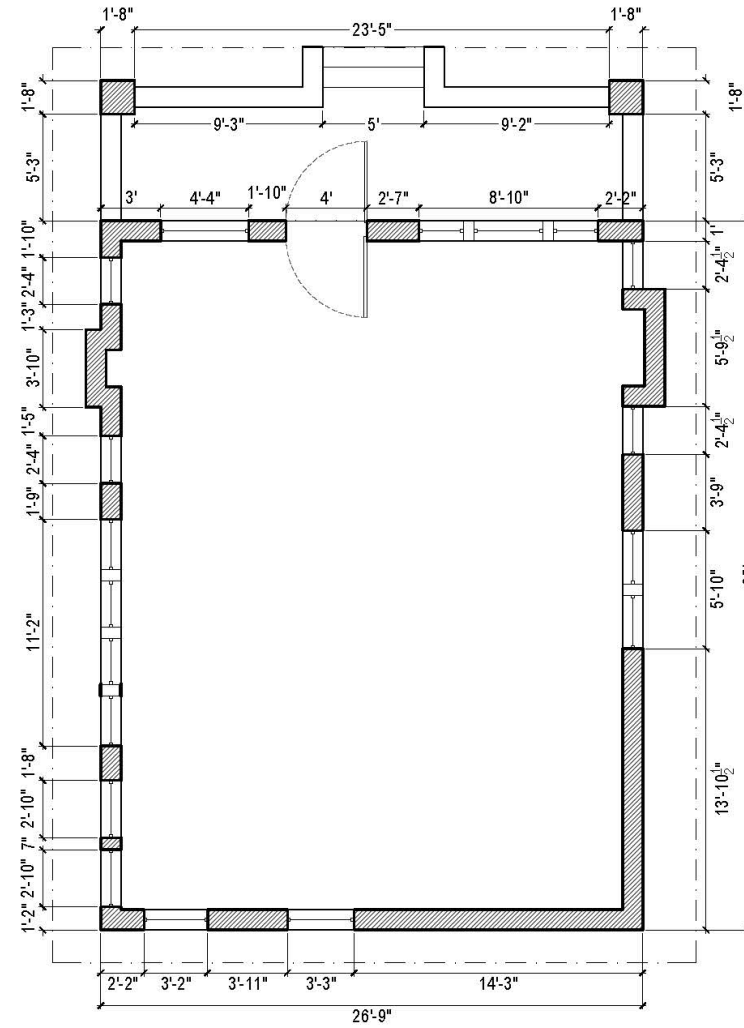
## 814 E. SPEEDWAY BLVD.



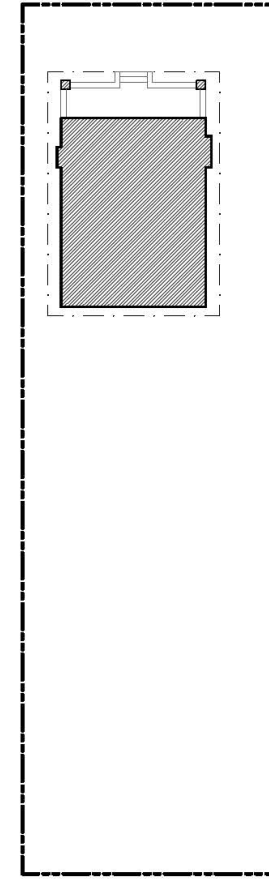


# FLOORPLAN

## 814 E. SPEEDWAY BLVD.



FLOOR PLAN  
814 E. SPEEDWAY BLVD.



SITE PLAN  
814 E. SPEEDWAY BLVD.



SUPPLEMENTAL IMAGES  
814 E. SPEEDWAY BLVD.



Detail of porch wall and tufa placement.



Detail of tufa stone pier and soffit



West porch pier and 1'6" soffit

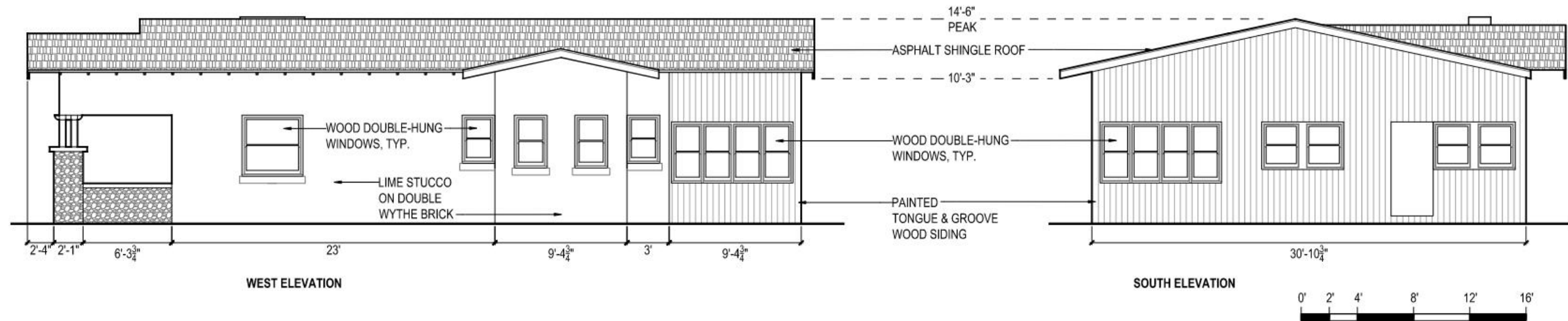
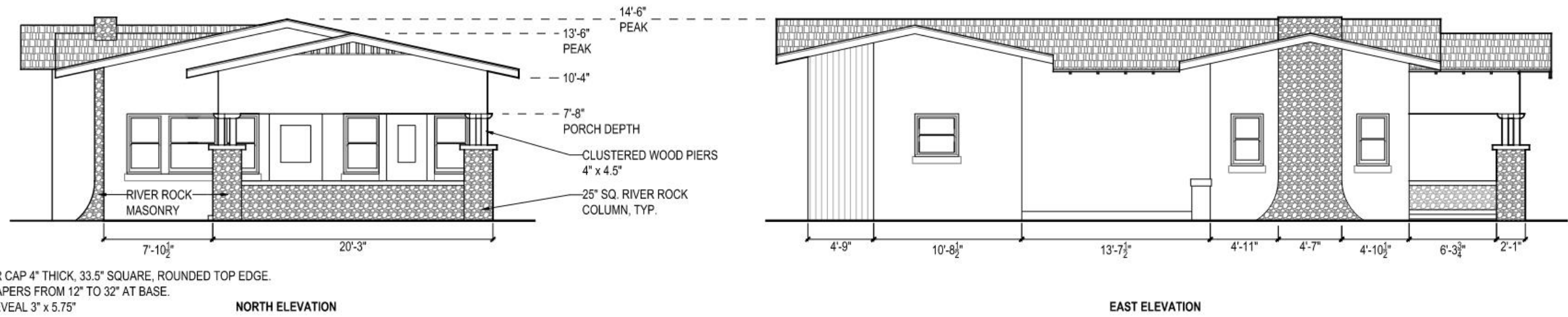


West elevation, noting tufa foundation, 5.5" sill course and brick chimney extending above roofline.



# ELEVATIONS

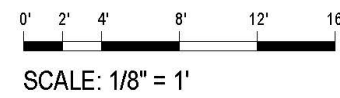
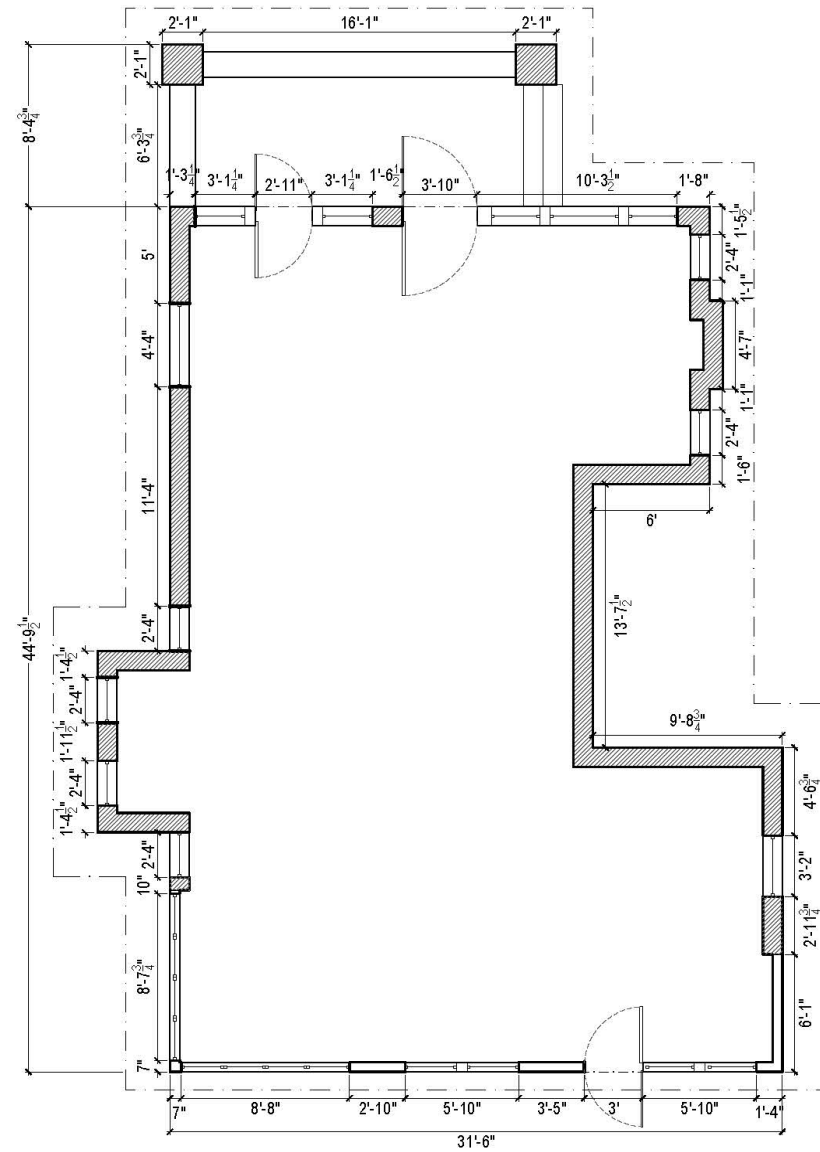
## 818 E. SPEEDWAY BLVD.



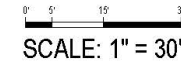
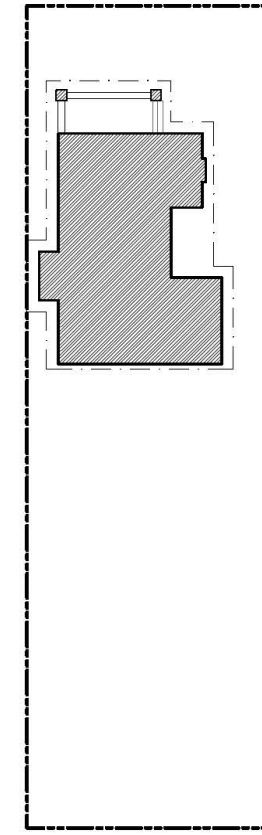


# FLOORPLANS

## 818 E. SPEEDWAY BLVD.



FLOOR PLAN  
818 E. SPEEDWAY BLVD.



SITE PLAN  
818 E. SPEEDWAY BLVD.



SUPPLEMENTAL IMAGES  
818 E. SPEEDWAY BLVD.



West porch pier, cobblestone base and clustered wood posts. Piers are 4" x 4.5"



Detail of posts, looking west on west pier



Porch pier, east end. Identical spacing to west pier.



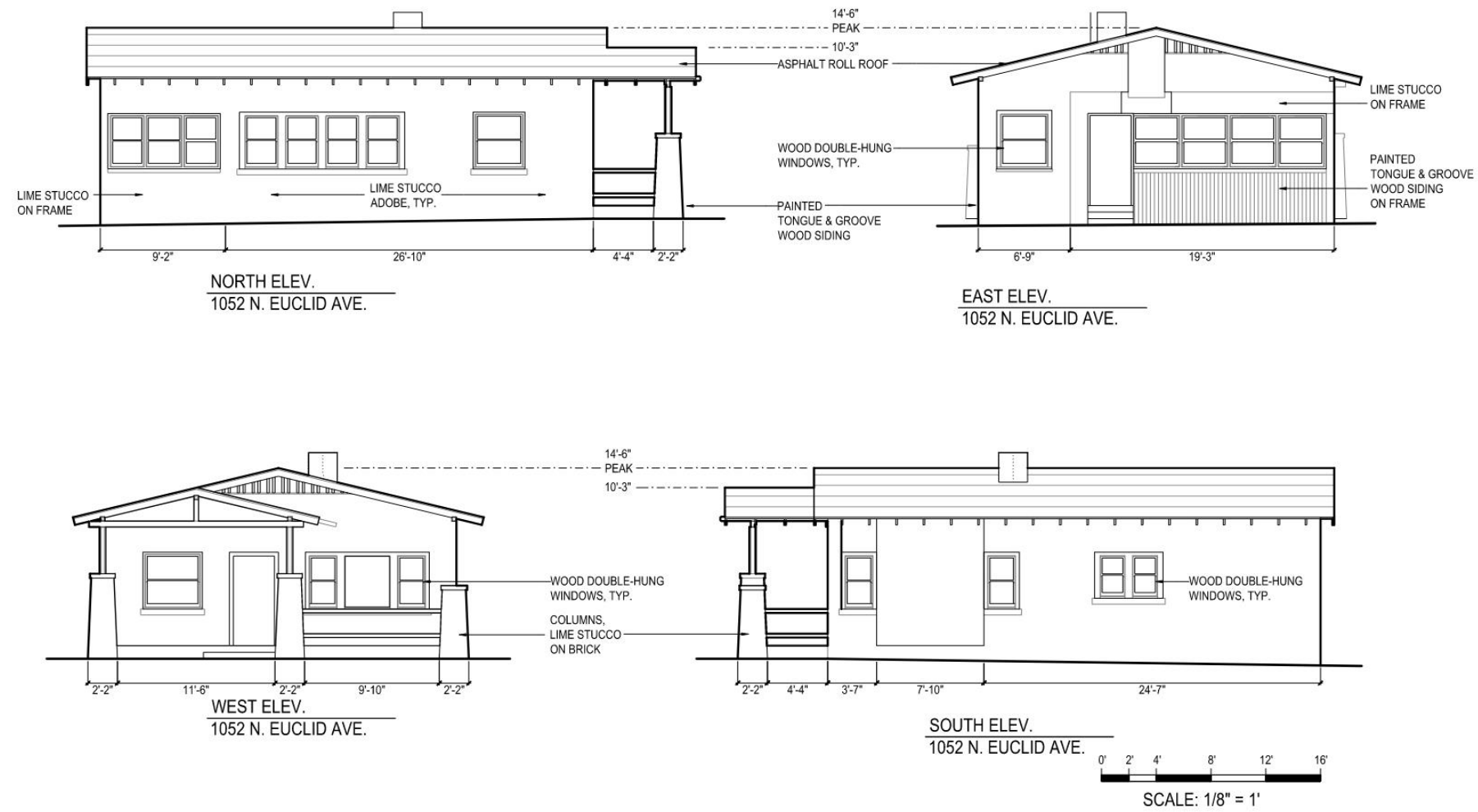
Cobblestone spacing, front face of porch wall.





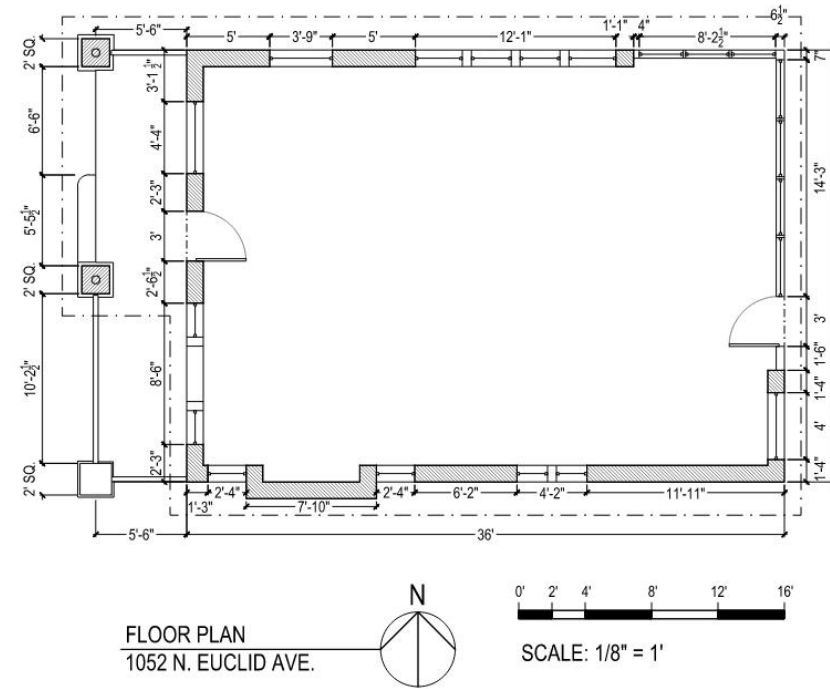
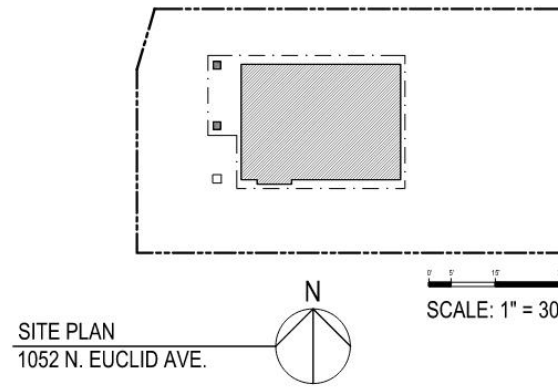
# ELEVATIONS

## 1052 E. EUCLID AVE.





# FLOORPLAN 1052 E. EUCLID AVE.





SUPPLEMENTAL IMAGES  
1052 E. EUCLID AVE.



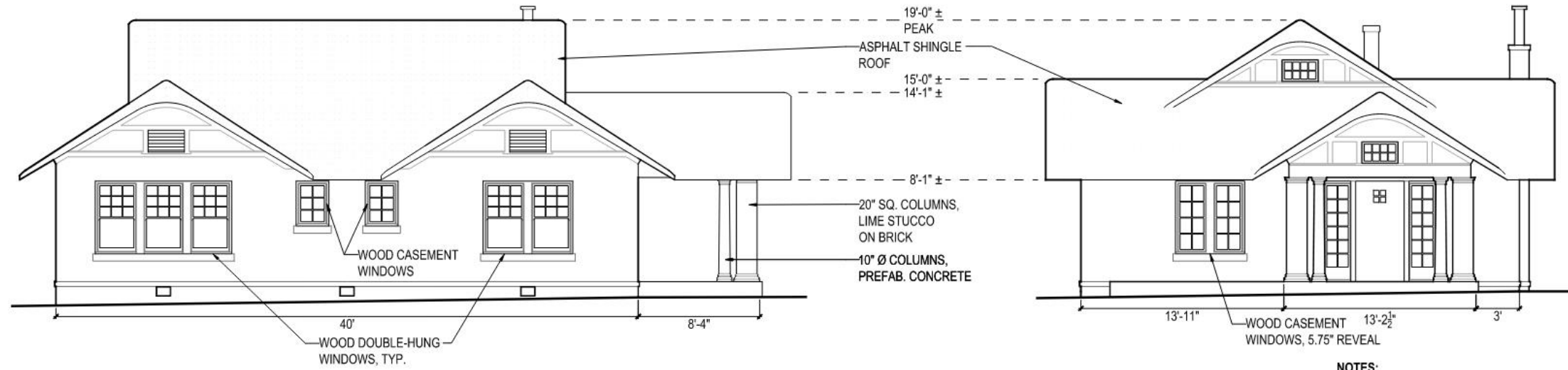
West facade. Very simple Craftsman piers and kingpost truss in porch gable.



Porch pier, north side. Note very minor taper in form. 77" high.



ELEVATIONS  
1036 N. EUCLID AVE.

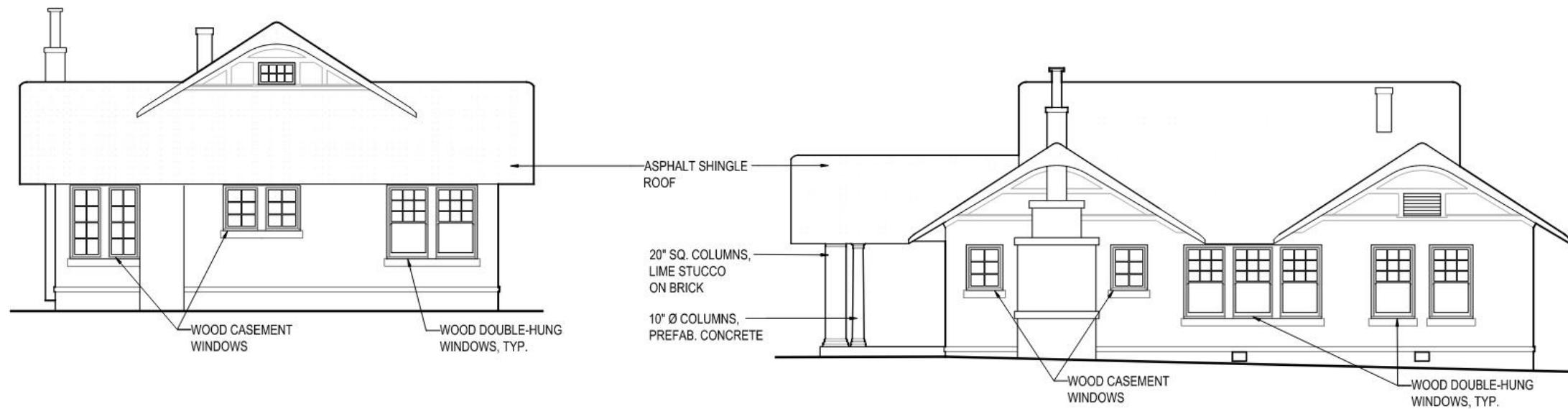


NORTH ELEVATION

EAST ELEVATION

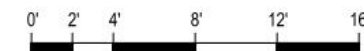
NOTES:

1. FRONT PORCH 10" ARCHITRAVE.
2. PIERS ARE 17" SQUARE w/ SCORED ASHLAR PATTERN.
3. COLUMNS ARE DORIC ORDER w/ ASTRAGAL MOLDINGS.
4. BASE IS 14" PLINTH BLOCK.
5. COLUMN TAPERS FROM 14" TO 9" DIAMETER.
6. ALL WINDOW SILLS 5"



WEST ELEVATION

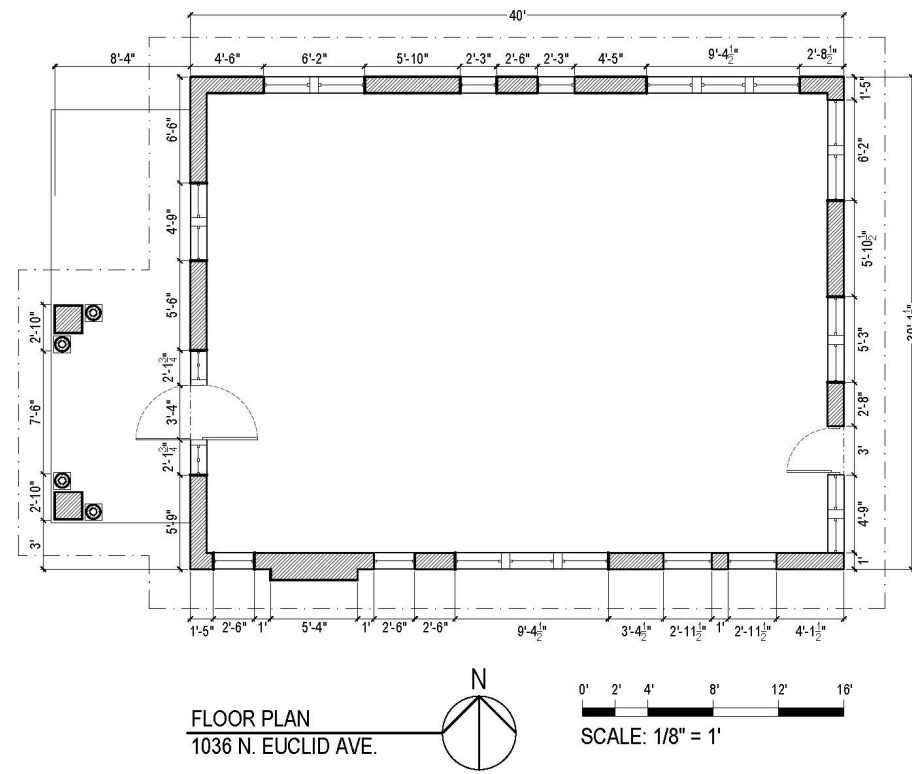
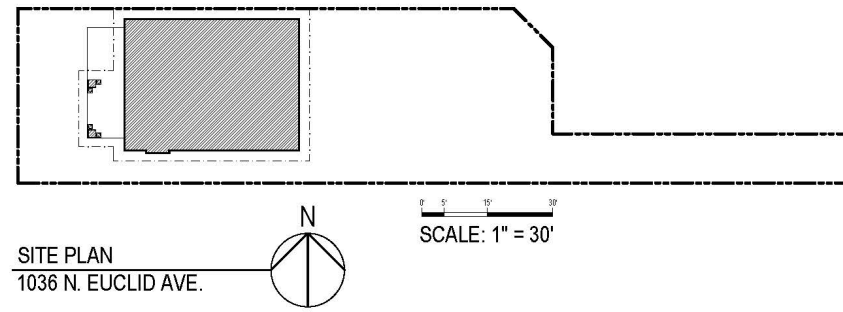
SOUTH ELEVATION





# FLOORPLAN

## 1036 N. EUCLID AVE.





**SUPPLEMENTAL IMAGES**  
**1036 N. EUCLID AVE.**



Porch piers and columns, west facade, with jerkinhead gable.



Southeast corner and portion of east (rear) elevation.



Porch piers and columns. Note slight taper of column, Astragal moldings at base and at Doric capital.

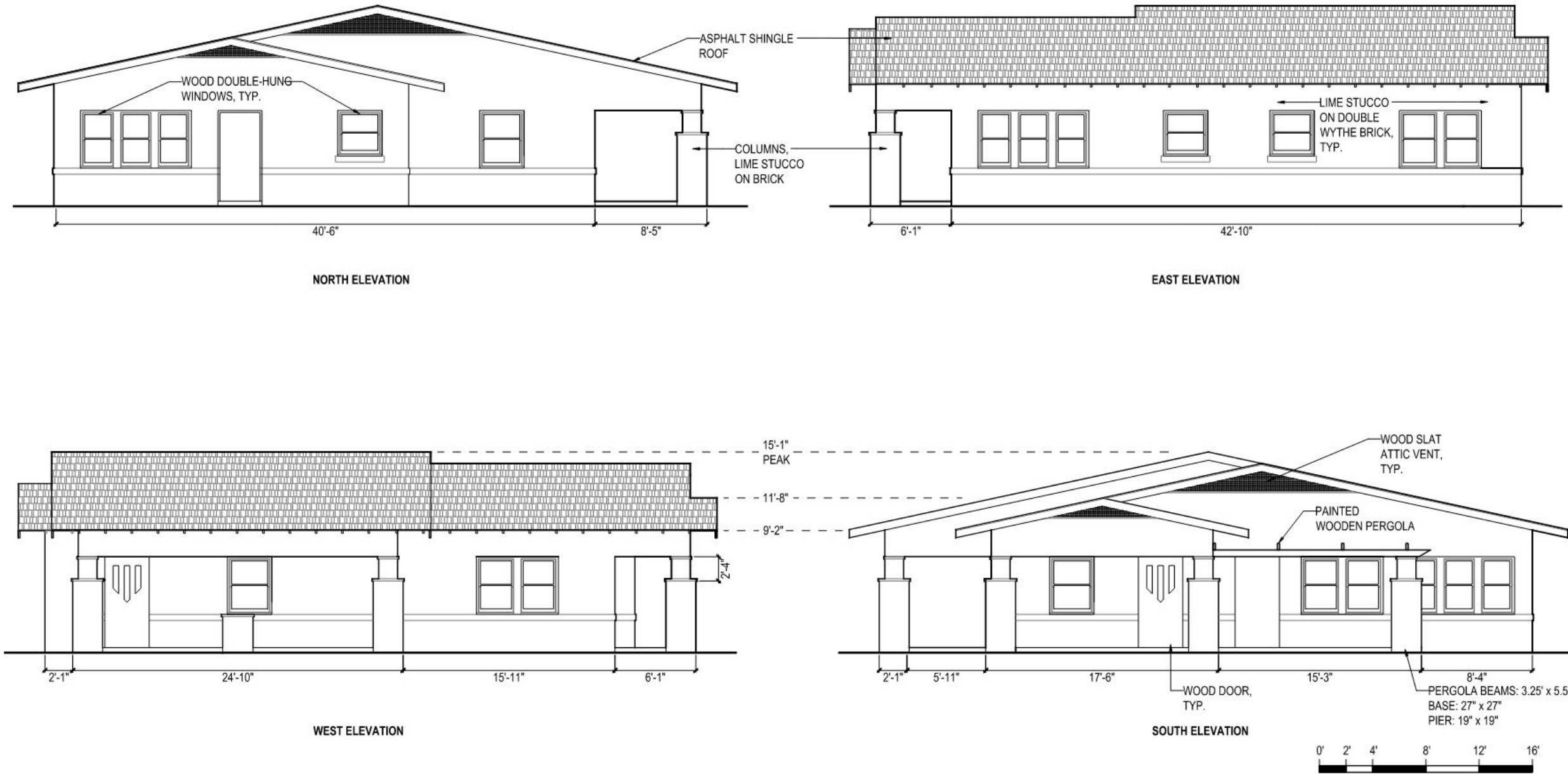


Porch pier is stucco with a scored ashlar pattern etched on surface.



# ELEVATIONS

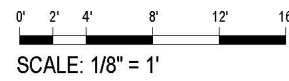
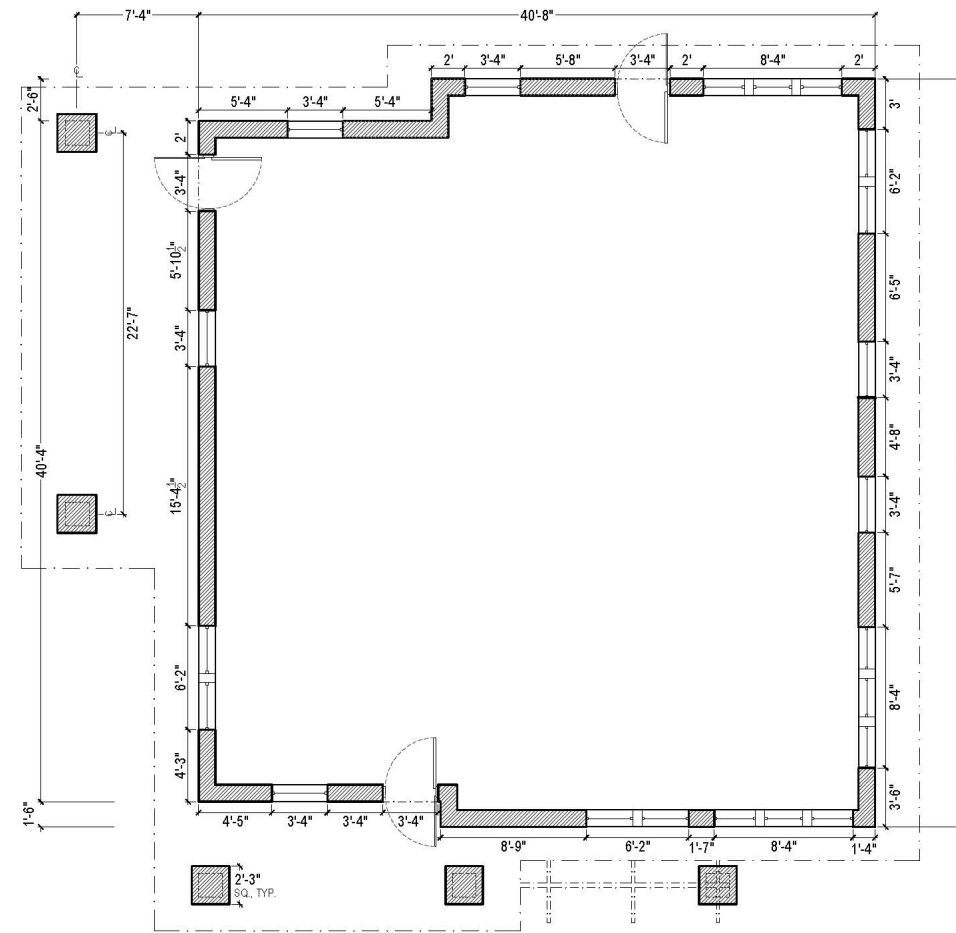
## 1040-1042 N. EUCLID AVE.



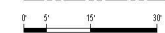
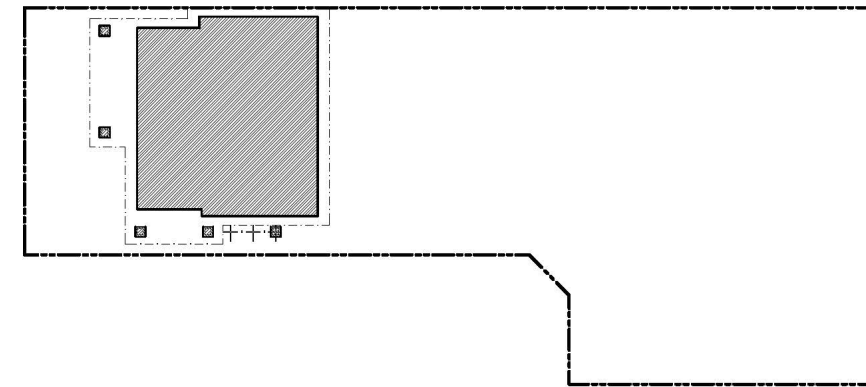


# FLOORPLAN

## 1040-1042 N. EUCLID AVE.



FLOOR PLAN  
1040-1042 N. EUCLID AVE.



SITE PLAN  
1040-1042 N. EUCLID AVE.



**SUPPLEMENTARY IMAGES**  
**1040-1042 N. EUCLID AVE.**



South elevation with porch and pergola



South elevation featuring porch



West elevation, looking north. Modest facade. Porch detail matches south porch.



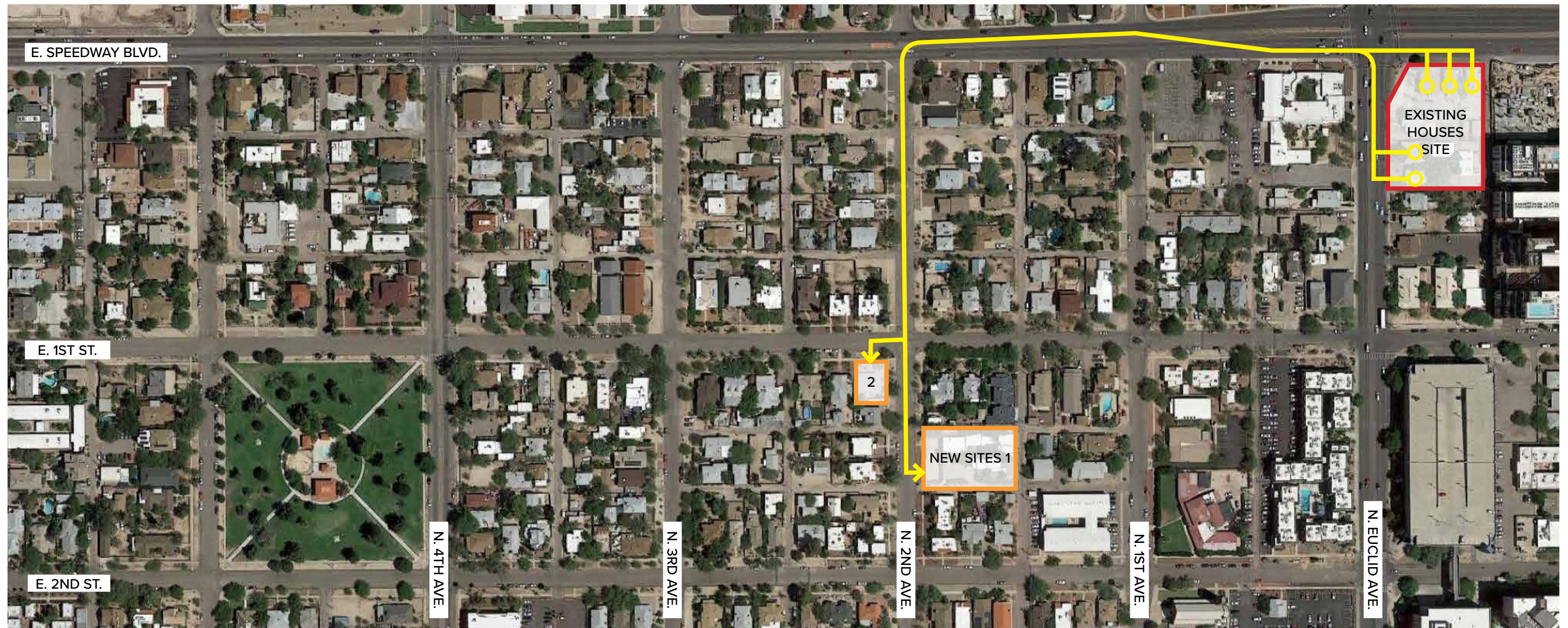
South elevation, looking west from SE corner. Pergola is dominant feature.



Detail of pergola on south elevation. View to east.



# MOVE ROUTE



 **MOVE ROUTE**  
N.T.S.



## ORIENTATION OF HOUSES ON NEW SITES

### HOUSE RELOCATION

Property 1	928 N. 2nd Ave, Tucson, AZ 85705 (‘30’s addition on existing house to be removed) 4 Houses
Property 2	548 E. 1st St, Tucson, AZ 85705 (non-contributing house to be removed) 1 House



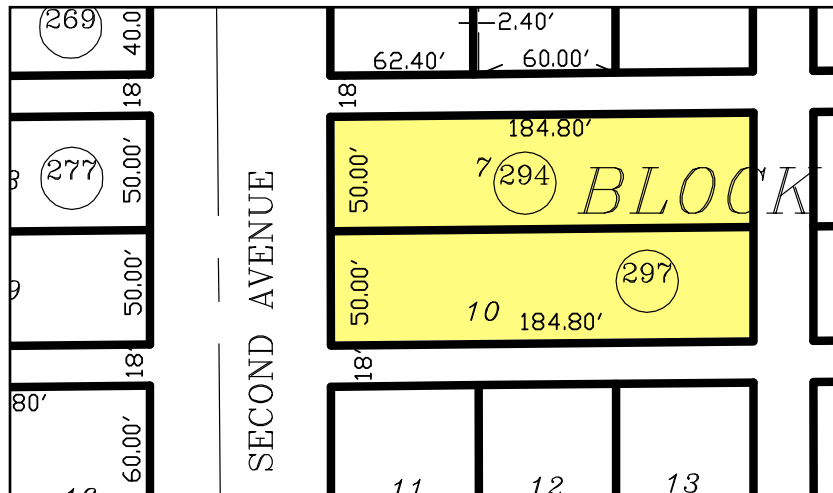
 VICINITY MAP  
N.T.S.



### NEW SITES - PROPERTY 1



**EXISTING SITE PLAN**  
N.T.S.



**ASSESSOR'S RECORD MAP**  
BLOCK 22



**SITE PLAN**  
1" = 30'-0"



812 E. SPEEDWAY



1036 N. EUCLID



1040-1042 N. EUCLID



814 E. SPEEDWAY



## SCOPE OF WORK

### INTRODUCTION

The Capstone Property at the southeast corner of Speedway Boulevard and Euclid Avenue is located within the West University Neighborhood and is currently developed with six historic houses. Five of these houses are to be relocated to two sites on Second Avenue. The new locations are located in the West University Neighborhood which is listed on the National Register of Historic Places. The five houses, once relocated, will retain their contributing status to the West University district.

Capstone is seeking the City of Tucson's approval of certain zoning entitlements in order to develop a student housing, multi-family residential project on the Capstone Property at Speedway and Euclid. That site is adjacent to other student housing buildings.

This Scope of Work represents a joint planning effort between Capstone and Joel Ireland, a West University resident who approached Capstone, offering a site that he owns as a location to relocate these houses. The two parties have entered into an agreement for the relocation of the houses.

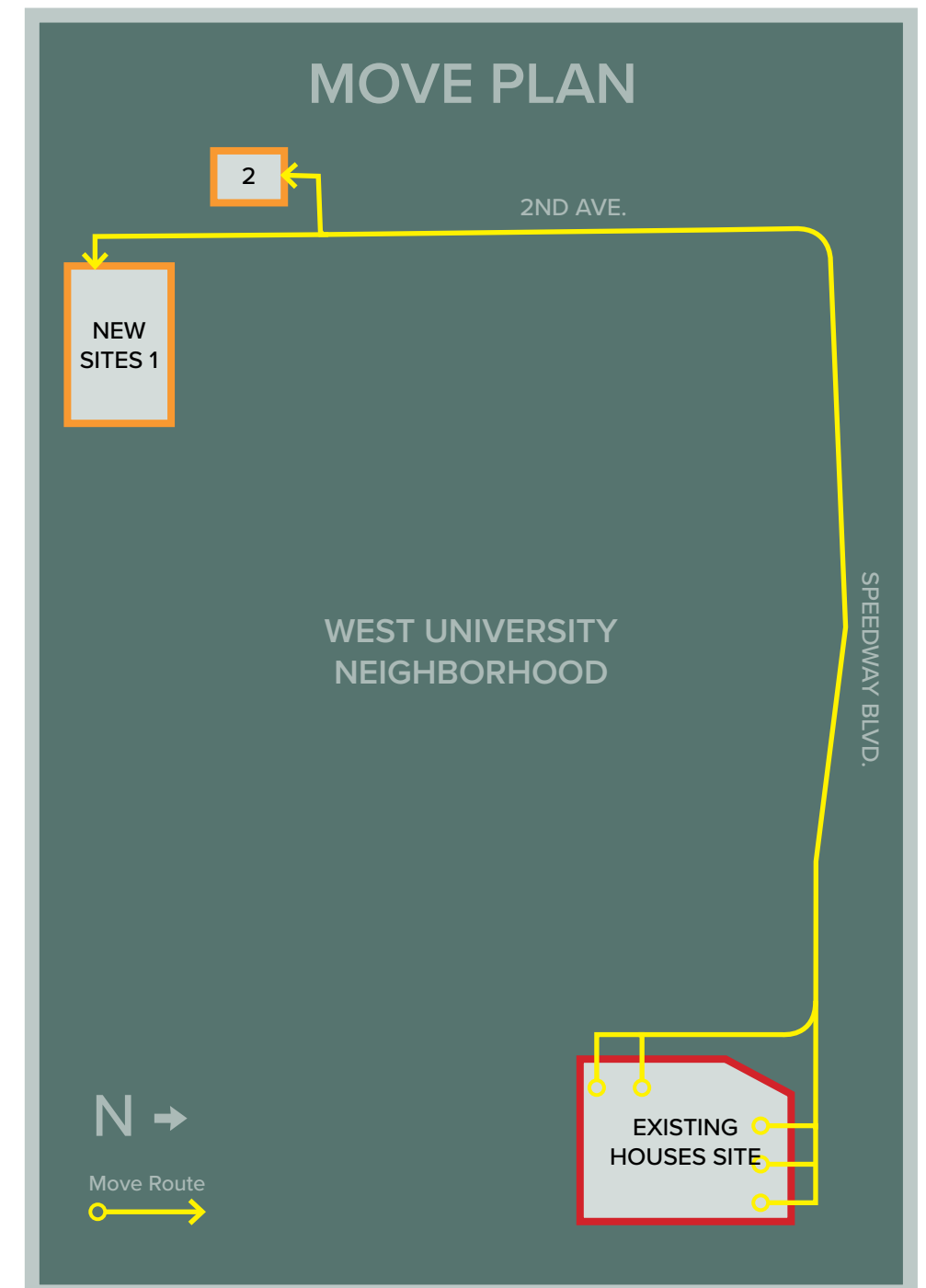
The move is being monitored by the City of Tucson Historic Preservation Office which has jurisdiction over the properties due to their historic status.

The Historic Preservation Office will require that the houses be rehabilitated to convey their original architectural appearance based on the Secretary of the Interior's Standards for Rehabilitation, in essence repairing or replicating the exterior architectural features to the greatest degree possible.

Before the relocation occurs, the City of Tucson is requiring that the houses be documented to the standards of the Historic American Building Survey (HABS). This will occur using a laser scanning technology that can create standard architectural drawings. The final drawings will serve both for historic documentation and as benchmark for the actual rehabilitation.

Each house has a pre-determined site at the new location on Second Avenue. The site is indicated on the final site plans presented on the following pages of this document.

The new owner, Joel Ireland, will be responsible for the rehabilitation, funded in part by Capstone, with the expectation that the houses will all be viable for ongoing residential use. The work will be completed using local contractors.





## RELOCATION/REHAB

### PROCEDURE FOR RELOCATION

The process of moving will be accomplished in a sequence based on the new locations for each house (to be determined).

The initial step requires minor excavation and grading around each house to facilitate access for placing steel I-beams under the house. Notches will be cut in the stem walls to allow for the insertion of steel beams. The beams are then supported by a second set of beams that are fastened together to create a solid platform base under each house. The houses will be lifted from below at the base of the main sill plate and floor joints, shimmed as required. The steel platform base is then lifted and attached to a truck for the actual move. In cases where there is a veneer of tufa or cobblestone, this will be removed, or if the stem wall is structural, the tufa or cobblestone stem wall will be disassembled and relocated.

As noted below, in some cases the porch roofs will be removed from the “main block” of the house and the materials salvaged for potential reuse. In other cases, the porches are integral to the predominant roof structure and will be supported with steel bracing integrated with the steel base.

Non-historic additions will be removed and those wall sections restored to their original appearance as part of the rehabilitation.

Any chimneys that are not integral to the main block will be removed from the walls with the intent that they be reconstructed at the new site after the move.

### MOVE ROUTE

In general, the houses will be towed from their current site onto either Speedway or Euclid and maneuvered to proceed west on Speedway. This will require temporary blocking of traffic and likely temporary relocation of streetlights. The route will turn south on Second Avenue for two blocks before arriving at the new site. Some trimming of trees will be required, as well as all cars prohibited from parking on the street. The move(s) are expected to occur overnight, over a five-week period. The exact schedule will be determined.

### PREPARATION WORK FOR NEW LOCATION

New footings will be constructed prior to the move. Foundations/stem walls will then be built up to the base of each house so they can be set in place. Foundation sheathing will occur as part of the rehabilitation, as noted below.

At the 928 N. Second Avenue site, an existing retaining wall will need to be removed and the land graded to allow access for the houses. The site will need to be regraded, stabilized and

compacted. The retaining wall will need to be reconstructed. Specifics on work required for the move of each house are outlined in the coming pages.

### EXTERIOR REHABILITATION

The move procedure will require removal of certain features, notably porches and other projections, that are not integral to the structural frame of the house.

There are also certain general conditions pertaining to the move procedure. Windows shall be considered to be part of the primary structure and will be moved as part of the main block. The windows will be boarded prior to the move for protection and stability. Cracked or broken glass will be replaced as needed after the move. Porch floors and stairs that are scored concrete will not be moved, but will be replicated to match the original material. All roofs will be moved with the house, but houses may need new roof sheathing to be applied at the new location. The new site will be fenced for security, typical of any construction site.

The following list identifies the specific architectural features of the houses to be restored/ repaired on each house in order to retain the integrity of the historic appearance.



## SCOPE OF WORK - 812 E. SPEEDWAY BLVD.

### MOVE RELATED

- Porch piers and pony wall with concrete cap to be removed. Porch features will be rebuilt to match the existing appearance.
- Porch floor slab to be removed. A new porch slab will be poured to match the existing condition including recessed panels and coping on pony wall.
- Porch roof to be removed, material salvaged if viable for reuse. Roof structure may be moved separately.

### REHABILITATION

- Textured stucco exterior sheathing to remain intact, patched/repared as needed with material matching the existing finish.
- Porch Roof may need to be replicated to match existing form, and trusswork in gable. Minor adjustments may be needed to meet code requirements for framing.
- New porch floor slab and stairs to be poured. Textured and score to match existing.
- Roof fascia, overhangs, and rafters on side elevations and all supporting brackets should be moved with the house.

- Stucco on exterior walls to be patched where needed with textured stucco and painted.
- Window frames to be repaired and painted such that windows are viable. (Replacement of windows, sill, or sash to be done by contractor, only if warranted and approved by City of Tucson HP.)
- Window sills, frames and related wood components to be filled and painted.
- Window glass to be repaired as needed.
- Main chimney (currently on east wall) to be rebuilt to match existing height and stuccoed with texture to match main house.
- New “dimensional” roof shingles to be applied.
- All of the stem walls shall be built to their original dimensions, so the height is accurate to the original appearance.
- Note: Minor changes to the details or roof overhangs may be required on each house once the site plan is evaluated for fire and building safety considerations.





## SCOPE OF WORK - 814 E. SPEEDWAY BLVD.

### MOVE RELATED

- Tufa foundation/stem wall to be removed. Material to be salvaged.
- Tufa porch piers and pony wall to be removed. Material to be salvaged, and marked/numbered to record placement. Piers and pony wall to be rebuilt to match the existing condition.
- Roof and eave to be transported with the house, supported by steel columns, and braced to stay in place.
- Rear, wood-framed addition to be removed. (Not to be moved or rebuilt, (as noted on the site plan).
- Porch floor slab to be removed. A new porch slab will be poured to match the existing condition including recessed panels and coping on pony wall.

### REHABILITATION

- Tufa stone to be re-applied to the new foundation as accurately as possible using mortar that matches the color and texture of the existing.
- Porch piers to be replicated and sheathed with salvaged Tufa stone.

- Textured stucco exterior sheathing to remain intact, and be patched/repaired as needed with material and texture to match the existing finish.
- New porch floor slab and stairs to be poured. Textured and score to match existing.
- Fascia boards, exposed rafter tails, and all woodwork to be scraped, primed and painted.
- Wood venting in gable end to be scraped, primed and painted.
- Window glass to be repaired as needed.
- Window frames to be repaired and painted such that windows are viable. (Replacement of windows, sill, or sash to be done by contractor, only if warranted and approved by City of Tucson HP.)
- Window sills, frames and related wood components to be filled and painted.
- New dimensional asphalt shingles to be applied.
- Chimney above roof on west elevation to be rebuilt to level of brick corbel.
- Note: Minor changes to the details or roof overhangs may be required on each house once the site plan is evaluated for fire and building safety considerations





## SCOPE OF WORK - 818 E. SPEEDWAY BLVD.

### MOVE RELATED

- Cobblestone to be removed from the base of the porch piers. Material to be salvaged and transported to new site to be applied to the new foundation.
- Clustered porch posts at the top of the tapered piers to be relocated separately for re-installation in their correct location.
- Cobblestone to be removed from chimney, or chimney disassembled. Material to be salvaged and transported to new site, and applied to new chimney.
- Porch roof will be removed. Material to be salvaged.

### REHABILITATION

- Textured stucco exterior sheathing to remain intact, patched/repared as needed with material to match the texture of the existing finish.
- Chimney (currently on east wall) to be rebuilt to match existing height. Exterior of rebuilt chimney to be sheathed with cobblestones, above and below roof.

- Cobblestone to be applied to new porch piers and pony wall.
- Clustered porch posts (salvaged) to be reinstalled.
- New porch floor slab and stairs to be poured. Textured and score to match existing.
- Fascia boards, exposed rafter tails, and all woodwork to be scraped, primed and painted.
- Window glass to be repaired as needed.
- Window frames to be repaired and painted such that windows are viable. (Replacement of windows, sill, or sash to be done by contractor, only if warranted and approved by City of Tucson HP.)
- New dimensional asphalt shingles to be applied.
- Note: Minor changes to the details or roof overhangs may be required on each house once the site plan is evaluated for fire and building safety considerations





## SCOPE OF WORK - 1052 N. EUCLID AVE.

### House to be Demolished

This house is the only structure on the site that will be demolished. The external load bearing walls are a hybrid of wood and masonry construction and there is severe caving on the interior surfaces. There is no continuous framing to provide the structural rigidity typically required for a move.

### Structural Evaluation

The following is excerpted from the report of Schneider Structural Engineers, dated 6/17/22.

Schneider Engineers visually reviewed the property on 06/17/2022. Ron Schneider, PE, the representative for Schneider Structural Engineers (SSE), performed the site visit and gathered the information necessary for this structural assessment. The existing structure is a single-story structure with a wood framed roof supported on double Wythe unreinforced brick masonry and a wood framed floor supported on the foundation. The foundation stem walls below the floor joists appeared to be either masonry or cast in place concrete. There is stucco over the brick walls on the exterior and plaster on the interior.

The interior walls are wood framed with wood lath and plaster or stucco. This house has some large openings in the masonry, like the south wall on the west side. We noted evidence of a previous fire in the attic. Some of the wood roof planks are burnt and need to be replaced and some of the roof rafters were burnt and need to be replaced. It is estimated that about 30% of the roof is fire damaged.

This house is well-worn and many items need to be repaired. Because of the large window openings and/or wood-framed openings in the masonry walls, there are weak areas that a house mover would need to reinforce. A crack above the head of the window (north wall) and two (2) windows on either side create weak sections of these walls.



### Recommendations:

Due to the fire, all of the fire damaged lumber of the roof needs to be replaced to maintain the integrity of the structure during a move. We recommend to tie the ceiling rafters to the exterior walls with metal straps/ clips which will help support the integrity of the walls. We also recommend removing the front porch and the rear porch. We recommend that the house mover review our finding and determine if the structure is feasible to move considering the weaknesses identified.



## SCOPE OF WORK - 1040-1042 N. EUCLID AVE.

### MOVE RELATED

- Porch piers to be removed on both west and south elevations.
- The porch roofs are integral to the house and will be moved as part of the structure, braced by steel posts.
- All components of pergola on south elevation to be removed and transported to new site.

### REHABILITATION

- The pergola on the south side of the house to be reconstructed/replicated on new site using existing salvaged timbers to greatest extent possible. Any new material to match existing in shape and dimension.
- Porch piers on both porches to be reconstructed, using existing materials to greatest extent possible. New stucco finish to match the existing.
- Stucco on exterior walls to be patched where needed with textured stucco and painted.

- Window frames to be repaired and painted such that windows are viable. (Replacement of windows, sill, or sash to be done by contractor, only if warranted and approved by City of Tucson HP.)
- Window glass to be repaired as needed.
- New porch floor slab and stairs to be poured. Textured and scope to match existing.
- New dimensional asphalt shingles to be applied.
- Chimney to be rebuilt at current location.





## SCOPE OF WORK - 1036 N. EUCLID AVE.

### MOVE RELATED

- Classical porch piers are independent units that will be removed from the porch and moved separately.
- The porch roof is integral to the house and will be moved as part of the structure. Roof will be supported on steel columns.
- Overhanging curved eaves will need to be removed due to overall width of house (pending width clearances on move route).

### REHABILITATION

- Curved roof eaves will be reattached or replicated as needed in order to match the existing profile.
- Textured stucco exterior sheathing to remain intact, patched/repaired as needed with material matching the existing finish.
- Porch piers and reinstalled/reassembled per the existing placement and design of the porch.
- New porch floor slab to be poured. Textured and score to match existing. The scoring of the porch floor shall be documented so that it can be accurately replicated.

- Window glass to be repaired as needed.
- Window frames to be repaired and painted such that windows are viable. (Replacement of windows, sill, or sash to be done by contractor, only if warranted and approved by City of Tucson HP.)
- New dimensional asphalt shingles to be applied.
- Chimney on south elevation to be rebuilt above roof level.





## REHABILITATION SCOPE- 1030 N. EUCLID AVE.

House to remain on current site.

This house will be rehabilitation for ongoing residential use as a rental unit that is part of the overall complex developed by Capstone Communities. The goal is to restore the facade and front yard so that the house and landscape are consistent with the adjacent context of Euclid Avenue.

### MAJOR WORK ITEMS

- Textured stucco sheathing to be patched with matching material and painted.
- Porch piers to be painted as needed.
- All wood trim, beams, window frames to be stabilized, filled, and painted.
- Windows may be replaced with similar wood sash pending condition and approval by City HP office. Front door and sidelights to be repaired and painted.
- New dimensional roof shingles to be applied, retaining the curved roof edges.





## REHABILITATION SCOPE - 1024 EUCLID AVE.

House to remain on current site

This house will be rehabilitated for ongoing use. It is intended to be used as a rental unit, consistent with the overall complex. The goal is to restore the facade and front yard so the house reinforces the historic character of Euclid Avenue streetscape.

### MAJOR WORK ITEMS

Textured stucco sheathing to be patched with matching material and painted. Porch piers to be painted as needed. All wood trim, beams, window frames to be stabilized, filled, and painted.

Windows may be replaced with similar wood sash pending condition and approval by City HP office.

Roof to be stripped, all wood decking repaired, and new dimensional asphalt shingles installed.

All stucco cracks to be repaired or holes patched with similar material and texture and painted.

Chimneys to be stabilized and restuccoed.





## IMPLEMENTATION STRATEGY AND COMMITMENT TO COMPLETE

### INITIATION:

In 2018, Capstone Collegiate Communities initiated the "Speedway Euclid" project, with the expectation that the site could be cleared for development of a student housing facility that would conform to the West University Neighborhood Plan. The intended goal remains to design an infill project that creates a transition in height and form to the Maingate area to the east. In response, Capstone heard from the owners and from the West University neighborhood that this corner was unique and the houses were valued for their architecture. Capstone was advised to look for alternatives to demolition including moving some or all of the houses elsewhere in the city, Five of the houses were determined structurally viable to move.

Capstone committed to investigate moving the houses within the West University Neighborhood, compiling documentation, and ensuring the houses, once moved, would be rehabilitated and would remain listed as contributing properties on the National Register of Historic Places. This report presents the documentation and the rehabilitation plan. Capstone also obtained conformation from the State Historic Preservation office and the National Park Service that the houses will retain their historic status once moved and relocated according to the site plans illustrated in this document.

### IMPLEMENTATION AND COMMITMENT:

The next key step is to obtain various permits, ironically "demolition permits" for the five houses to be relocated. This will entail hearings with the West University Historic Zone and the Tuscon-Pima County Historical Commission Plans Review Subcommittee, and the final review by the Tuscon Historic Preservation Office. Upon approval, Capstone will then secure permits for the actual move from various City Departments. We have contracted with Wolfe House Movers from Pennsylvania, one of the largest movers in the country for historic building relocation. They have already toured the site, inspected the houses and measured the route for slope and street width. There are no major obstacles, and minimal risk of damage due to the short distance involved and the relatively flat topography of the route.

Pending the time required to complete the permitting process, the move is scheduled for Summer/Fall of 2022. Capstone has a contractual agreement with the owner of the two sites on 2nd Avenue which includes funding for the exterior rehabilitation costs determined for each house based on bids from Tuscon contractors. Capstone will monitor the completion of the rehabilitation until the houses are ready for tenants.

### DESIGN AND PERMITTING FOR THE INFILL STRUCTURE - Coordination the New Design in Tandem with the Relocation.

Capstone is also working on the planning and design of the new student housing building for the Speedway and Euclid corner. The goal is to create a design for a new building that meets the current expectations of the student population at a reasonable price point. Equally important is creating a building that is complementary to the urban context of the site, yet also conforms to the planning guidelines and expectations for the Tucson Gateway district, and the West University Neighborhood Plan. The degree of planning that can be accomplished correlated to the permitting for the relocation, but the designers from architects Ankrom Moisan are working on preliminary concepts for the building. The firm nationally known for student housing design and has experience in Tucson.



## IMPLEMENTATION STRATEGY AND COMMITMENT TO COMPLETE VISIONING AND EXPECTATIONS

### THE INITIAL GOALS REMAIN THE SAME

Transitional height from the existing high rise housing, downsizing toward the West University Neighborhood in a manner consistent with the West University Neighborhood Plan.

Interactive and engaging ground floor design and retail opportunities to enhance the pedestrian experience along Speedway and Euclid Avenue.

Architectural design that reinforces and respects the West University Historic District by buffering the view of the Maingate area.

