



April 22, 2024

Lisa Bowers, Sonoran Development  
130 E. Congress St, Unit 200-133  
Tucson, AZ 85701

Subject: Compact and Bicycle Parking Minor Amendment,  
PAD-33 – Partners on Fourth  
TP-MOD-0424-000004

Dear Mrs. Bowers:

Thank you for your letter dated April 5, 2024, requesting a minor change to the Preliminary Development Plan (PDP) for PAD -33 – Partners on Fourth. The requested revision to the current approved Entitlement PAD/PDP is:

1. Substitution of 2 standard stalls for 2 compacts stalls with no net change to total required parking stalls.
2. Deletion of the “public access” requirement of the residential parking areas due to crime and safety issues and increase public bicycle parking spaces along North 4<sup>th</sup> Avenue to 50.

I have reviewed the proposed changes to the PDP as depicted on the revised drawing submitted with your letter, and determined that it is a minor change, that may be administered as a Director’s Decision. It is understood that the rezoning/PAD conditions, as approved, remain unchanged, and this revision to the PDP can be considered a non-substantial change for the following reasons:

1. This revision does not increase density of subject property;
2. This revision does not increase height of subject property;
3. This revision does not alter landscaping requirements;
4. This revision does not significantly alter changes in traffic circulation or parking;
5. This revision does not alter the drainage flows or patterns.

Please attach a copy of this letter with your Development Package application. If you have any questions regarding the rezoning, please contact John Beall at 837-6966.

Sincerely,

A handwritten signature in blue ink that reads "Kristina Swallow". The signature is written in a cursive style.

Kristina Swallow, Director  
Planning and Development Services Department

Attachments: Applicant's Request and revised PDP

April 5, 2024

City of Tucson  
 Planning and Development Services Department  
 North Stone Avenue  
 Tucson, AZ 85726-7210

RE: **Partners on Fourth PAD-33**  
**213 N 4th Avenue**  
**Tucson, AZ 85705**  
**Request for Revision to Minor Amendment Approval Letter dated July 9, 2019**

As a follow up to previous communications on this matter, please assist is securing a modification to 2 items identified in the previously approved Minor Amendment to PAD-33.

Parking & Access

1. Compact Parking Spaces

Our development agreement approves the total number of required parking stalls for the project including the number of compact stalls at four (4). Due to utility layout requirements, we are respectfully requesting that the number of allowed compact stalls to be increased from four (4) to six (6).

**Item 1 Compact Parking Spaces:** You have requested a minor amendment to allow four (4) compact parking spaces within the residential parking garage dimensioned at 8-feet by 16-feet, due to the irregular shape of the site and the parking garage geometry. The total compact count is 1.5% of the total motor vehicle off-street parking. The *Partners on Fourth* PAD-33 Part III.3.D Vehicle Parking and Bicycle Facilities does not address compact parking spaces.

Staff confirms that the four (4) compact parking spaces located in the residential parking garage (Section A of the PAD boundary), and not in the merchant/retail parking garage (Section B of the PAD boundary), is a non-substantial change and approved as requested with the following condition.

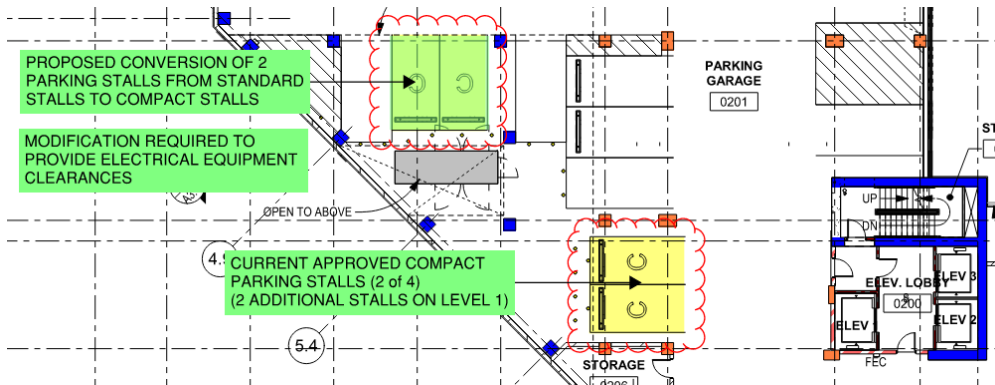
**Condition:** Revise the PAD document on page 25 (PAD-33 Part III.3.D.1) in the Vehicle Parking Requirements table to include four (4) Compact Parking Spaces allowed at a dimension of 8’x16’

The revised parking totals are as follows:

Required Resident Unit Count: 323 units x 0.7 = 226 parking spaces

	<u>Parking Required</u>	<u>Parking Provided</u>
Standard stalls	222	220
Compact stalls	4	6
Total	226	226

The exhibit below indicates the location of the two parking stalls that would be converted from standard to compact. The dimension of the compact stall would be 8' x 16'.



### Proposed Uses

#### Item 1 – Ground Floor Uses in Section D

As the work has progressed on the project it became apparent that providing public access to the resident bicycle parking along the 4<sup>th</sup> Avenue was not feasible do to security concerns. If this space was left open to the public, it would allow for individuals to access and misuse this area. The exhibits below show the variety of public bicycle parking available. In addition, there is a limited amount of storefront façade that has this use. Of the approximate 180ft of storefront, only 8ft at the extreme south end has this use. It should also be noted that, Part III.3.B Section D of the PAD allows parking as a use. Our proposal is to convert the door facing 4<sup>th</sup> Avenue into storefront creating continue glazing along the streetscape. The resident bicycle parking would be access from the west, within the public parking garage.

**Item 1 Floor Uses:** You have requested a minor amendment to include bike storage and bike shop uses in Part III.3.B Section D Ground Floor Uses. Through the design process and in discussions with planning staff and the City's Design Consultant, it was determined that the required 4,000 square foot (4 suites) would wrap around the corner to the north, extending the retail to the West. A bicycle area is proposed in the southeast remaining space to be used by both residents and the public. The bike area will contain bike benches so bicycles may be repaired onsite. The retail fascia and store frontage will be consistent along 4<sup>th</sup> Avenue, in addition to wrapping around the northwest corner.

Staff has determined that the request to allow bicycle parking/bicycle storage/bicycle shop uses to the use table is a minor amendment and approved as requested.

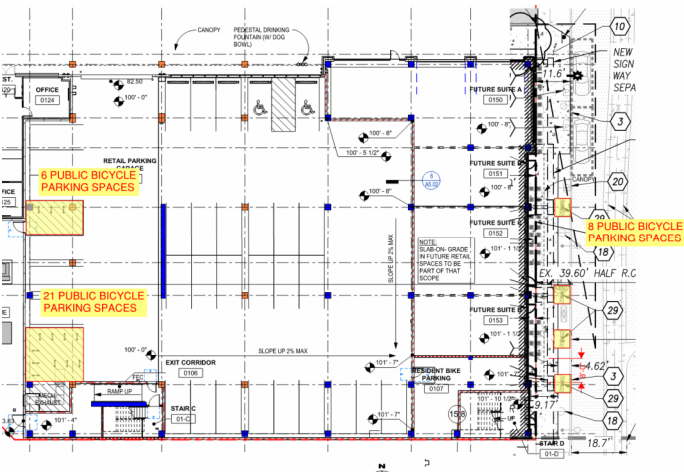
<p><b>Ground Floor</b></p> <p>Commercial Services and Retail Trade Uses that encourage street level activity are preferred, but office or residential uses may be used if Commercial Services and Retail Trade Uses are not supported by market demand and contingent on new development meeting all other requirements of this table. <b>Parking Use is also allowed.</b></p>
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The exhibit below indicates the location of the public bicycle parking provided throughout the project.

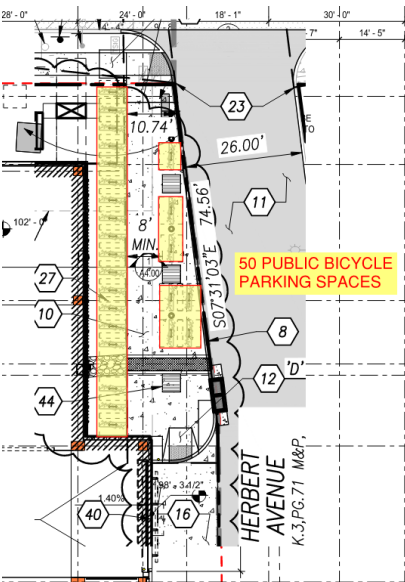
We respectfully request that the language be modified to exclude the requirement to have public access to the resident bicycle parking along 4<sup>th</sup> Avenue.



PUBLIC RETAIL/BICYCLE PARKING LAYOUT FROM ENTITLEMENT PACKAGE



PUBLIC RETAIL/BICYCLE PARKING LAYOUT FROM CONSTRUCTION DOCUMENTS



PUBLIC BICYCLE PARKING LAYOUT ALONG HERBERT AVENUE

REZONING  
 Preliminary Development Plan  
 TP-ENT-0424-000004 Date 04/23/2024  
 Planning & Development Services