

SAMPLE GARAGE PLANS FOR AN ENCLOSED CARPORT

CONSTRUCTION DRAWINGS CITY OF TUCSON RESIDENTIAL PLAN REVIEW

the construction drawings are required to obtain a building permit. This is a sample outline for small projects. Multiple different drawings may be required depending on the extent of the project. Some of the drawings that may be required are listed below.

- SITE PLAN
- FLOOR PLAN
- FOUNDATION PLAN
- ROOF / FRAMING PLAN
- DETAILS / CROSS SECTIONS
- ELEVATIONS
- ELECTRICAL PLAN
- PLUMBING PLAN
- MECHANICAL PLAN

An architect or an engineer usually prepares construction drawings for commercial projects; however, these services are also available to homeowners. Contractors may also be a useful resource when preparing construction drawings. Regardless of who prepares these documents, all drawings must be detailed, accurate, neat and complete

The purpose of preparing and submitting a complete set of construction drawings:

- Help the homeowner to envision the entire project
- Assist in planning and estimating the cost and time for the project
- Prevent unpleasant surprises and last minute changes
- Provide all parties involved (homeowners, contractors, inspectors, plan reviewers, etc.) with clear instructions regarding layout, materials, and the expected finished product
- Expedite the plan review process
- Enable the Development Service Department to provide better service by identifying potential code problems and recommending solutions

FULL RESIDENTIAL SITE PLAN TEMPLATE

Basic Information⁽¹⁻³⁾

Owner's Name:

Site Address or parcel number:

Zone(s):

Overlay Zone(s), Floodplains (if applicable):

Project Description:

Notes:

Square Footages⁽¹⁴⁻¹⁷⁾

Parcel/Lot:

Total Enclosed Structures:

Total Vehicular Use Areas:

Driveway:

Other VUA in the front yard:

Other VUA elsewhere on site:

Percent Lot Coverage:⁽¹⁷⁾

Heights

Building(s):⁽¹⁸⁾

Wall Height(s):⁽¹⁹⁾

Landscaping:⁽¹²⁾

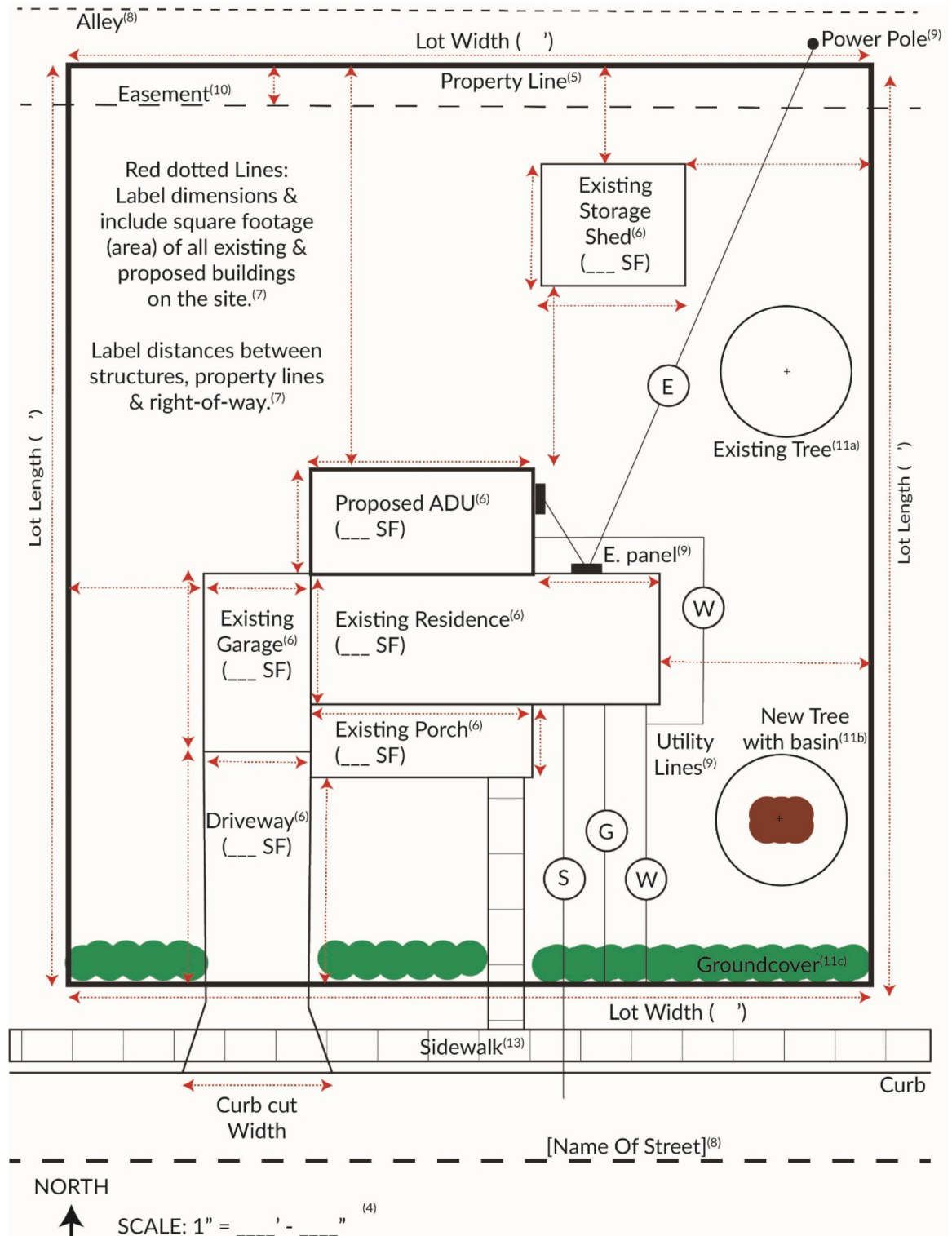
Count Existing Trees:

Proposed Tree species & mature canopy diameter (list):

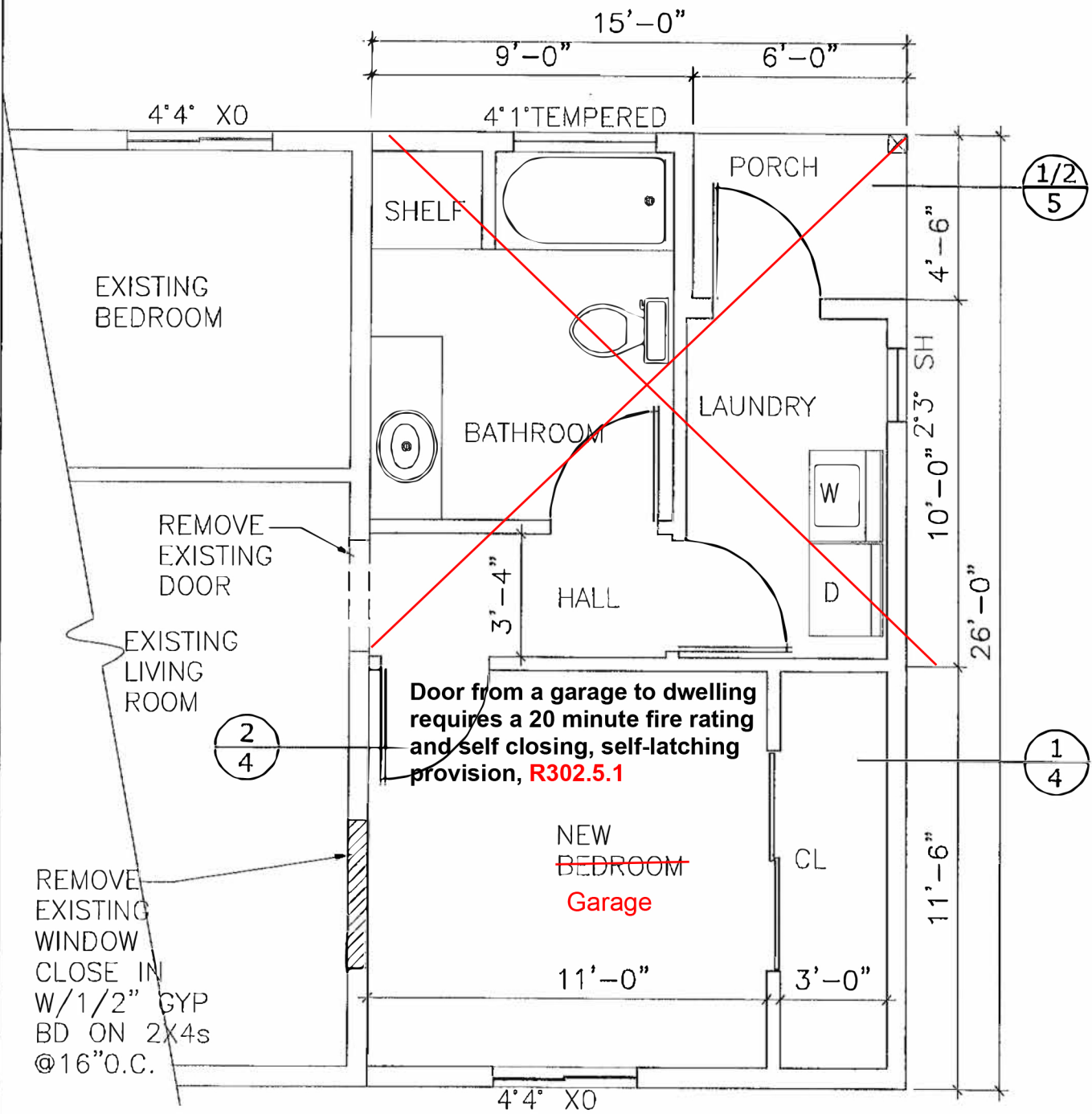
Proposed groundcover species (list):

Watering Method:

Parking Reduction Justification:⁽²⁰⁾



ALL CONSTRUCTION TO COMPLY WITH 2024 IRC



Garage receptacle location:
 an outlet is required at each
 vehicle bay not more than
 5.5 feet above the floor.

GFCI Ceiling
 receptacle is optional

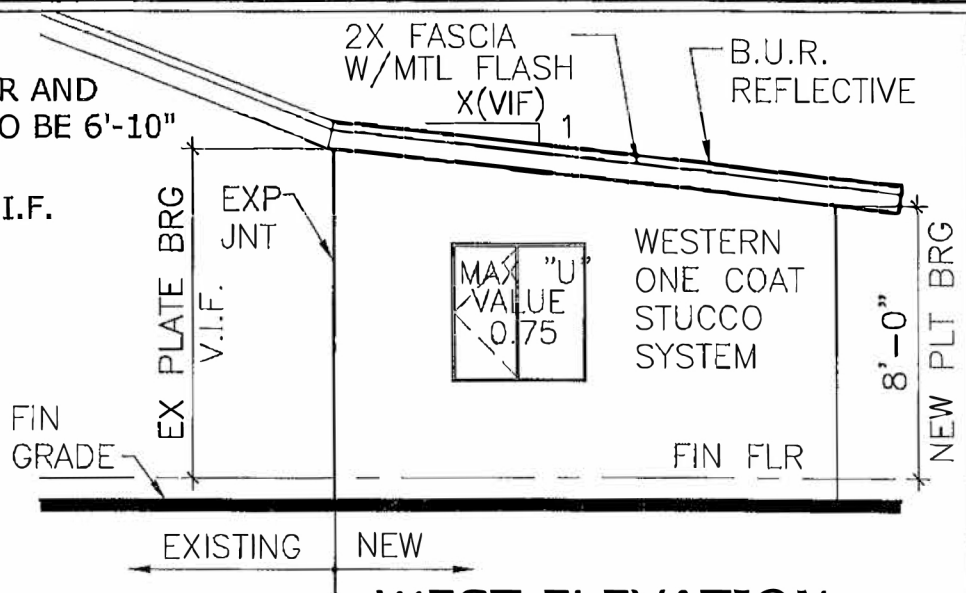


FLOOR PLAN

SCALE: 1/4" = 1'-0"

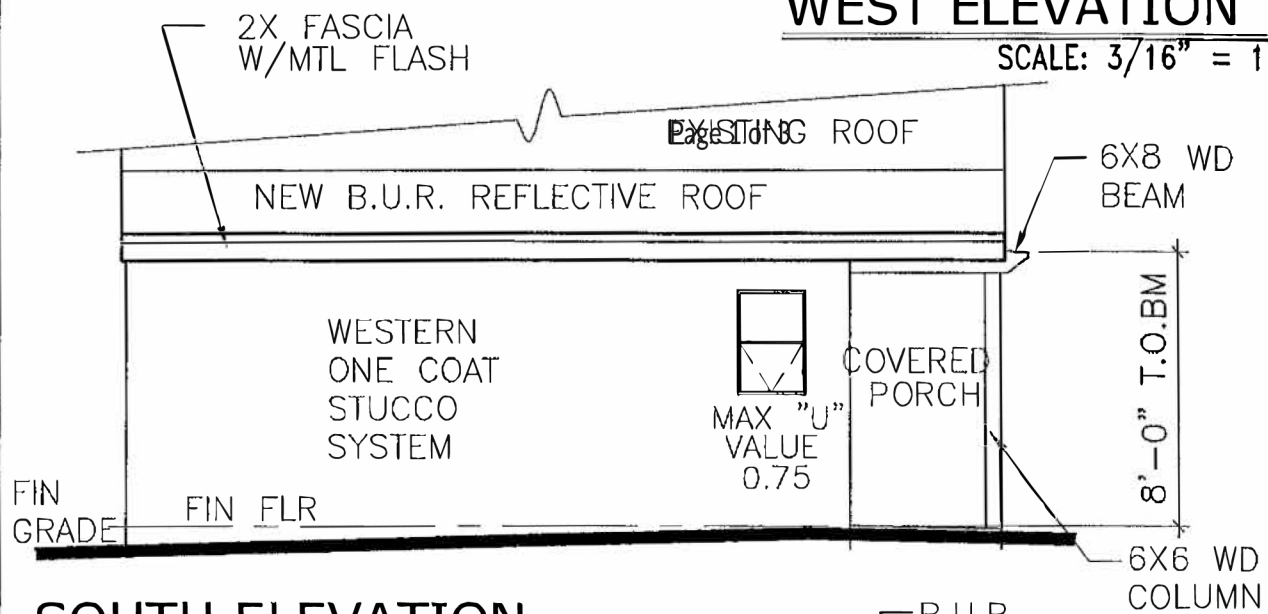
GENERAL NOTES:

- 1. BOTTOM OF ALL DOOR AND WINDOW HEADERS TO BE 6'-10" A.F.F.
- 2. VERIFY IN FIELD = V.I.F.



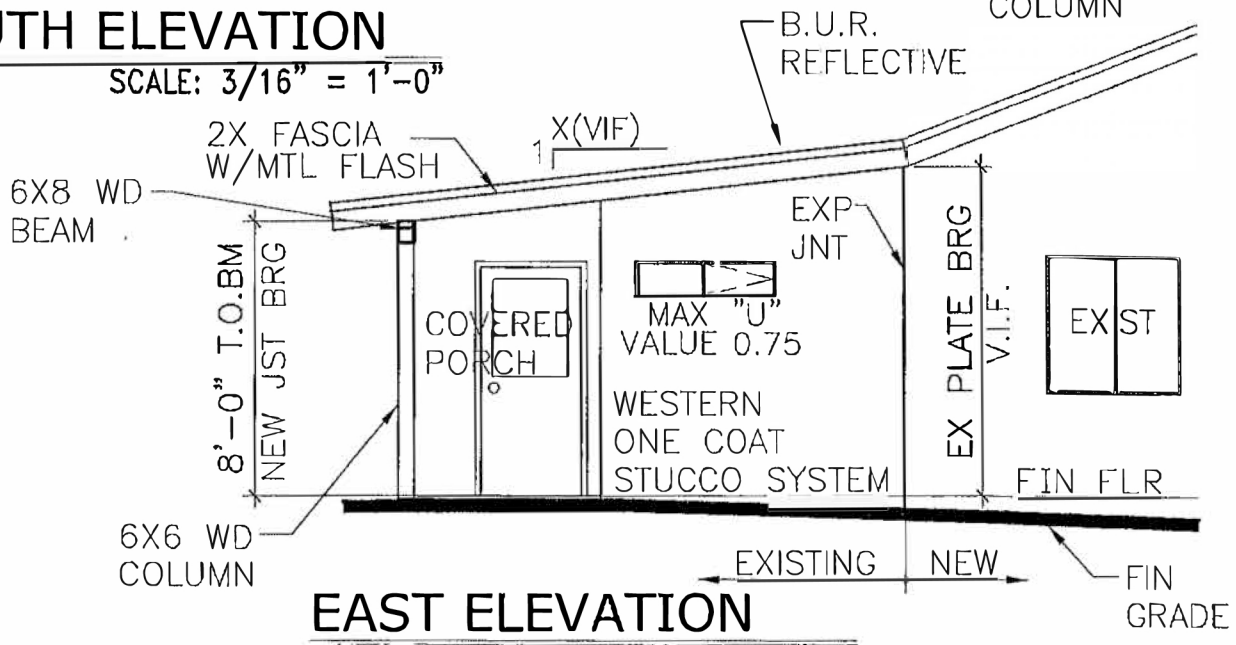
WEST ELEVATION

SCALE: 3/16" = 1'-0"



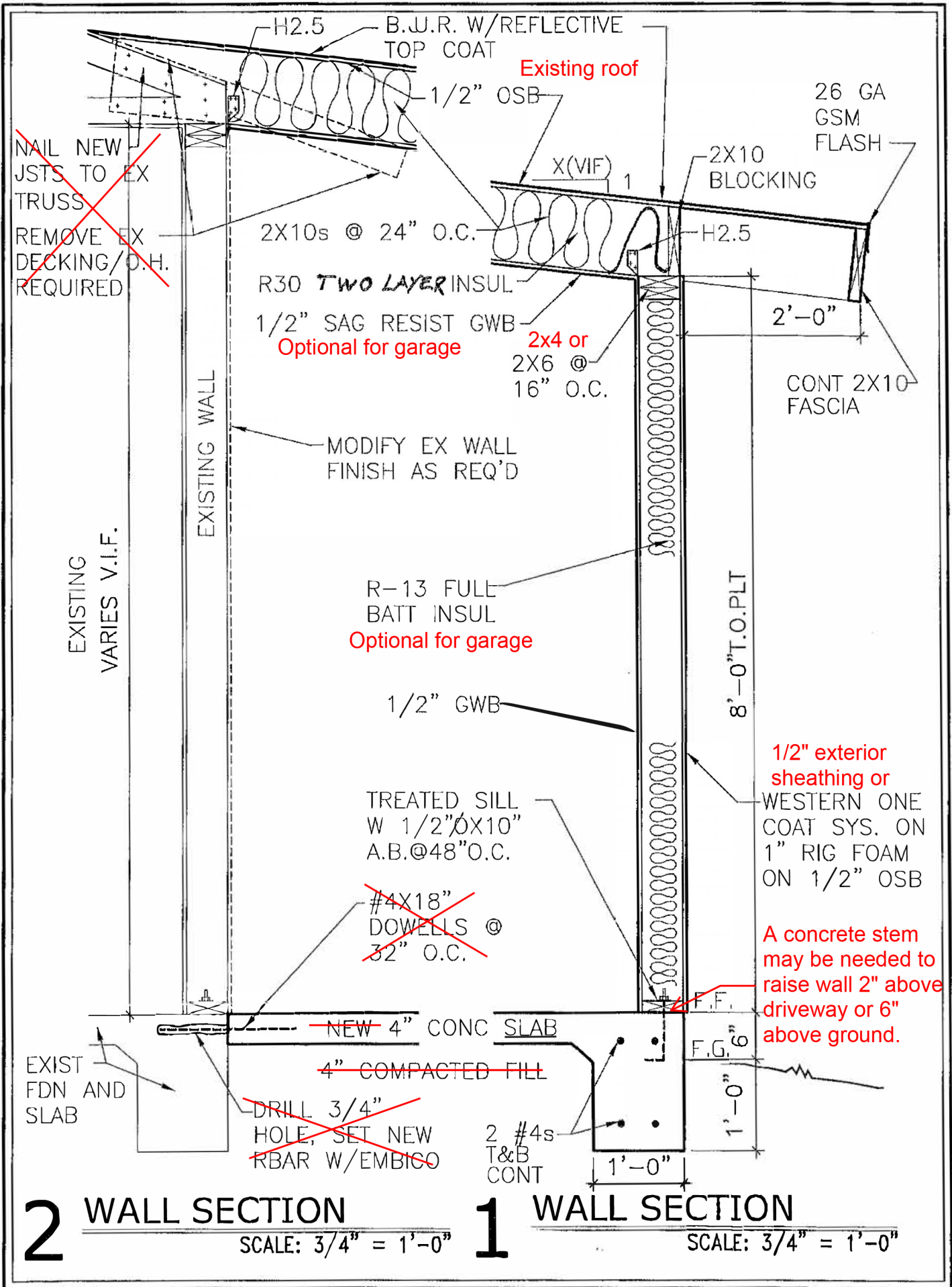
SOUTH ELEVATION

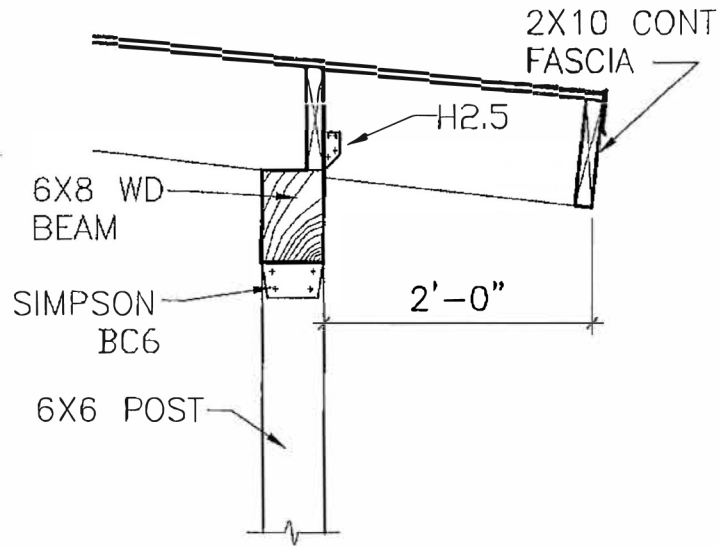
SCALE: 3/16" = 1'-0"



EAST ELEVATION

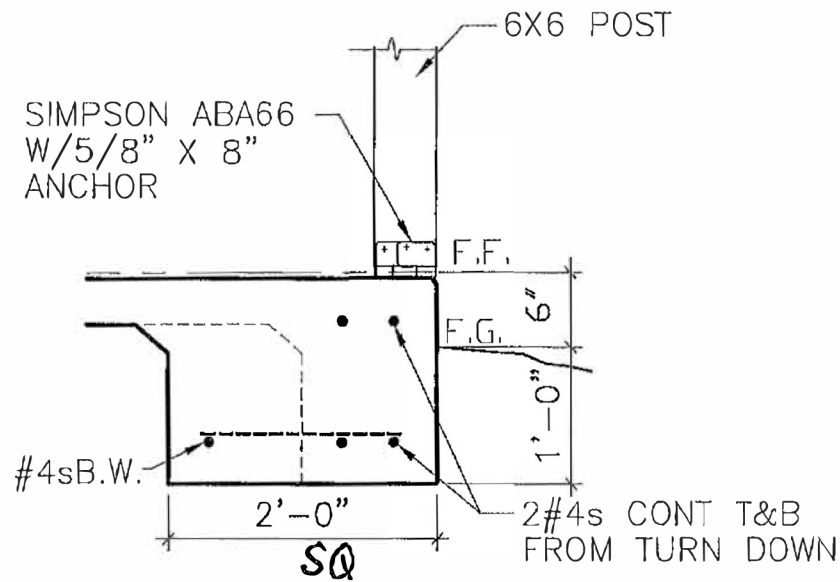
SCALE: 3/16" = 1'-0"





2 DETAIL

SCALE: 3/4" = 1'-0"

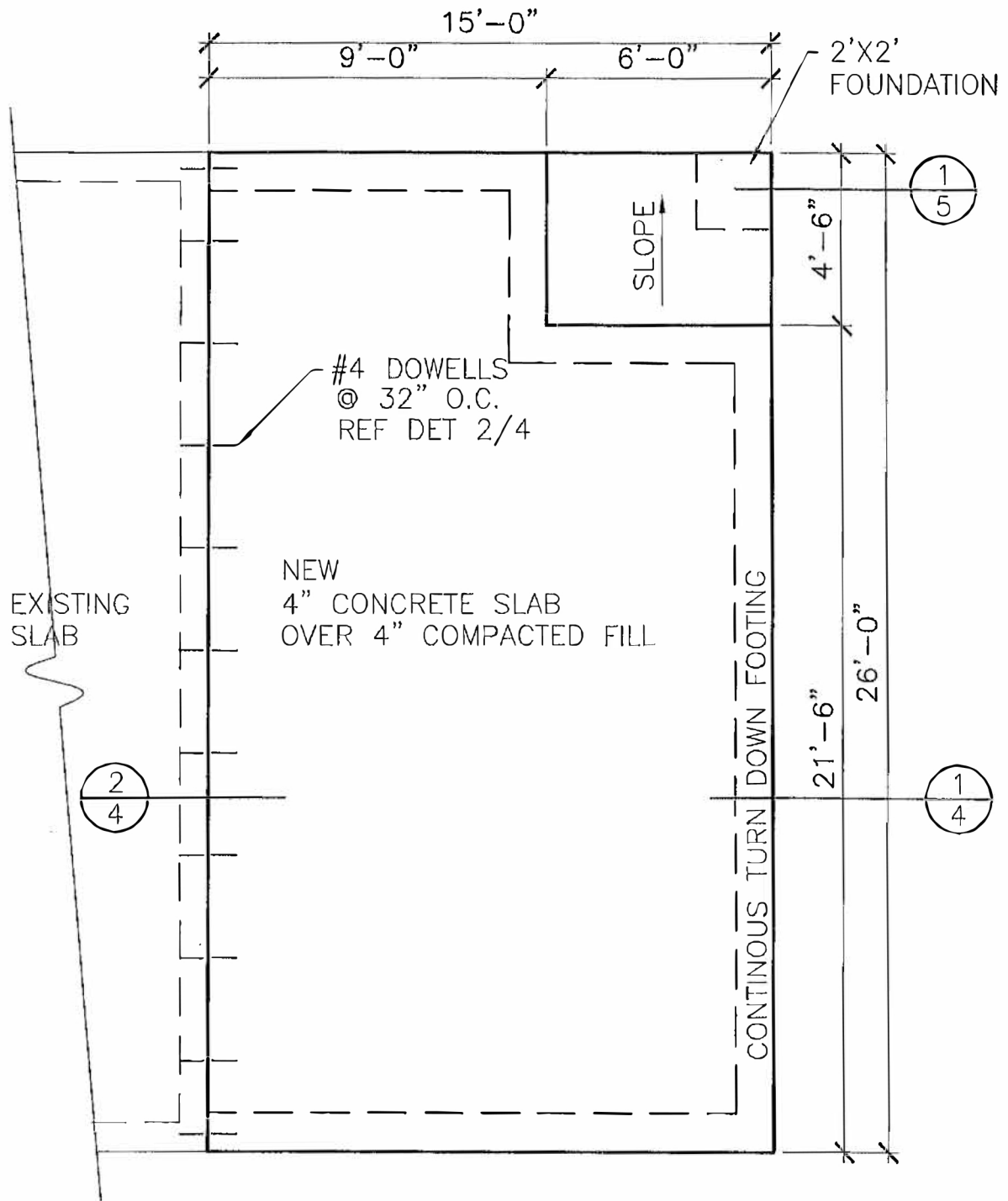


1 DETAIL

SCALE: 3/4" = 1'-0"

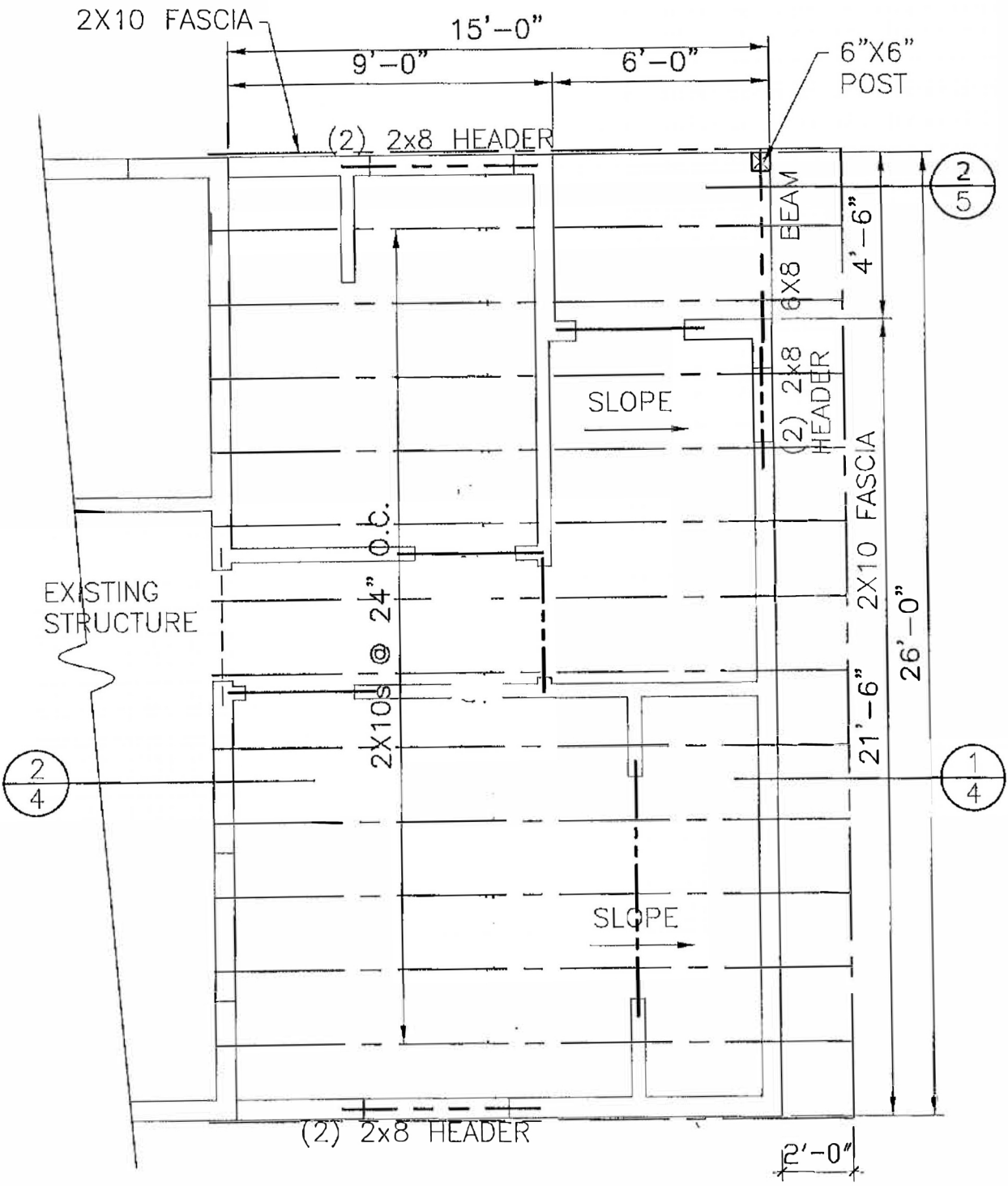
GENERAL NOTES:

- 1. 1,500 PSF SOIL PRESSURE ASSUMED
- 2. USE MINIMUM OF 2,500 PSI CONCRETE
- 3. PROVIDE TERMITE TREATMENT



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

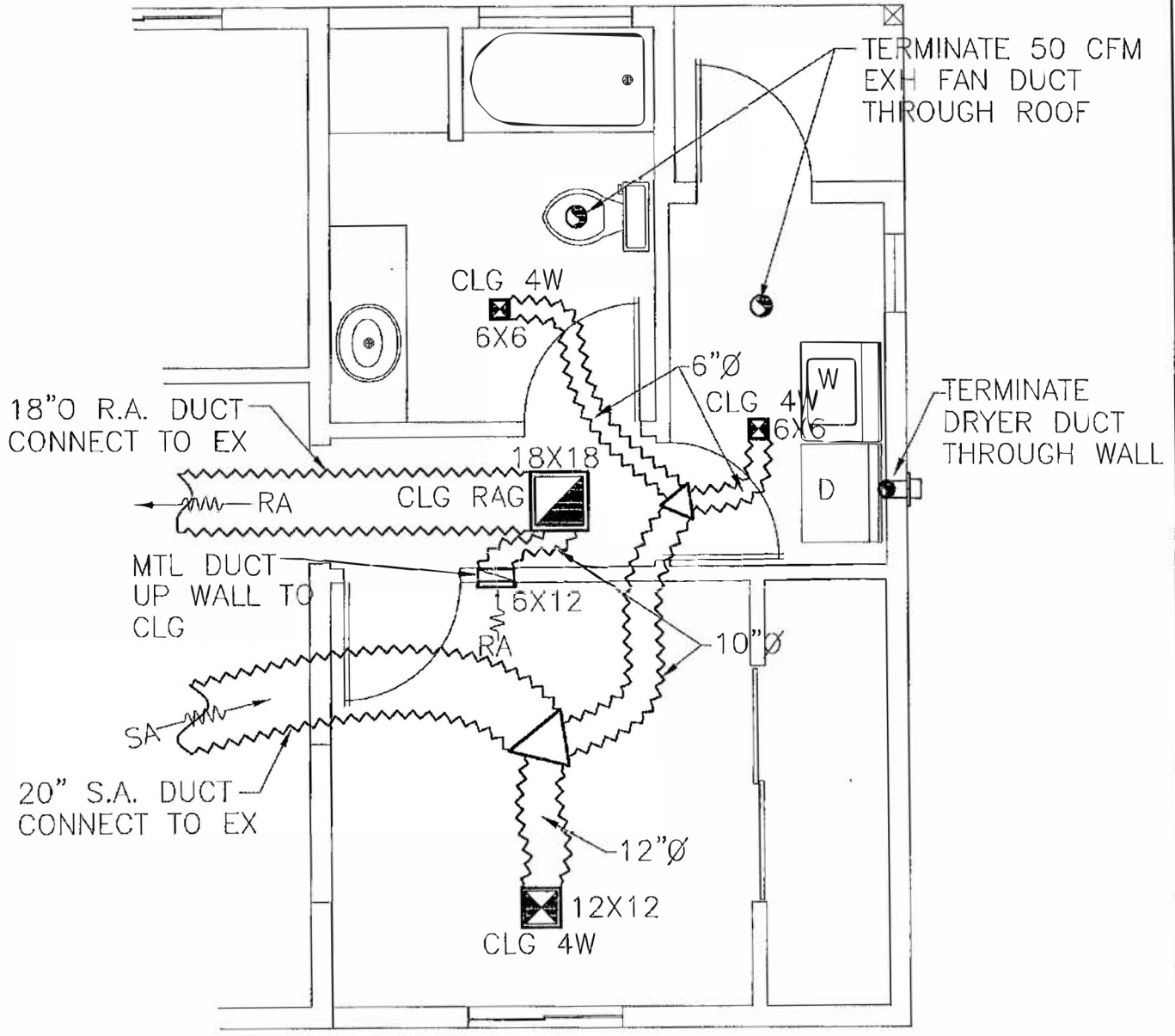


FRAMING PLAN

SCALE: 1/4" = 1'-0"

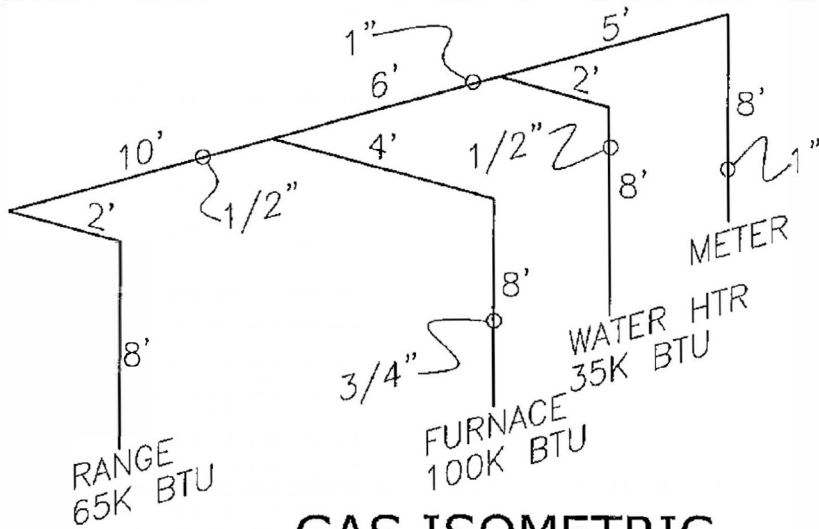
GENERAL NOTES:

- 1. ALL MECHANICAL WORK TO COMPLY WITH 2018 IRC
- 2. CONNECT NEW DUCTWORK TO EXISTING DUCT WORK IN ATTIC



HVAC PLAN

SCALE: 1/4" = 1'-0"



GAS SCHEDULE	
TOTAL DEV. LENGTH:	39'
TOTAL DEMAND:	200K

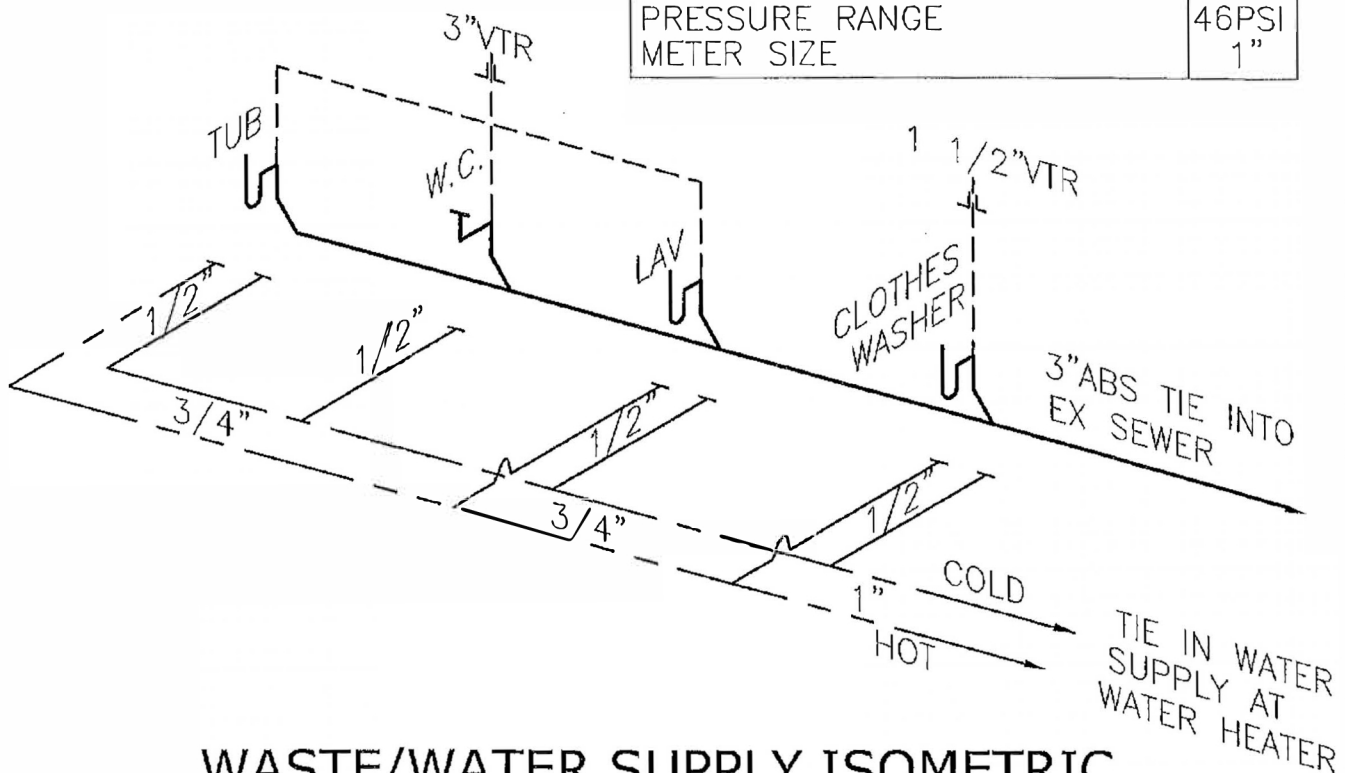
GAS ISOMETRIC

NOT TO SCALE

GENERAL NOTES:

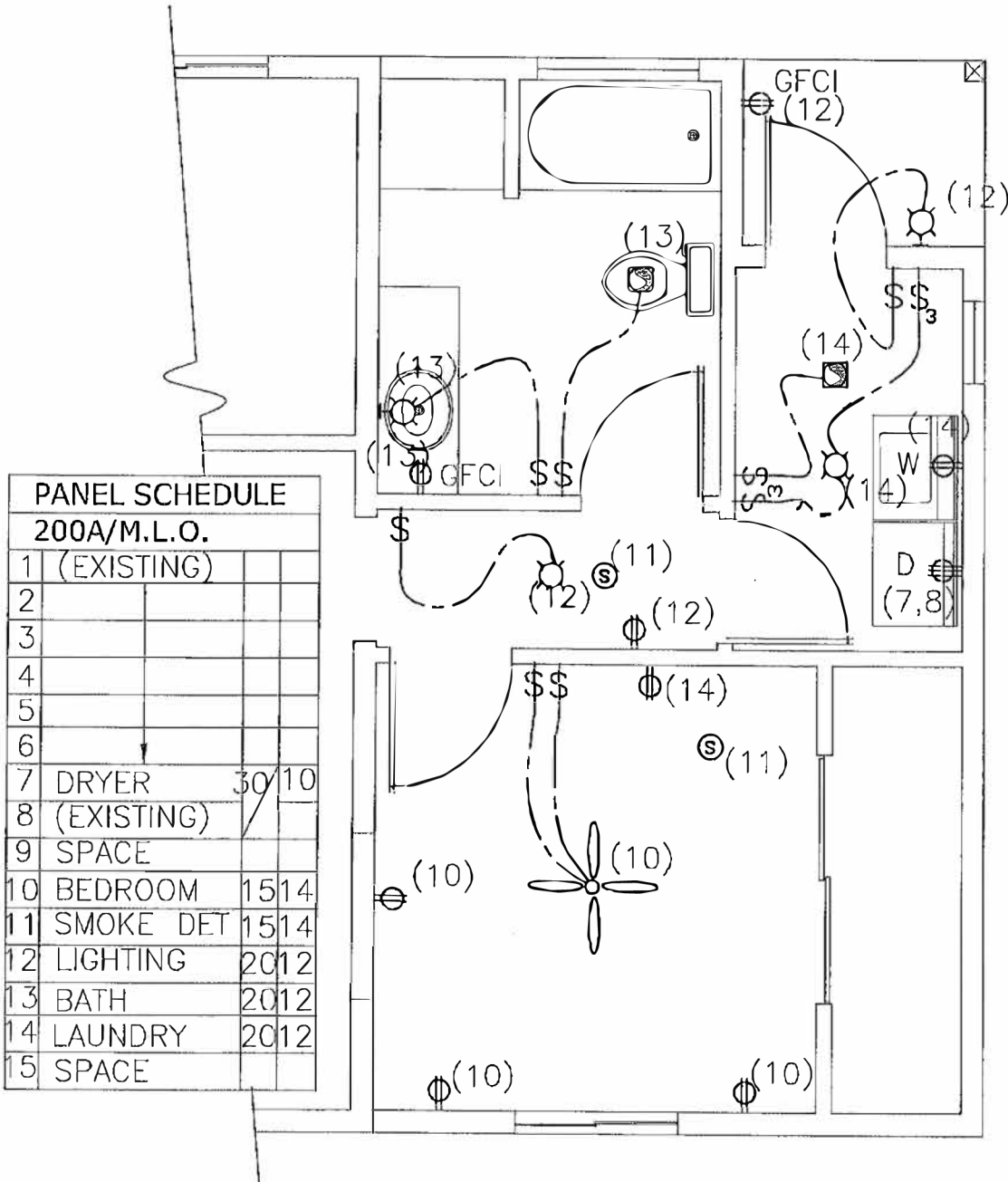
1. ALL PLUMBING WORK TO COMPLY WITH **2018 IRC**

WATER SUPPLY FIXTURE UNIT SCHEDULE			
	FU	QTY	TOTAL
TUB/SHOWER	4	1	4
WATER CLOSET	2.5	1	2.5
LAVATORY	1	1	1
CLOTHES WASHER	4	1	4
EXISTING			17
TOTAL			28.5
TOTAL DEV LENGTH			150'
SUPPLY LINE FROM METER			1"
PRESSURE RANGE			46PSI
METER SIZE			1"



WASTE/WATER SUPPLY ISOMETRIC

NOT TO SCALE



PANEL SCHEDULE		
200A/M.L.O.		
1	(EXISTING)	
2		
3		
4		
5		
6		
7	DRYER	30/10
8	(EXISTING)	
9	SPACE	
10	BEDROOM	15/14
11	SMOKE DET	15/14
12	LIGHTING	20/12
13	BATH	20/12
14	LAUNDRY	20/12
15	SPACE	

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"