

CITY OF TUCSON
DEVELOPMENT STANDARDS
SECTION 9. SPECIAL DEVELOPMENT DISTRICTS

SECTION 9. SPECIAL DEVELOPMENT DISTRICTS

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9-01.0.0 HILLSIDE DEVELOPMENT ZONE.

9-01.1.0 GENERAL.

Purpose. This Standard has been established to provide a listing of criteria for analysis and development of property affected by the Hillside Development Zone (HDZ), Sec. 2.8.1, of the Tucson *Land Use Code (LUC)*, and to inform applicants of the preparation, submittal, and review requirements for HDZ projects so that proper and adequate information is presented in a consistent manner, thereby providing the basis for an efficient and timely review. It is intended that this Development Standard provide support and clarification to the HDZ provisions of Sec. 2.8.1 of the *LUC*.

This Standard does not waive any applicable City regulations or codes.

- 1.2 Definitions. Definitions for words used in this Standard are found in the Development Standards Glossary or in Sec. 6.2.0 of the *LUC*.

9-01.2.0 HDZ PLAN FORMAT AND CONTENT.

- 2.1 HDZ Plan Requirement. The information required as part of the HDZ submittal will be shown graphically or provided by notes on a plan. The HDZ requirements are in addition to the plan requirements of the applicable process, such as, but not limited to, a plat, a development plan, a site plan, or a plot plan. The information may be provided as part of the drawing required through the applicable process or as a separate drawing. The plan may comprise several sheets showing various elements of required data.

- 2.2 Format. If the HDZ information is provided as a separate drawing, the format, sheet size, scale, margins, lettering, and similar requirements are the same as those for the applicable process, i.e., tentative plat, development plan, site plan, or plot plan.

- 2.3 Content. The following information is to be provided for all projects affected by the HDZ.

- A. Grading information, including proposed grading area, amount of grading by square feet and percentage of lot area, proposed contours, and locations of all areas of cut and fill.
- B. Topographic information of the existing terrain, prior to any grading, grubbing, clearing, excavation, or modification, with contour intervals as specified in Development Standard 9-01.0.

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- C. The location, size, color, and textural treatment of all retaining walls, riprapped slopes, or other constructed means of slope stabilization must be shown on one (1) of the plans submitted.
- D. The following slope analysis information must be provided on the plan. For specific information on calculations of slope, refer to Development Standard 9-01.0.
 - 1. The average natural cross slope (ACS) analysis must be submitted with the plat or plan, and the ACS must be listed in the general notes on the plat or plan.
 - 2. If the development criteria of Sec. 2.8.1.6 of the *LUC* require an analysis of sloped areas, those areas of fifteen (15) percent or greater slope must be shown on a topographic map.
- E. A note must be added to the plan or plat listing those lots which are subject to HDZ grading requirements.
- F. All protected peaks and ridges must be shown and labeled, and the three hundred (300) foot setback area must be delineated.

9-01.3.0 HDZ PLAN SUBMITTAL REQUIREMENTS.

- 3.1 Submittal Requirements. The plan which includes the HDZ information is to be provided with the initial submittal under the applicable process, such as, but not limited to, a plat, development plan, site plan, or plot plan.

If the HDZ information is provided as a separate drawing, submit three (3) copies.

- 3.2 Review. HDZ compliance applications are reviewed by the Zoning Review Section and the Engineering Section at the Development Services Department (DSD).

9-01.4.0 SLOPE ANALYSIS STANDARD.

- 4.1 Average Natural Cross Slope Analysis. The Average Natural Cross Slope (ACS) of a site is determined in the following manner.
 - A. The site is depicted on a topographic map of the existing terrain, prior to any grading, grubbing, clearing, excavation, or modification, utilizing a scale no smaller than one (1) inch equals one hundred (100) feet, with the following contour intervals.
 - 1. For parcels less than five (5) acres, a contour interval of two (2) feet;
 - 2. For parcels five (5) acres and greater, a contour interval of ten (10) feet.
 - B. The length of each contour line contained within the site boundaries on the map is measured by means of a mechanical device such as a map wheel or digitizer. This actual length is converted to scale length in feet. For example, at a scale of one inch equals forty feet (1" = 40'), a contour line with an actual map length of six

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and one-half (6½) inches represents a line two-hundred sixty (260) feet long (6.5 x 40 = 260).

- C. The sum of the lengths (L) of all contour lines is multiplied by the contour interval (I) in feet.
- D. The result is multiplied by the factor .0023, which converts the square footage of the scale map to acres.
- E. This result is then divided by the area (A) of the site in acres.
- F. This result is multiplied by a linear adjustment factor which equals the number of contour lines less one line (N - 1), divided by the number of contour lines (N).
- G. This process is mathematically represented by the formula:

$$ACS = \frac{(I)(L)(.0023)}{(A)} \times \frac{(N - 1)}{(N)}$$

- H. The answer is the percentage of the ACS for the site.

4.2 Sloped Area Analysis. The slope of any topography is determined by the following method.

- A. The site or lot is depicted on a map with a scale and contour interval conforming to Development Standard 2-03.2.3.F or Development Standard 2-05.2.3.E.
- B. A slope gauge is prepared at the same scale as the map to be analyzed, as follows.
 - 1. On a straight edge of a piece of stiff paper, such as an index card or other straight-edged material, a straight line representing one hundred (100) linear feet is marked parallel to the edge.
 - 2. This line is divided into fifteen (15) equal divisions, with the sixteen (16) marks between the divisions being numbered. Marks zero (0) and fifteen (15) will fall at each end of the scale one hundred (100) foot line. These marks represent the distance between one (1) foot contour intervals at a fifteen (15) percent slope for the scale used.
- C. The contours on the map are compared to the slope gauge by placing the gauge perpendicular to the contour lines. When the contour lines are equal to or are closer together than the corresponding interval marks on the gauge, a slope of fifteen (15) percent or greater is indicated.

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- D. All slopes of fifteen (15) percent or greater are then outlined and so indicated on the map. Submittal of slope information is required to allow the Zoning Review Section at the Development Services Department (DSD) to review, comment upon, and make recommendations concerning the appropriateness of the location of the grading.

Exception. Any sloped area no greater than fifteen (15) feet in any horizontal direction and no greater than seven and one-half (7½) feet vertically may be excluded from compliance with this section. Adjacent exempted areas are not cumulative.

9-01.5.0 SITE IMPROVEMENT.

5.1 Grading.

- A. *Site or Lot Grading.* All development subject to the provisions of the HDZ ordinance must have a grading scheme approved by the City Engineer or designee. The review process for the grading plan may coincide with either the subdivision plat review process or the development plan review process. The grading scheme may be shown on a site plan or as a separate grading plan. All development must meet the following criteria.
1. The portions of the site or lot to be graded will be clearly shown by the developer's engineer or land surveyor, both on a site or grading plan and by staking on the site or lot. The site or grading plan and the grading staking will be approved by the City Engineer or designee prior to any grubbing, grading, or clearing. Grubbing, grading, and clearing are to occur only within the areas identified on the grading plan and staked on the site or lot.
 2. The portions of the site or lot to be left ungraded are to remain undisturbed and are not to be used for stockpiling of materials or excess fill, construction vehicle access, storage of vehicles during construction, or similar uses. If natural areas are designated on a site or lot, temporary fencing will be installed where they abut construction areas in order to prevent encroachment into the natural areas.
- B. *Cut and Fill.* Cut and fill slopes must meet the following requirements.
1. The maximum amount of cut is not to exceed thirty (30) feet.
 2. The uppermost point of an exposed cut slope is to be no higher than fifteen (15) feet above design grade.
 3. The uppermost point of a nonexposed cut slope is to be no higher than the highest point of any building set into the cut, provided that:
 - a. This cut is concealed from view by a method such as backfilling; and

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- b. The backfilled area is revegetated in compliance with Development Standard 9-01.5.2.B.
- 4. The vertical distance of exposed fill and/or exposed retaining material is not to exceed fifteen (15) feet.
- 5. Exposed cut and fill slopes will either be revegetated or protected by constructed means, such as riprapping or retaining walls.
- 6. Any cut or fill slopes which encroach into a floodplain must be approved by the City Engineer or designee.

5.2 Vegetation Retention and Revegetation.

A. *Vegetation Retention.*

- 1. Existing trees with four (4) inch or greater trunk diameter and cacti will be preserved in their original locations, except for building sites and access and utilities serving building sites.
- 2. When retention of the above trees and cacti in their original locations is not possible due to building site location, the trees and cacti will be salvaged and replanted in areas requiring revegetation, whenever possible.

B. *Revegetation.* All cut or fill slopes which are no steeper than three horizontal to one vertical (3:1) and all utility trenches or septic leaching fields which are not located in parking or driveway areas will be revegetated in compliance with the following requirements.

- 1. All plants used in revegetation must be the same as the native vegetation on the site or any adjacent site prior to grading or clearing.
- 2. Revegetation will be accomplished with the following minimum requirements for plants.
 - a. Desert trees, a minimum of fifteen (15) gallon size with a minimum trunk diameter of two (2) inches measured at the soil level, or large specimen cactus will be placed at the same vegetation density found on the site prior to any clearing, grubbing, or grading.
 - b. Seeds for trees, desert shrubs, and grasses will be planted with a density adequate to control erosion and may use one of the following methods of planting or any other method approved by the Zoning Review Section at DSD.
 - 1) Raked into the soil with appropriate mulch materials;
 - 2) Hydroseeding;
 - 3) Anchored mulches; or

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- 4) Established on jute, rolled straw, or similar material.
 - 3. A temporary watering system must be installed until the revegetation materials are established.
- 5.3 Slope Stabilization. All slopes steeper than a ratio of three horizontal to one vertical (3:1), with the exception of retaining walls, will be stabilized with properly engineered stone riprapping or sculptured rock as follows.
- A. Stone riprapping will be hand-placed on the slope.
 - B. The stabilizing material used will blend with the natural appearance of the site or lot and the surrounding terrain.
 - C. Vegetation retention and revegetation should be used in conjunction with riprapping.

9-02.0.0 RESERVED (SCENIC CORRIDOR ZONE)

Note: DS 9-02 Historic Preservation Zone has been renumbered DS 9-08

9-03.0.0 RESERVED (MAJOR STREETS AND ROUTES)

Note: DS 9-03 Historic Districts, Sites and Structures has been renumbered DS 9-08.8.0

9-04.0.0 RESERVED (GATEWAY ROUTES)

Note: DS 9-04 Hillside Development Site Improvement has been renumbered 9-01.5.0

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SOUND ATTENUATION STANDARDS**

DEVELOPMENT STANDARD 9-05.0 SOUND ATTENUATION

9-05.00	SOUND ATTENUATION STANDARDS
9-05.10	PURPOSE
9-05.20	COMPLIANCE
9-05.30	REQUIRED CONSTRUCTION METHODS
9-05.40	MODIFICATIONS AND APPEALS

9-05.00 SOUND ATTENUATION STANDARDS.

9-05.10 PURPOSE.

- 1.1 Purpose. The following Standard is intended to provide construction/design requirements for reducing interior noise/sound levels for all new construction occurring within the Noise Control Districts (NCD) identified in the City of Tucson Land Use Code for the Tucson International Airport (TIA) and Davis-Monthan (DM) Airport Environs Zone. The following Standard may be applied to construction outside the TIA and DM Airport Environs Zone as determined by the Building Official.

9-05.20 COMPLIANCE.

- 2.1 Compliance. Compliance with this Standard shall be deemed to meet requirements for a minimum noise level reduction (NLR) of twenty-five (25) decibels (dB). Alternative methods to meet the required minimum NLR may be submitted for review and approval by the Building Official or designated representative.

9-05.30 REQUIRED CONSTRUCTION METHODS FOR NOISE LEVEL REDUCTION OF 25 dB

3.1 Exterior Walls.

- A. Exterior walls, other than as described in this section, shall have a laboratory sound transmission class (STC) rating of at least STC-30; or
- B. Masonry walls having a weight of at least 25 pounds per square foot do not require a furred (stud) interior wall. At least one surface of concrete block walls shall be plastered; and
- C. Stud walls shall be at least 4 inches in nominal depth and shall be finished on the outside with solid sheathing under an approved exterior wall finish; and
 - 1. Interior surface of the exterior walls shall be gypsum board or plaster at least one-half (½) inch thick, installed on studs.
 - 2. Continuous composition board, plywood or gypsum board sheathing at least one-half (½) inch thick shall cover the exterior side of the wall studs.
 - 3. Sheathing panels shall be covered on the exterior with overlapping building paper.

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4. Insulation material at least R-11 shall be installed continuously throughout the cavity space behind the exterior sheathing and between wall studs. Insulation shall be glass fiber or mineral wool.

3.2 Exterior Windows.

- A. Windows, other than as described in this section shall have a laboratory sound transmission class rating of at least STC-28; or
- B. Glass shall be at least 3/16" thick; and
- D. All openable windows shall be weatherstripped and airtight when closed so as to conform to an air infiltration test not to exceed 0.5 cubic foot per minute per foot of crack length in accordance with American Society for Testing Materials (ASTM) E-283-65-T; and
- E. Glass shall be sealed in an airtight manner with a non-hardening sealant or a soft elastomer gasket or gasket tape; and
- F. The perimeter of window frames shall be sealed airtight to the exterior wall construction with a sealant conforming to one of the following Federal specifications for caulking: TT-S-00227, TT-S-00230 or TT-S-00153.

3.3 Exterior Doors.

- A. Doors, other than as described in this section shall have a laboratory sound transmission class rating of at least STC-26; or
- B. All exterior side-hinged doors shall be solid-core wood or insulated hollow metal at least 1-3/4" thick and shall be fully weatherstripped; and
- C. Exterior sliding doors shall be weatherstripped with an efficient airtight gasket system with performance as specified in Section 3.2. The glass in the sliding doors shall be at least 3/16" thick; and
- D. Glass over two square feet in area, in doors shall be sealed in an airtight non-hardening sealant or in a soft elastomer gasket or glazing tape; and
- E. The perimeter of door frames shall be sealed airtight to the exterior wall construction as described in Section 3.2 D.

3.4 Roofs.

- A. Combined roof and ceiling construction, other than described in this paragraph and in paragraph F, shall have a laboratory sound transmission class rating of at least STC-39; or
- B. With an attic or rafter space at least 6" deep, and with a ceiling below, the roof shall consist of 1/2" composition board, plywood or gypsum board sheathing topped by roofing as required; and

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- C. Open beam roof construction shall follow the energy insulation standard method for batt insulation; and
- D. Skylights shall conform to the window standard in Section 3.3.

3.5 Ceilings.

- A. Gypsum board or plaster ceilings at least 1/2 inch thick shall be provided where required by paragraph 3.4 B, above. Ceilings shall be substantially airtight with a minimum of penetrations; and
- B. Glass fiber, cellulose or mineral wool insulation at least R-38 shall be provided above the ceiling between joists.

3.6 Ventilation.

- A. A ventilation system shall be installed that will provide the minimum air circulation and fresh air supply requirements for various uses in occupied rooms without the need to open any windows, doors or other openings to the exterior. The inlet and discharge openings shall be fitted with sheet metal transfer ducts of at least 20 gauge steel, which shall be lined with 1 inch thick coated glass fiber, and shall be at least 5 feet long with one 90 degree bend; and
- B. Gravity vent openings in attics shall be as close to code minimum in number and size, as practical; and
- C. Bathroom, laundry and similar exhaust ducts connecting the interior space to the outdoors, shall contain at least a 5-foot length of internal sound-absorbing duct lining. Exhaust ducts than 5 feet in length shall be fully lined and shall also meet the provisions of Section 3.2. Each duct shall be provided with a bend in the duct such that there is no direct line-of-sight through the duct from the venting cross-section to the room-opening cross-section. Duct lining shall be coated glass fiber duct liner at least 1 inch thick; and
- D. Fireplaces shall be provided with well fitted dampers.

9-05.40 MODIFICATIONS AND APPEALS.

- 4.1 Modifications and Appeals. For modification and appeals procedures refer to the procedures outlined in Development Standard 1-01.4.7. Emergency situations and other conditions not specifically addressed by this Standard shall be judged on a case-by-case basis by the Building Official, or designated representative, without setting precedent. In addition, for all modifications requested, the Davis-Monthan Air Force Base (DMAFB) will be notified for review of all such requests within the boundaries of the DM AEZ Environs.

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**FLOODPLAIN, WASH AND ENVIRONMENTAL
RESOURCE ZONE (ERZ) STANDARD**

- 9-06.1.0 GENERAL**
 - 9-06.2.0 DEVELOPMENT REGULATIONS**
 - 9-06.3.0 REVIEW**
 - 9-06.4.0 PRA PLAN SUBMITTAL REQUIREMENTS**
 - 9-06.5.0 MODIFICATIONS**
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9-06.0.0 FLOODPLAIN, WASH AND ENVIRONMENTAL RESOURCE ZONE (ERZ) STANDARD.

9-06.1.0 GENERAL.

- 1.1 Purpose. This Standard has been established for the purpose of informing applicants of the preparation, submittal, and review procedures for development within areas that have environmentally valuable habitat in conformance with Article 1, Division 1, Floodplain and Erosion Hazard Area Regulations, Chapter 26, Tucson Code; Article VIII, Watercourse Amenities, Safety and Habitat (WASH), Chapter 29, Tucson Code; and Section 2.8.6, Environmental Resource Zone (ERZ), Land Use Code (LUC), Chapter 23, all of the Tucson Code; so that proper and adequate information is presented in a consistent manner, thereby providing the basis for an efficient and timely review.

This standard is further to insure that the adopted policies of the Mayor and Council and adopted recommendations of the City's Stormwater Advisory Committee are accurately reflected in the implementation of existing regulations.

The areas subject to regulation under this development standard include the floodplain and floodway fringe areas as defined in Sec. 26-2, and the adjacent banks and associated riparian habitat as provided in Sec. 26-5.2 (3) and (4), which are established as the "**Regulated Areas**". If there is no encroachment within these Regulated Areas, the documentation requirements, development restrictions and mitigation requirements do not apply.

Where the Regulated Areas are based upon maps prepared for the TSMS Phase II Stormwater Master Plan, the Critical and Sensitive Wildlife Habitat Map, or similar maps prepared by Pima County, there is a presumption that riparian habitat that should be preserved has been documented on the property. Any development must therefore comply with this standard to establish the precise location of riparian habitat. It is, however, the actual documentation of the location of the habitat pursuant to this standard that will determine where the development may occur, not the maps.

If there is encroachment into the Regulated Areas, the standard requires that the riparian habitat be identified and delineated as the "**Protected Riparian Area**". This will include the submittal of an Environmental Resource Report that will document (1) the areas that contain riparian and wildlife habitat that is to be preserved and (2) those areas without such habitat. Development is permitted within the Regulated Areas that are outside the Protected Riparian Areas. Development within the Protected Riparian Area is limited as set forth in this standard.

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It is the intent of this standard that the Protected Riparian Area incorporate the Critical Riparian Habitat in ERZ watercourses, the Resource Areas in WASH watercourses, and riparian habitat within the undesignated regulatory floodplains so that there is a single process for review with consistent criteria for application.

This Standard does not waive any applicable City regulations or codes.

- 1.2 Application and Exemptions. This development standard applies in conformance with LUC Sec. 5.3.8 to all applications submitted after November 7, 2006, and accepted by DSD. Exceptions to this applicability include:
- A. This Development Standard shall not be applied to single family residential lots with dwellings constructed pursuant to building permits issued before November 7, 2006.
 - B. This Development Standard shall not be applied in a manner that conflicts with a rezoning or special exception approved by ordinance by the Mayor and Council after November 7, 2001.
 - C. This Development Standard may be applied to an exempt application at the request of the applicant.

9-06.2.0 DEVELOPMENT REGULATIONS.

- 2.1 Plan Requirements. The information required as part of a submittal under this development standard will be shown graphically or provided as notes on a plan, as appropriate. The required information is in addition to the plan or plat requirements of the applicable process, such as, but not limited to, a plat, a development plan, a site plan, or a plot plan.

2.2 Regulated Areas Subject to Review

The Regulated Areas are listed below.

- A. ERZ Watercourses. The Regulated Area for ERZ watercourses includes the one hundred (100) year floodplain for all watercourses. ERZ watercourses include:
 - 1. Watercourses zoned as ERZ.
 - 2. Watercourses that have been designated for preservation in the Tucson Stormwater Management Study and are delineated as proposed for ERZ designation or as under review for ERZ designation shall be considered as ERZ watercourses.
 - 3. The designated, proposed and under review watercourses are shown on the Hydrologic Data and Wash Information maps on the Tucson Department of Transportation internet web site.
- B. WASH Watercourses. The Regulated Area for WASH watercourses includes channel and banks of a watercourse and the area within fifty (50) feet of the top of the bank, or where there is no defined bank, fifty (50) feet from the 10-year flood boundary. WASH watercourses include:

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1. Watercourses designated by name in the Watercourse Amenities, Safety and Habitat regulations in Article VIII of Chapter 29.
 2. Watercourses that have been designated for preservation in the Tucson Stormwater Management Study and delineated as proposed for WASH designation or as under review for WASH designation shall be considered as WASH designated watercourses.
 3. The designated, proposed and under review watercourses are shown on the Hydrologic Data and Wash Information maps on the Tucson Department of Transportation internet web site.
 4. The Regulated Area for watercourses under this Development Standard 9-06.2.2.B.2 and 3 above shall not extend beyond the one hundred year floodplain.
- C. Regulatory Floodplain Watercourses. Within floodplains that are not designated as ERZ or WASH watercourses Development Standard 9-06.2.2.A and B above, the Regulated Area is the area within the one hundred (100) year floodplain for watercourses with flows of one hundred (100) cfs or more including, by not limited to, those areas which contain any of the following:
1. Hydroriparian, Mesoriparian, or Xeroriparian Types A, B or C habitats as delineated by Pima County as part of Article X of the Pima County floodplain and Erosion Hazard Ordinance.
 2. Hydroriparian, Mesoriparian, or Xeroriparian High or Xeroriparian Intermediate Habitats as delineated in the TSMS Phase II Stormwater Master Plan.
 3. Xeroriparian Low Habitats as delineated in the TSMS Phase II Stormwater Master Plan or Type D habitat as delineated by Pima County for connectivity between higher habitat classes, if low-volume, high-value habitats are present, including tabosa swales or similar habitats.
 4. Unclassified or undocumented riparian habitat of equivalent value to the above criteria.
- 2.3 Protected Riparian Area (PRA). The Protected Riparian Area is the area that has riparian habitat that is to be preserved. Except for watercourses designated by ordinance as subject to ERZ and WASH regulations, the Protected Riparian Area shall not exceed the one hundred year floodplain. Protected Riparian Areas include areas that provide habitat structure, wildlife food and shelter, and that also aid in supporting wildlife connectivity, erosion control and help to improve stormwater quality. Riparian habitat may include the vegetative resources, mapped areas and wildlife habitat and corridors listed below where such habitat is riparian in nature and function.
- A. Vegetative Resources. Vegetative Resources are groups of three or more individual plants in close proximity to each other representing any of the plant species (and any combination of associated vegetative structure) listed below,

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1. Mesoriparian plant species, including Arizona walnut, Fremont cottonwood, Goodding (black) willow, Arizona sycamore, Arizona ash.
 2. Over-story vegetation consisting of closely spaced, perennial, woody (e.g., mesquite, foothill palo verde, Mexican palo verde, ironwood, netleaf hackberry), that are generally six feet or more in total height, and where the distance between canopy margins of individuals of the predominant over-story plant species is less than two times the height of the tallest individuals.
 3. Understory vegetation consisting of closely spaced, perennial woody plants (e.g., catclaw and whitethorn acacia) that are generally six feet in total height, or less, and where the distance between canopy margins of individuals of the predominant understory plant species is generally less than two times the height of the tallest individuals, excluding nearly pure stands of understory vegetation consisting of the following perennial woody plants: burrow bush, creosote bush, desert broom, or triangle-leaf bursage.
 4. Combinations of overstory and understory vegetation that together constitute valuable habitat, and tobasa swales.
- B. Mapped Areas shown on the Critical and Sensitive Wildlife Habitat Maps which contain:
1. Major segments of desert riparian habitat extending from public preserves.
 2. Major segments of desert riparian habitat not extending directly from a public preserve but containing a high density and diversity of plant and animal species.
 3. Deciduous riparian woodlands.
 4. Mesquite bosques.
 5. Lakes, ponds, or wetlands.
- C. Wildlife includes, but is not limited to, the wildlife and areas identified in the public draft or final City of Tucson Habitat Conservation Plan applicable to the Regulated Area.
- 2.4. Identification of Regulated Areas and Protected Riparian Areas. All tentative plats, development plans, site plans, plot plans or other plans providing for approval of development within property that includes any Regulated Area as defined in Development Standard 9-06.2.2.A shall identify and delineate the Regulated Areas and the Protected Riparian Area on the property and shall comply with this Development Standard. The boundary of the Regulated Area and the Protected Riparian Area should be clearly depicted on applicable submittal documents.
- 2.5. Development Restrictions. The intent of this Development Standard is to preserve natural and existing drainage and one hundred (100) percent of the habitat areas within the Protected Riparian Areas. To accomplish this, the regulations provide for two (2) options: (1) no encroachment into the Regulated Area or (2) if encroachment is proposed into the Regulated Area, submittal of an Environmental Resource Report in conformance with this

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section, and, if encroachment is proposed into the Protected Riparian Areas, development in conformance with development restrictions and mitigation requirements in this section.

- A. No Encroachment in Regulated Areas. For projects where there will be no encroachment within the Regulated Areas, development is not restricted by this section except as provided herein and except that the Regulated Areas shall be identified on the site plan, plat or development plan in a surveyable manner. This plan, or a separate plan, shall also indicate the proposed location of the temporary fencing which is required to protect the Protected Riparian Areas during construction. The conditions for development with no encroachment are as follows.
1. ERZ watercourses. Applications within the ERZ watercourses described in Development Standard 9-06.2.2.A above that propose a project with no encroachment into the Regulated Area are required to indicate the one hundred (100) year floodplain on the plans submitted through the applicable process, accompanied by a floodplain report verifying the floodplain limits.
 2. WASH watercourses. Applications for WASH watercourses as described in Development Standard 9-06.2.2.B above that propose a project with no encroachment into the Regulated Area, are required to indicate the top of bank or 10-year flood boundary and the fifty foot study area beyond those lines on the plans submitted through the applicable process, accompanied by a floodplain report verifying the floodplain limits.
 3. Regulatory Floodplain watercourses. Applications within the Regulatory Floodplain watercourses described in Development Standard 9-06.2.2.C above that propose a project with no encroachment into the Regulated Area are required to indicate the one hundred (100) year floodplain on the plans submitted through the applicable process, accompanied by a floodplain report verifying the floodplain limits.
 4. Floodplain Restoration. Revegetation, restoration or enhancement under this subsection shall not constitute “encroachment” under applicable codes. A Floodplain Restoration Plan must be prepared and approved in conformance with this subsection in order to undertake floodplain revegetation, restoration or enhancement. For areas within the Regulated Areas that are to remain as open space after development, revegetation and restoration of the open spaces areas is encouraged, but not required, to enhance the riparian resources within the Regulated Area as follows.
 - a. Voluntary revegetation, restoration or enhancement should create or restore the riparian habitat through the planting of native trees, shrubs, and understory species and the distribution of seed mix native to the site or a comparable reference site to the extent possible. Additional native species may be used in the restoration effort if they are typical of intact riparian habitat in areas similar to the site.
 - b. Revegetation, restoration or enhancement efforts should include native plant material salvaged from the site or preserved in place.
 - c. Development and revegetation, restoration or enhancement efforts shall conform to the City’s policies regarding water harvesting.

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- B. Encroachment in Regulated Areas. If the project proposes encroachment within the Regulated Areas, it shall conform to the following.
1. *Environmental Resource Report*. Applicants are required to submit an Environmental Resource Report as defined in Sec. 6.2.5 of the *LUC*. The supporting material for preparation of the Environmental Resource Report is based on information from the Hydrologic Data and Wash Information maps on the Tucson Department of Transportation internet web site: The Critical and Sensitive Wildlife Habitat Map and Report, the Mayor and Council Interim Watercourse Improvement Policy and subsequent adopted policies, the Tucson Stormwater Management Study, the following Basin Management Plans: 1) West Branch, Santa Cruz; 2) Houghton East; 3) Este Wash; and 4) Arroyo Chico. the Tucson Stormwater Management Study, Phase II and field observation. An application may request that an element listed below be waived or that the report address only a specified area where a full report is not applicable to the proposed encroachment. DSD may grant such waivers where the elements or full report are not required by code. The Environmental Resource Report must include:
 - a. A table of contents, indicating all information by page or map number.
 - b. The location of the 100-year floodplain on, adjacent to, and a minimum of two hundred (200) feet upstream and downstream of the proposed development.
 - c. Soil conditions in and adjacent to the watercourse, and the erosion potential.
 - d. Existing rights-of-way or easement dedication along the wash for a distance of five hundred (500) feet upstream and downstream of the proposed development.
 - e. The existing and proposed ownership of any drainageway facilities on or adjacent to the site and identification of the persons responsible for the maintenance of such facilities.
 - f. Previous hydraulic/hydrology studies or maps prepared for the watershed and relevant floodplain studies, delineations, LOMR applications and approvals affecting the project site.
 - g. Groundwater recharge potential at this location.
 - h. Sediment transport characteristics along the watercourse centered on this location.
 - i. Existing and proposed utilities to and across the site.
 - j. Any other elements that may be characteristic of the watercourses on or adjacent to the site.
 - k. A map indicating the boundaries of the proposed development and its relationship to any watercourses designated on the Hydrologic Data and Wash

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Information maps on the Tucson Department of Transportation internet web site.

- l. An aerial photograph no more than two (2) years old, with flight date, north arrow, project site boundaries, floodplain delineation, Protected Riparian Area and a scale no smaller than one (1) inch equals two hundred (200) feet. DSD staff may request an aerial photograph with topographic information.
- m. Ground level photographs from points identified on submitted plans that document the Protected Riparian Area and any areas within the Protected Riparian Area to be disturbed.
- n. Any applicable Basin Management Plan, which recommends that watercourses remain in a natural state, shall be referenced in the Report.
- o. A map identifying the type, location and extent of all riparian resources and plant associations, including but not limited to, hydriparian habitat, mesoriparian habitat, xeroriparian habitat, tobosa grass habitat, mesquite bosques, individual cacti and trees with a caliper of four (4) inches or greater, and all saguaros, regardless of size. The identification of riparian habitat shall cover the entire site and is not limited to the Regulated Areas.
- p. Delineation of the proposed Protected Riparian Area and a statement of the total area of the site, the total area of the Protected Riparian Area, the area within the Regulated Area, and the total of any areas proposed to be disturbed within the Protected Riparian Areas.
- q. Delineation of the riparian resources and any proposed open space linkages or facilities recommended by parks, recreation, open space, and trails plan, for a distance of five hundred (500) feet or 0.5 times the length of the watercourses on the property, whichever is greater, both upstream and downstream from the property. This shall be based on information that is available from aerial photographs, the Hydrologic Data and Wash Information maps on the Tucson Department of Transportation internet web site and other public sources.
- r. A Plant Inventory and aerial photographs of individual woody plants and cacti rooted within the encroachment area. Both living and dead plants and cacti should be inventoried. The Plant Inventory List shall include an identification number, genus and species, and size of all plants having basal trunk diameters greater than 2 inches. All plants inventoried are to be shown on an aerial photograph at a minimum scale of 1" = 60'.
- s. A delineation, map and assessment on an aerial photograph of habitat types noted on the Critical and Sensitive Wildlife Habitat Map.
- t. A written or mapped assessment of significant densities of wildlife by species.
- u. A description of the impact of the encroachment on riparian resources within the property and on the adjacent property as identified in subsection q above.

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- v. A written statement from the regional office of the Arizona Game and Fish Department regarding any impacts to fish and wildlife.
 - w. A draft Mitigation Plan in conformance with subsection 3 below if development is proposed within the Protected Riparian Areas.
 - x. Other landscaping requirements established in Chapter 23 of the Tucson Code.
2. *Development Restrictions.* All development within the Protected Riparian Area shall be reviewed to insure that there is no unnecessary disturbance of the riparian resources. Development that is outside of the Protected Riparian Area but within the Regulated Area is not subject to this subsection. Necessary development shall include only the crossing of riparian habitats with roadways, bikeways, paved walkways and utilities as listed below where there is no viable alternate crossing available and the crossing is necessary for the reasonable development of the property. A written explanation as to why the development is necessary shall be submitted with the appropriate plans. Development that is permitted as necessary is subject to the following conditions:
- a. Roadway, bike path, and paved walkway improvements and utility encroachments will cross the riparian habitat areas, not to run parallel to the Protected Riparian Areas;
 - b. Encroachments that cross the Protected Riparian Area shall be located and constructed to minimize disturbance of the habitat and wildlife movement;
 - c. All utilities in Protected Riparian Area areas will be located underground; utilities will be placed either in proposed or existing public right of way along roadway, bike path, or paved walkway improvements or within approved easements.
 - d. Any roadway, bike path, or paved walkway improvement must be constructed in such a manner as to provide means for safe and accessible passage for wildlife.
 - e. Concrete, rock veneer and soil cement bank treatment for the culvert and associated drainage may be permitted within the public right of way upon approval of the City Manager.
 - f. For WASH watercourses, concrete, rock veneer and soil cement bank treatment for the culvert that is outside of the proposed or existing public right of way shall be permitted only with the approval of the Mayor and Council. For all other watercourses, concrete, rock veneer and soil cement should not be used where there is any practicable alternative.
 - g. Where a roadway, paved walkway, or bike path improvement or utility encroachment occurs within the Protected Riparian Area, mitigation in conformance with subsection section 3 below shall be provided.

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1. A development plan/site plan, including landscape plans, indicating proposed development; floodplain encroachment locations; location of mitigation areas; techniques used for mitigating impacts to, or preservation of, natural areas; specifications for restoration and revegetation of disturbed areas; and general compliance with the applicable standards.
 2. Landscape plans that document compliance with the mitigation plan requirements. A summary of mitigation and preservation requirements shall be included on the plans.
 3. A description of the maintenance program that provides for revegetated/restored or enhanced areas. The program shall include irrigation to establish native plants, provide for regular inspection, removal of invasive species, and native plant replacement as necessary to successfully establish the mitigation habitat. All mitigation plantings and related improvements shall be maintained for at least three years following installation.
- 2.6 Ownership of PRA. Ownership of the Protected Riparian Area shall be provided in one or more of the methods set forth below to insure continued preservation of the area. Forms of ownership of Protected Riparian Areas include:
- A. Protected Riparian Area Areas for proposed subdivisions may be either publicly owned, owned by a common association, or owned by a non-profit association which provides for conservation management.
 - B. Privately owned individual residential lots of 24,000 square feet or less may include Protected Riparian Area where (i) there is a conservation easement prohibiting private development within the Protected Riparian Areas, (ii) no more than ten percent (10%) of the total area of the Protected Riparian Area is included within individual private lots and (iii) no walls or fences are constructed within the Protected Riparian Areas. The common ownership and the location of any portion of the Protected Riparian Area within individual lots and applicable legal restrictions shall be included in a note on the final plat or development plan.
 - C. Privately owned individual residential lots that are greater than 24,000 square feet may include Protected Riparian Area where (i) the Protected Riparian Area is delineated on the plat providing a surveyed description of the location within each lot, and (ii) there is a note on the plat requiring that each purchaser of a lot shall sign a disclosure form acknowledging the prohibition upon development in the Protected Riparian Area and (iii) no walls or fences are constructed within the Protected Riparian Areas.
 - D. Where the Protected Riparian Area is on property that remains under the ownership of a single person or entity following the development, the Protected Riparian Area shall be protected through a conservation or public easement or other legal restriction upon further development.
- 2.7 Compliance with other Code Provisions. All development within Regulated Areas must comply with all other applicable code provisions, including obtaining floodplain use permits where necessary. Washes zoned as ERZ washes or named in the WASH regulations

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must also be reviewed in conformance with the DSD Full Notice Procedure, Sections 23A-50 and 51.

- 9-06.3.0 REVIEW.** Review of submitted material will be by the Community Design Review Committee (CDRC) and the appropriate review sections within Development Services Department (DSD).
- 3.1 Staff review. Approval of plans in compliance with these requirements is the responsibility of the DSD Director. Approval of the floodplain report is the responsibility of the Engineering Section at DSD. Applications for property that is subject to adopted ERZ or WASH designations is required to be reviewed through the DSD Full Notice Procedure, Chapter 23A-50 and 51. Projects not subject to the DSD Full Notice Procedure, Chapter 23A-50 and 51 will be reviewed in concert with the timetable of the applicable process, such as, but not limited to, a plat, a development plan, a site plan, or a plot plan.
- 3.2 Stormwater Advisory Committee (SAC) Review. Development which encroaches within the Protected Riparian Areas, except for development limited to revegetation or restoration in accordance with an approved Floodplain Restoration Plan, shall be reviewed by the Stormwater Advisory Committee (SAC) as follows:
- A. All watercourses subject to adopted ERZ or WASH regulations shall be reviewed by SAC as part of the DSD Full Notice Procedure, Section 23A-51.
 - B. All watercourses designated to be treated consistent with the ERZ or WASH regulations under this development standard and Regulatory Floodplain watercourses may be reviewed by SAC upon either the request of the applicant or upon the determination by the DSD Director that such review is appropriate.
 - C. Review by SAC shall focus upon whether the application correctly defines, delineates and describes the Protected Riparian Area and complies with Development Standard 9-06.2.5.B.2 and 3.
- 9-06.4.0 PRA PLAN SUBMITTAL REQUIREMENTS.**
- 4.1 Application. Applications for review of projects affected by this Development Standard shall be submitted to the CDRC Section at DSD. Review staff will evaluate submitted information for completeness and shall accept or reject the application within five (5) days of the date of submittal. The applicant will be notified if the application is found to be incomplete.

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- 4.2 Submittal Requirements. Copies of all required plans, documents, and reports are to be submitted to the CDRC staff at DSD, who will coordinate the hydrologic and resource reviews with the appropriate staff. Plans are to be folded to an 8½" x 11" size.

9-06.5.0 MODIFICATIONS.

- 5.1 A minor encroachment modification may be requested for necessary development in addition to the roadway, bike path, paved trail and utility improvements as provided in Development Standard 9-06.2.5.B.2 above. A minor encroachment under this subsection shall be approved if the loss of riparian resources does not impair the function of the habitat and the mitigation provides riparian resources of greater value if the request is granted. A modification under this subsection shall not exceed five percent (5%) of the total area of the Protected Riparian Area on the site. The mitigation shall be provided on a three to one ratio of new habitat for disturbed habitat. The mitigation shall be within the Protected Riparian Area or an area that directly connects with the Protected Riparian Areas. The mitigation shall be integrated with, and function as a part of, the Protected Riparian Areas. The requirements for the Environmental Resource Report may be modified by DSD staff as may be appropriate to document a minor encroachment under this subsection.
- 5.2 Requests for modifications to this Development Standard 9-06 shall be in accordance with Development Standard 1-01.4.7. The applicant for any such request shall provide notice of the request in accordance with Sec. 23A-50(4) at least fifteen (15) days before submitting the request. The notice required by this subsection may be concurrent with the notice required by Chapter 23A.
- 5.3 Either the applicant or the DSD Director can refer a request for a DSMR to this standard to the Stormwater Advisory Committee or the Stormwater Technical Advisory Committee for recommendation on ambiguous or disputed issues to the DSD Director.
- 5.4 The Mayor and Council shall be notified of the final, non-appealable approval of any such request prior to or at the next regularly scheduled Mayor and Council meeting following the approval.

9-07.0.0 RESERVED

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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

- 9-08.1.0 GENERAL**
 - 9-08.2.0 REVIEW PROCESSES AND PROCEDURES**
 - 9-08.3.0 DEVELOPMENT CRITERIA**
 - 9-08.4.0 SUPPLEMENTAL REVIEW CRITERIA**
 - 9-08.5.0 SIGNS**
 - 9-08.6.0 PARKING**
 - 9-08.7.0 SPECIFIC HISTORIC DISTRICT GUIDELINES**
 - 9-08.8.0 HISTORIC DISTRICTS, SITES, AND STRUCTURES**
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9-08.0.0 HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS.

9-08.1.0 GENERAL.

- 1.1 Purpose. This Standard has been established for the purpose of informing applicants of preparation, submittal, and review requirements for projects within the Historic Preservation Zone (HPZ). An owner of property within the HPZ has an opportunity to work with district advisory boards, comprised of district residents and design professionals, the Tucson-Pima County Historical Commission, and Planning staff to assure that the proposed development protects both historic resources and property values.

The review procedures and development criteria summarized in this Development Standard should assist the applicant in meeting these twin goals successfully and expeditiously. The Standard lists general development criteria applicable within all City designated historic districts, along with specific district guidelines that apply within a particular district. Illustrations are included to clarify particular design concepts and further aid the applicant in meeting HPZ review requirements.

The applicant should refer to the list of Historic Landmarks and Contributing and Noncontributing Properties within each historic district, published as Development Standard 9-08.8.0 (Structures List) and available in the Planning Department. This list identifies and categorizes all structures within historic districts. The applicant's first step in the review process is to locate the subject property on the list and carefully read those sections of this Development Standard that apply to that category of property. In the case of new construction on vacant land, the applicant should review the structures list to identify Contributing Properties within the subject property's development zone. Other recommended early steps in the process include a preapplication meeting with Planning staff and preliminary discussions with the appropriate advisory board.

This Standard does not waive any applicable City regulations or codes. Plans approved through the HPZ process must also meet applicable zoning and building code requirements.

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- 1.2 Applicability. This Standard applies to all development and improvements within the Historic Preservation Zone which is an overlay zone identified with the prefix "H" on City of Tucson Zoning Maps, with the exception of the San Xavier Environs Historic District within which specific development regulations apply as listed in Sec. 2.8.8.13 of the Tucson *Land Use Code (LUC)*.
- 1.3 Definitions. Definitions for words and terms used in this Standard are found in the Development Standards Glossary and in Sec. 6.2.0 of the *LUC*. Selected terms relating to design elements and criteria are further defined and clarified graphically within this Development Standard. Five terms are particularly important for the applicant to understand because they refer to different structure categories. Again, the applicant needs to refer to Development Standard 9-08.8.0 (Structures List) in order to follow the correct review procedure.

Structures are listed in categories from most valuable (Historic Landmark) to of no value (Intrusion). Between these categories are several levels of historic significance. Most properties in historic districts are listed as Contributing Properties, which may be either historic or nonhistoric compatible properties. Noncontributing Properties may be: (1) a historic property that has been architecturally compromised; for example, a 1920s house that has been renovated using inappropriate materials; (2) a nonhistoric incompatible structure; for example, a recently built structure that does not fit the character of historic structures in the district; or (3) an Intrusion. Intrusions detract from the district's historic significance in the most direct and obvious way, either because historical architectural integrity has been irretrievably lost or because the property is nonhistoric and built without regard to the design context of the district.

The term *development zone* means a certain designated area adjacent to the lot to be developed. For the purposes of HPZ development review, public and institutional structures within the development zone shall not be considered part of the development zone when evaluating proposed development on an adjacent property. The development zone is determined as follows:

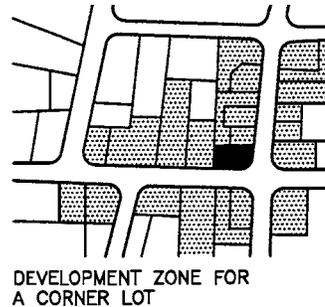
- (1) Where the subject lot is an interior lot, the development zone includes that lot, all lots on either side of that lot and fronting on the same street in the same block, and all those lots on the opposite side of that street, except such portions of the development zone which fall outside the boundary of the historic district.



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1.3 Definitions. (Cont'd)

- (2) Where the subject lot is a corner lot, the development zone includes that lot, the corner lot diagonally opposite that lot, all lots fronting on the same two (2) streets in the same block, and all lots on the opposite sides of those streets, except such portions of the development zone which fall outside the boundary of the historic district.



- (3) Where the subject lot is located adjacent to a historic zone boundary, the development zone includes that lot, all lots located within the same block, and those lots facing the same street as the subject lot within one block in either direction, except such portions of the zone which fall outside the boundary of the historic district.

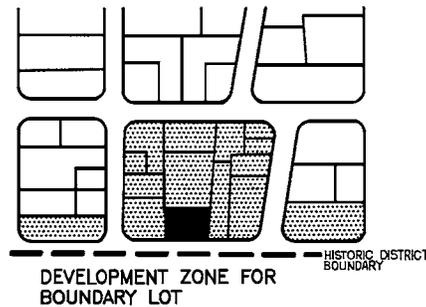


Figure 1: Development Zones

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9-08.2.0 REVIEW PROCESSES AND PROCEDURES.

- 2.1 Purpose and Nature of the Review. All development and improvements that affect the exterior of structures within the HPZ, even those that do not require building permits, are subject to review as specified in the *LUC*. The various review processes are intended to preserve the archaeological, historical, architectural, and landscape architectural characteristics of existing sites, structures, and districts in order to preserve property values and enhance the character of Tucson's historic neighborhoods.

Depending on the nature of the project, historic review may involve separate reviews by the local advisory board, the Tucson-Pima County Historical Commission, and City staff, with final action by the Planning Director or Mayor and Council. Applications for HPZ review, also referred to in the *LUC* as the “full review process,” are reviewed by the appropriate historic district advisory board and the Historical Commission Plans Review Subcommittee. Recommendations from these review bodies are forwarded to the Planning Director who makes the decision to approve, approve with conditions, or deny the application. Any subsequent changes to approved plans, based on construction or restoration work in the field, will require further review.

Applications subject to “minor review” are processed by staff after consultation with representatives of the appropriate advisory board and the Historical Commission.

Except for emergency demolition, applications for demolition of structures in historic districts are reviewed according to the classification of the structure as found in Development Standard 9-08.8.0. Demolition of structures deemed to be Intrusions are subject to minor review procedures, whereas demolition of Noncontributing or nonhistoric Contributing Properties are reviewed as part of the full review process. Requests to demolish a Historic Landmark or historic Contributing Property require a separate review process described in Sec. 9-08.2.5 of this Standard.

Historic review focuses on the exterior appearance of sites and structures rather than on interior layout, design, or furnishings. This may mean changes to the front facade as seen from the street or changes to side or rear elevations visible from streets or alleys.

Landscape design and plant materials may be evaluated as part of a required HPZ review. Generally, this review focuses on the role of landscaping in preserving and enhancing street character within the district. Because the form, size, and condition of plants are subject to change, landscape elements in the site plan are not viewed as permanent screening by review boards. For example, an existing oleander hedge will not serve as a satisfactory screen for an alteration that is architecturally incompatible since the hedge may die and the alteration would then be clearly visible from the public right-of-way and/or adjacent property. The need to screen site improvements will be avoided if additions are simple and appropriate to the existing structure and surrounding structures.

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2.1 Purpose and Nature of the Review. (Cont'd)

The emphasis on visual character is consistent with the overall purpose of the HPZ ordinance, which stresses retention of the appearance, setting, and placement of structures in order to preserve property and heritage values within historic districts. Although interior spaces are not generally reviewed by the advisory boards and Commission, any alteration to the interior of a publicly (i.e., Federal, State, or City) owned Historic Landmark is subject to review. Applicants should refer to the Secretary of the Interior's Standards for Rehabilitation, available from the Planning Department, when tax certification for rehabilitation work is contemplated.

The requirements, application procedures, and review schedules for each of these processes are summarized and illustrated below in Sec. 9-08.2.2, Sec. 9-08.2.3, Sec. 9-08.2.4, and Sec. 9-08.2.5. Regardless of the review process, the applicant is encouraged to contact the appropriate advisory board for preliminary discussion prior to submittal of a formal application and site or building plans.

2.2 Historic Preservation Zone Review (Full HPZ Review). Full HPZ review is required for most improvements and all new construction within historic districts. Generally, the process begins with a preapplication conference with Planning staff. The applicant should refer to the *LUC*, Sec. 5.4.3.10, Type X Administrative Procedure, and consult with Planning staff to verify submittal requirements. Once the application is verified as complete and accepted for processing, it is forwarded by staff for review to the appropriate historic district advisory board, the Tucson-Pima County Historical Commission Plans Review Subcommittee, and City staff for Zoning Code and Building Code review.

The advisory board sends its recommendation to the Historical Commission and the Planning Director. The Historical Commission forwards its recommendation to the Planning Director and advisory board. Based on these recommendations and concurrent Code compliance review, the Planning Director approves, approves with conditions, or denies the application. If approved, after a fourteen (14) day appeal period, the applicant may obtain building, grading, and/or sign permits from the Development Services Department (DSD). **Figure 2: Full HPZ Review Process** summarizes the steps in the process and the time frame.

2.3 Minor Review. Developments or improvements within historic districts that qualify for the minor review process include: (1) minor or necessary repairs to a structure costing less than \$1,500 (excluding replacement cost of appliances or mechanical equipment) and using identical or historically accurate replacement materials; (2) emergency repairs using identical or historically accurate replacement materials; (3) a change in sign copy only, not overall appearance, color, or lettering style; and (4) an alteration that does not require a permit but which affects the exterior appearance of an existing structure, including fences and walls. Staff consults with the appropriate advisory board and the Commission in deciding whether a project qualifies for the minor review procedure. Projects that do not meet minor review criteria must be processed as full HPZ cases.

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2.3 Minor Review. (Cont'd)

Applications for minor review are processed on a fast track, in accordance with provisions of the *LUC*, Sec. 5.4.3.11, Type XI Administrative Procedure. **Figure 3: Minor Review Process** summarizes the steps in the process and the time frame.

2.4 Resident Artisan Applications. Retail sales by resident artists may be permitted within the HPZ in accordance with criteria listed in Sec. 2.8.8.4.B of the *LUC*. Generally, these criteria limit the resident artisan use and scale of sales to arts and crafts activities that are compatible with the character of the historic district.

Applications for resident artisan uses are reviewed by the applicable historic district advisory board and approved or denied by the Planning Director.

2.5 Demolition Review.

Emergency Demolition. If the structure has been determined by the City's Chief Building Official to be an imminent hazard to public safety and repairs would be impractical, emergency demolition procedures will be in accordance with the requirements for such sites and structures in Chapter 6 of the Tucson Code. Refer to Development Standard 4-01.0 for information on these procedures.

Intrusions. Demolition of structures that qualify as Intrusions are processed as part of a Minor Review in accordance with Sec. 5.4.3.11, Type XI Administrative Procedure, *LUC*. The purpose of this review is to determine that the building or structure is in fact an Intrusion.

Noncontributing and Nonhistoric Contributing Properties. Applications for demolition of Noncontributing or nonhistoric Contributing Properties are reviewed as part of the full review process, in accordance with the procedures and time frame illustrated in **Figure 2: Full HPZ Review Process.**

Historic Contributing Properties or Historic Landmarks. Requests to demolish historic Contributing Properties or Historic Landmarks require a separate, in-depth review process described in detail in Sec. 5.4.2.9, Type IX Legislative Procedure, of the *LUC*. The decision in demolition of historic Contributing Properties and Historic Landmarks rests with the Mayor and Council. To approve a demolition application, Mayor and Council must find that the property owner will suffer an unreasonable economic hardship if the demolition permit is not approved.

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2.5 Demolition Review. (Cont'd)

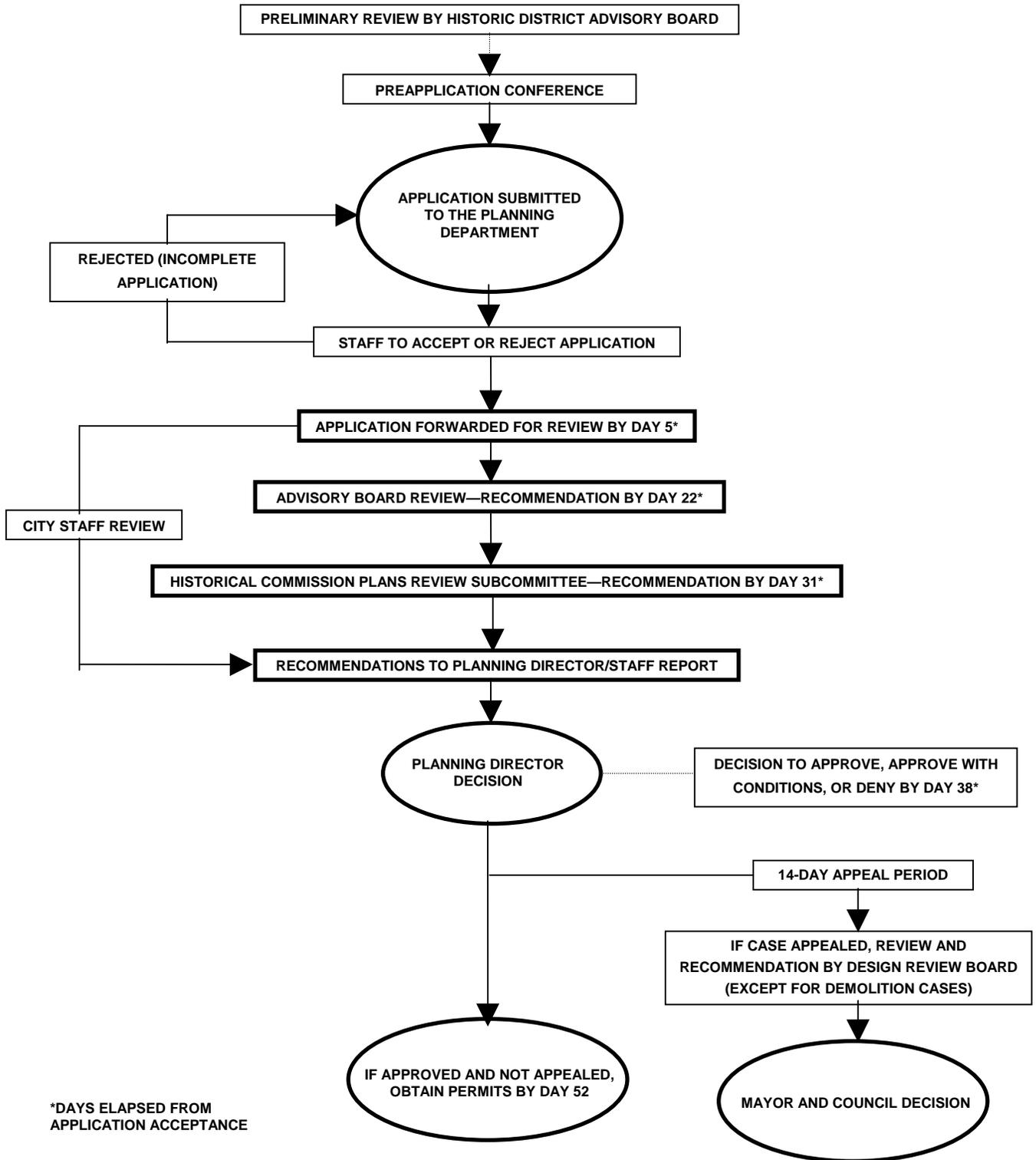
This review process can be summarized as follows: the property owner submits an application for a demolition permit and supplemental property information to demonstrate unreasonable economic hardship. Once the application is verified as complete and accepted for processing, staff forwards the application for review to the appropriate historic district advisory board and to the Tucson-Pima County Historical Commission Plans Review Subcommittee. The advisory board may make a recommendation to the Historical Commission and the Planning Director. The Historical Commission forwards its recommendation to the Planning Director and advisory board. The recommendations of the Planning Director, the Historical Commission, and the appropriate advisory board are forwarded to the Mayor and Council for consideration.

In order to allow time for the property owner and City officials to investigate an alternative to demolition prior to formal consideration by the Mayor and Council, the application is not scheduled for Mayor and Council public hearing until ninety (90) days have elapsed from the date the application was accepted.

The flow chart shown in **Figure 4: Demolition Review for Historic Contributing Properties and Historic Landmarks** summarizes the major steps in this process and the time frame.

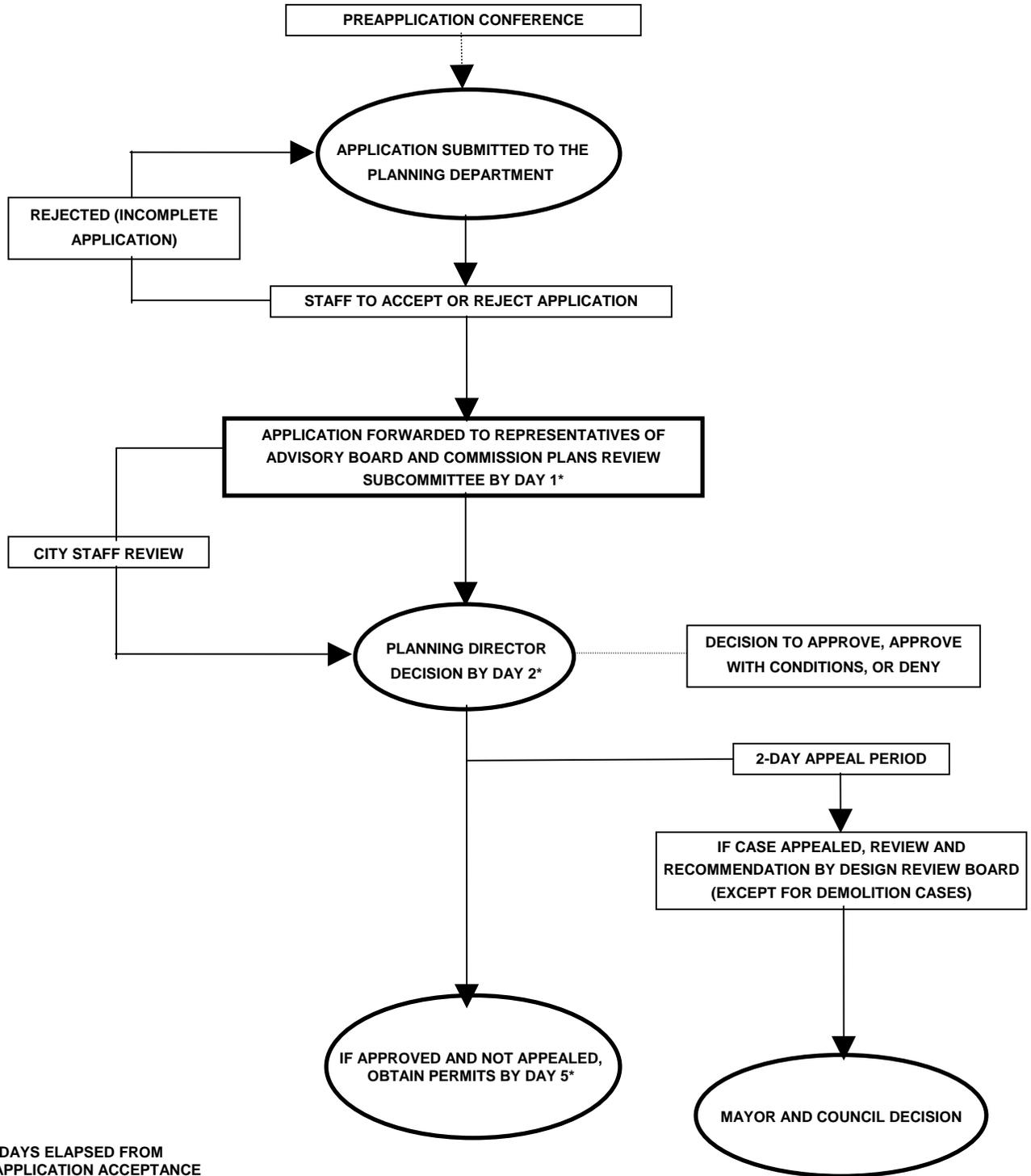
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Figure 2: Full HPZ Review Process



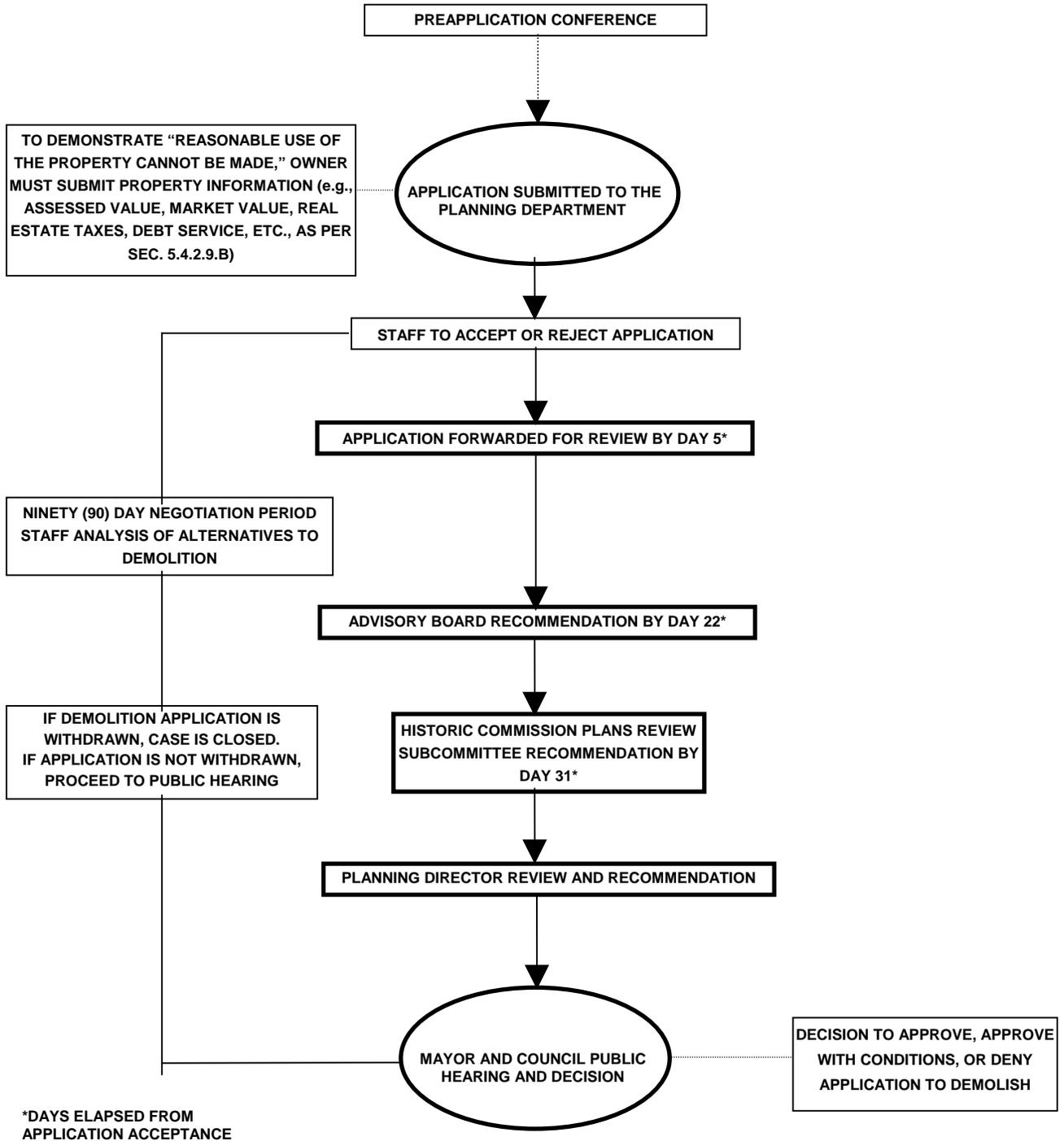
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Figure 3: Minor Review Process



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Figure 4: Demolition Review for Historic Contributing Properties and Historic Landmarks



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9-08.3.0 DEVELOPMENT CRITERIA.

- 3.1 General. The character of a historic district depends to a great extent on the integrity of its buildings and streetscape. Development patterns, design relationships, landscape design, and architectural styles and details together create the historic fabric of these districts.

Key development criteria relating to height, setbacks, proportion, roof types, surface texture, site utilization, projections and recessions, details, building form, and rhythm have been identified to guide future development within the HPZ. Proposed improvements will be reviewed for compliance with these criteria to ensure that projects in historic districts preserve the historical and architectural character of the neighborhood. Although new construction does not require a specific architectural style, it must be compatible with the overall design context of the neighborhood and street.

According to the HPZ ordinance, there are different standards for different types of historic resources. Generally, alterations to a Historic Landmark must conform to the intrinsic and unique character of the building or structure itself. Changes to a Contributing Property must reflect the architectural style and character of the existing structure. Alterations to a Noncontributing Property and new construction must be compatible with Contributing Properties located within its development zone. The design context within the development zone is particularly important as a guide for streetscape improvements, siting and setbacks, and building massing. Changes to architectural detailing on a structure are evaluated based on comparisons within the development zone of similar structures; that is, principal structures are compared with other principal structures that reflect a similar historical period and style. In this way, alterations to structures will be true to the style of the structure or, in the case of new construction, to a characteristic historical style and period within the development zone. An applicant needs to follow the appropriate standard, based on the type of property and proposed change. Again, consultation with Planning staff and the appropriate advisory board will help clarify and illustrate the issue of compatibility based on the specifics of the proposed project.

This section of the Development Standard is provided as an illustrated checklist to explain, in a general way, Code requirements for historic resources found within the HPZ. Figures are stylized representations, schematic in nature, and are not intended to represent or dictate a particular architectural style. The applicant is advised to consult with staff early in the process and to refer to relevant sections of the *LUC* for further guidance.

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- 3.2 Height. Height, as used in the HPZ, means the vertical distance measured between the highest part of a structure and the finished grade at the midpoint of the front facade of the principal structure, excluding chimneys, mechanical equipment, church spires, belfries, towers, and other miscellaneous additions and exceptions as provided in the Code.

As shown in **Figure 5: Height Compatibility**, compatibility of building heights is addressed by comparing principal structure proposed heights, in both new construction and alterations, with existing principal structure heights within the development zone. Proposed accessory structure heights are compared with existing accessory structure heights.

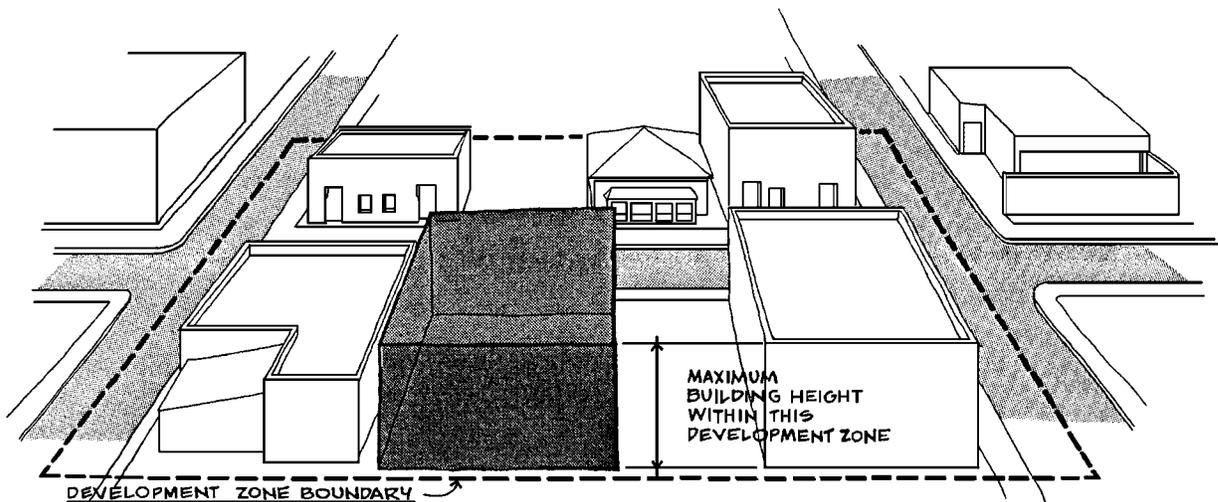


Figure 5: Height Compatibility

The key to building height compatibility lies in comparing similar types and styles of structures. A new Territorial style house should not be built to the height of its Victorian neighbor. The sense of mass, volume, and scale of the Territorial structure is quite different from that created by a hipped roof bungalow or more steeply pitched Victorian. A Territorial house built up to the allowable height of a pitched roof Victorian would look massive and out of scale.

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- 3.3 **Setbacks.** Prevailing setback, as used in the HPZ, means the most frequently occurring distances between structures and street and interior property lines in a development zone. Maintaining the prevailing setback will protect the historic and visual character of the street. The figures which follow give several examples of prevailing setbacks in the Tucson metropolitan area.

As shown in **Figure 6**, row houses on this block of El Presidio Historic District are built in the Spanish-Mexican vernacular tradition with no side or front setbacks. Their front facades are all located on their front property lines. The effect of this zero lot line could be achieved without actually locating the building on the property line.



Figure 6: Sonoran Row Houses

In specific cases where there is no front building setback, a high wall, a fence, or a dense hedge may be located on the property line to allow the building itself to be set farther back. This design solution would reinforce the continuous and cohesive sense of enclosure along the street while providing for the unique needs of the property owner, e.g., the need for an enclosed outdoor space for children's play or an interior courtyard as an entry or seating area.

Qualifying as a prevailing zero lot line property does not eliminate other Code requirements, such as fire walls and on-site drainage.

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3.3 Setbacks. (Cont'd)

Figure 7: Comparison of Prevailing Setbacks shows the contrast in front and side setbacks between blocks in the Barrio Historico (South Convent Street) and West University (East Fourth Street) Historic Districts. The block schematic in Barrio Historico represents row houses with generally no side or front setbacks. The plan view of the West University block shows regular front and side setbacks. In these examples, it is very clear how prevailing setback is to be interpreted.

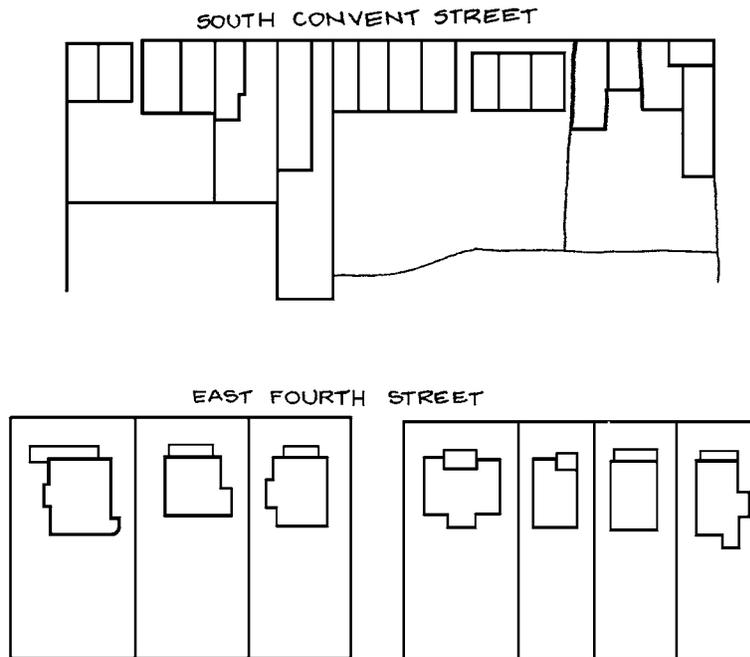


Figure 7: Comparison of Prevailing Setbacks

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3.3 Setbacks. (Cont'd)

However, in the area represented in **Figure 8**, the setbacks from interior property lines do not follow a regular pattern. In this example from the Fort Lowell Historic District, low-density development has been incremental and informal and has resulted in the preservation of valuable native vegetation. In this case, determining the prevailing setbacks entails an evaluation of both the character of site design in the entire development zone and close scrutiny of setbacks of adjacent properties.

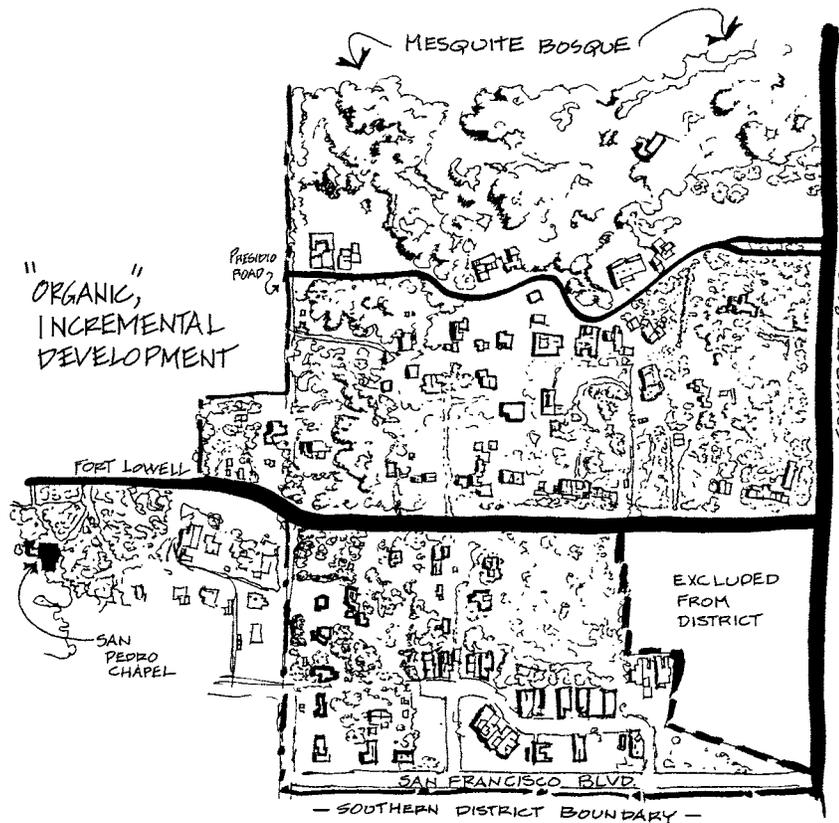


Figure 8: Irregular Setbacks, Fort Lowell Historic District

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3.3 Setbacks. (Cont'd)

Figure 9: Anglo-American Site Design shows the front setbacks and streetscape typical within the West University and Armory Park neighborhoods. In these districts, the uniform setback from the street reflects site planning practices common in the East and Midwest. Subdivisions built after the arrival of the Southern Pacific Railroad typically use imported design practices and construction materials. The uniform front setback is a primary factor in giving the street its character. The goal in both new construction and renovation is to maintain the prevailing front yards characteristic of the neighborhood.



Figure 9: Anglo-American Site Design

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3.3 Setbacks. (Cont'd)

The effect of disrupting the prevailing front setback is shown in the schematic in **Figure 10**. In this example, the effect of discontinuity of the streetscape would be the same whether the offending structure is a room addition, a carport, or a screen or security wall built on the front property line. In each of these instances, the prevailing setback would be compromised.

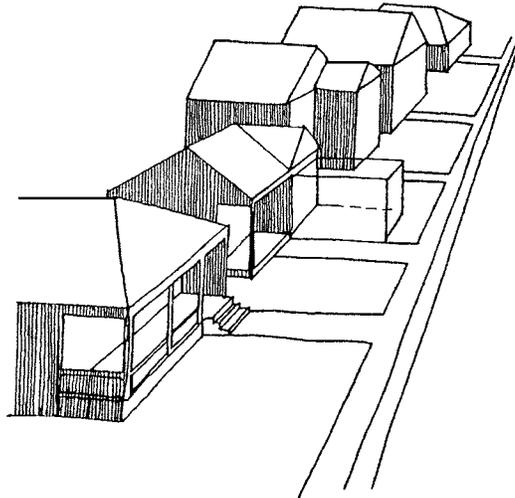


Figure 10: Incompatible Front Setback

- 3.4 Proportion. Proportion, as used in the HPZ, means the relationship between the width and height of a building's front facade, windows, and doors. Maintaining similar building proportions preserves the sense of visual continuity of the street and neighborhood.

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3.4 Proportion. (Cont'd)

The buildings shown in **Figure 11** illustrate horizontal massing. They are about twice as wide as they are high--a proportion of 2 to 1. This proportion holds true for many of the buildings in the El Presidio and Barrio Historico areas built in the Sonoran vernacular tradition. These buildings generally have horizontal massing with width predominating over height. When most of the buildings in a development zone have similar proportions, whatever they may be, construction of a new building with very different proportions would be destructive of the character of the zone.

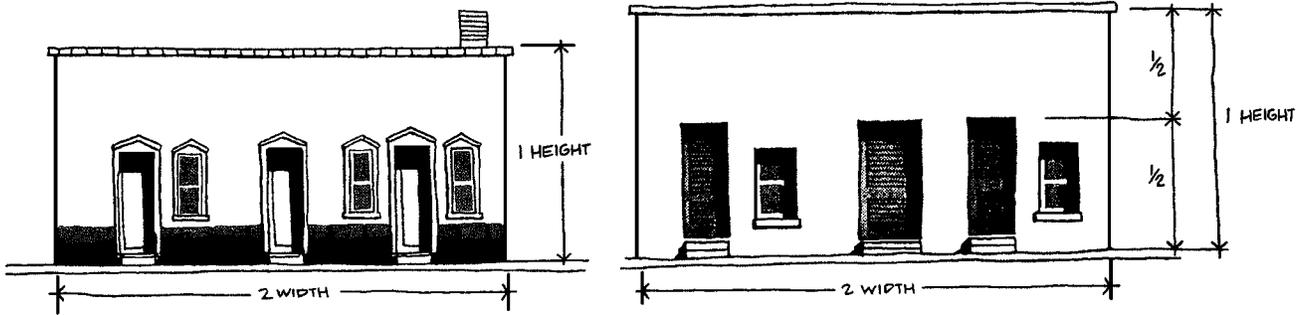


Figure 11: Horizontal Massing

Figure 12 shows a series of buildings that generally have the same proportions, with a 2 to 1 width-to-height ratio. The second building from the right, with a 3 to 4 width-to-height ratio, represents a new structure which does not relate well to the others because of its markedly different proportions.

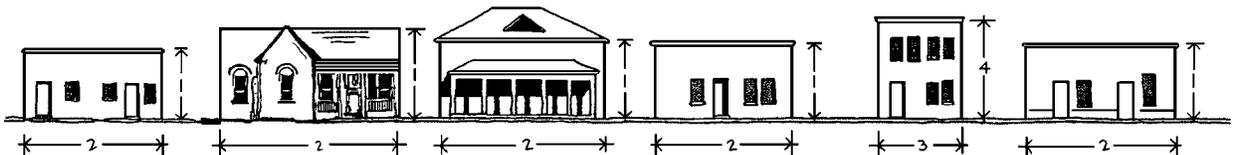


Figure 12: Proportion in Series

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- 3.5 **Roof Types.** The relationship of a new or altered building to the historic buildings in the development zone will be strengthened by repeating a roof type that is prevalent within the zone. If the predominant roof styles are hipped or gable, typical of California bungalow or Victorian styles, it would be disruptive to introduce a new house with a flat roof characteristic of the Sonoran Territorial style. This discontinuity of rooflines would likely also result in conflicts in height, mass, and materials between established residences and the intruder. **Figure 13** provides examples of common roof types from different historic districts in Tucson.

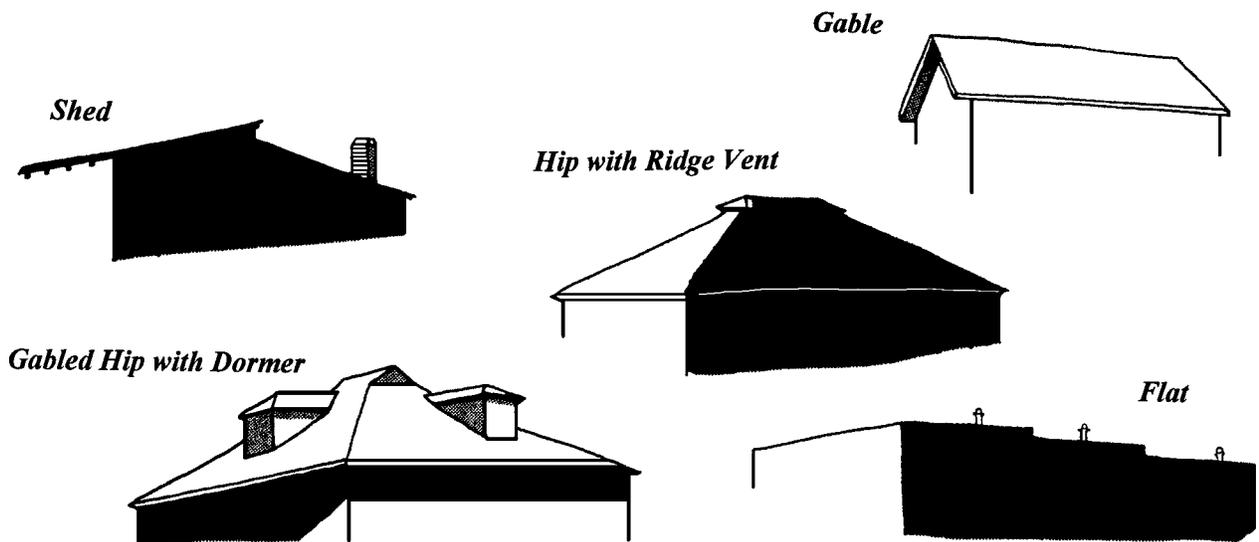


Figure 13: Common Roof Types in Tucson's Historic Districts

Although solar and other energy collecting and conserving techniques are encouraged, solar panels and equipment should be architecturally integrated and screened from the street right-of-way. For hipped and gabled roofs, panels should be flat against the roof and painted to match the roofing materials as closely as possible. Active units appropriate for flat roofs should be hidden by parapet walls.

Other architectural features and mechanical equipment atypical of the historical period or style, such as skylights, coolers, heating units, and satellite dishes, are scrutinized very carefully by historic district advisory boards and the Commission Plans Review Subcommittee. The following guidelines are recommended for the type, placement, and screening of these features.

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3.5 Roof Types. (Cont'd)

- Skylights should be flat, non-bubble type installations that are not visible from the street.
- Mechanical devices such as coolers and heating units should be hidden whenever possible, e.g., ground placement on the interior portion of the property or roof cutout on a slope facing the interior of the property.
- Satellite dishes should be placed on interior spaces and not be visible from the public right-of-way.

3.6 Surface Texture. Because various building materials and surface treatments are found in Tucson's historic districts, an applicant for renovation or new construction needs to look to the architectural context found in the particular development zone to ensure that materials and textures of a new development are appropriate to neighborhood character. Surface treatments commonly used in the particular development zone must guide future improvements. Whereas adobe and stucco may characterize an entire historic district, such as Fort Lowell, the types of materials and surface treatments in other districts may vary considerably. Brick, stone masonry, lava rock, and wood are common materials in districts with eclectic architectural styles. Although there are few hard and fast rules common to all historic district advisory boards, there is general consensus that certain materials, such as exposed concrete block, or surface treatments, such as painting over rock or painting over unpainted brick or masonry, are not appropriate. In addition, most advisory boards would not recommend approval of stucco application with expansion joints and modern textures.

3.7 Site Utilization. Site utilization, as used in the HPZ, means the spacing between the sides of buildings. However, the concept of site utilization also relates to front and rear setbacks. The space between buildings is an important factor that contributes to the character of the entire group of buildings. **Figure 14** shows a block in the University area. The generous side yards visually separate each house from its neighbors. **Figure 15** depicts a block in an older part of the city where the spacing between buildings is either very narrow or nonexistent. A new building must observe the appropriate spacing for its development zone.

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3.7 Site Utilization. (Cont'd)

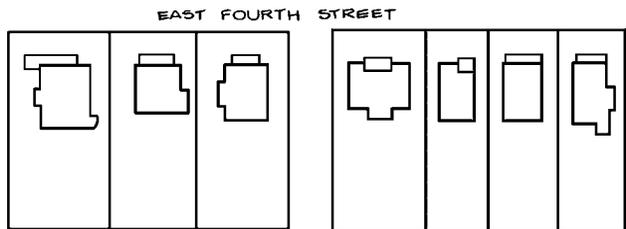


Figure 14: University Area

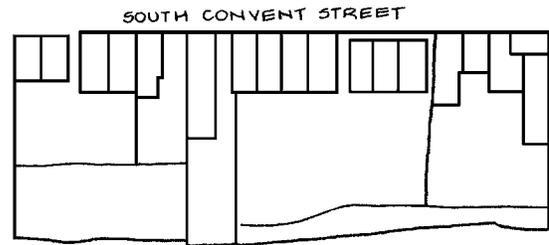


Figure 15: Barrio Historico

The orientation of new or renovated construction to the street is a site design issue that relates to site utilization. Principal structures must maintain the relationship to the street that is appropriate to the architectural and site design context of the development zone. Generally speaking, in historic districts, principal structures have street-oriented front entrances. Advisory boards recommend that proposed changes maintain the street facade of existing buildings and the prevalent street orientation of front entrances in the development zone.

- 3.8 Projections and Recessions. Projections and recessions, such as porches, steps, awnings, overhangs, entrances, windows, and doors, provide continuity, rhythm, and spatial quality to the streetscape. They also help define the architectural and historic character of the buildings as seen from the street.

Sonoran buildings usually had no projections beyond the facade. Transformed Sonoran buildings, such as the Verdugo House shown in **Figure 16**, added front steps, an understated front projection.

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3.8 Projections and Recessions. (Cont'd)

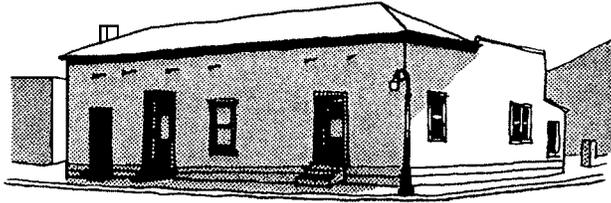


Figure 16: Verdugo House

As the influence of the Anglo immigrants to Tucson was felt, front porches began to appear on residential structures. In some cases, the grafting of one architectural tradition onto another resulted in an eclectic mixture of styles and treatments, as is shown in ***Figure 17.***

Generally, porches help to link the structure with the street. In addition to supporting street character, porches protect windows and doors from solar damage and consequently affect maintenance and long-term property values.

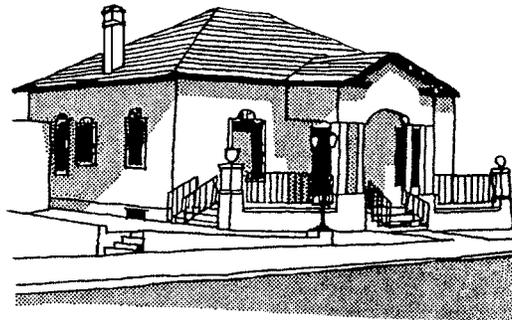


Figure 17: Later Porch Addition

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3.8 Projections and Recessions. (Cont'd)

The design of remodelings and new buildings in a historic district must take into account the presence or absence of such projections and recessions, in order to assure that the development reflects the design vocabulary appropriate for the particular historic district.

- 3.9 Details. Repetition of architectural details is another way of achieving a harmonious relationship between new and old buildings. Details are more than surface ornamentation. Architectural details frequently define the historical period and style of a structure. Examples of character-defining details include wall design and details, for example, parapet treatment, roof trim, eaves and verge treatment, and door and window openings. These details must be compatible with the existing historical styles and historical periods. However, compatibility does not mean exact duplication of architectural details.

Of the details listed above, windows are particularly important in defining historical and architectural character. With this in mind, repair or alterations to windows must be sensitively done. This generally means that window location, size, shape, function, and materials are retained. In the case of new construction, the window type and historical style most common within the development zone will guide window details in the new structure. **Figure 18** identifies traditional window components. **Figure 19** illustrates the anatomy of a double-hung window.

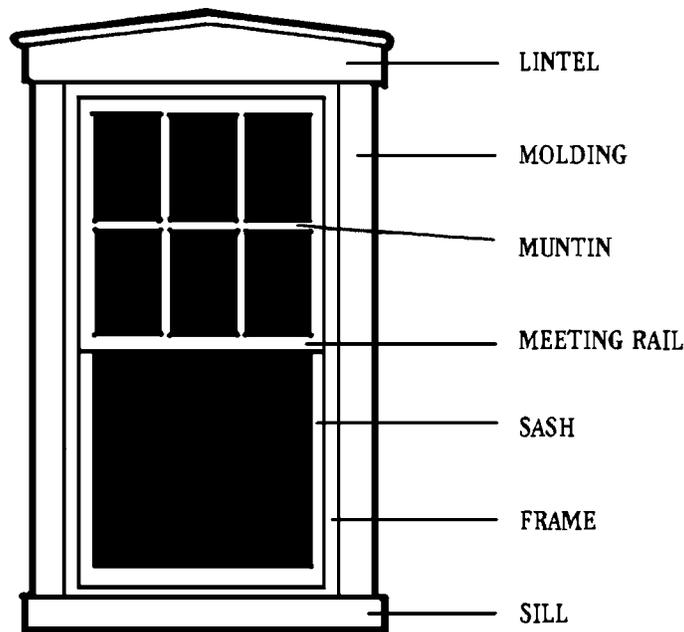


Figure 18: Window Components

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3.9 Details. (Cont'd)

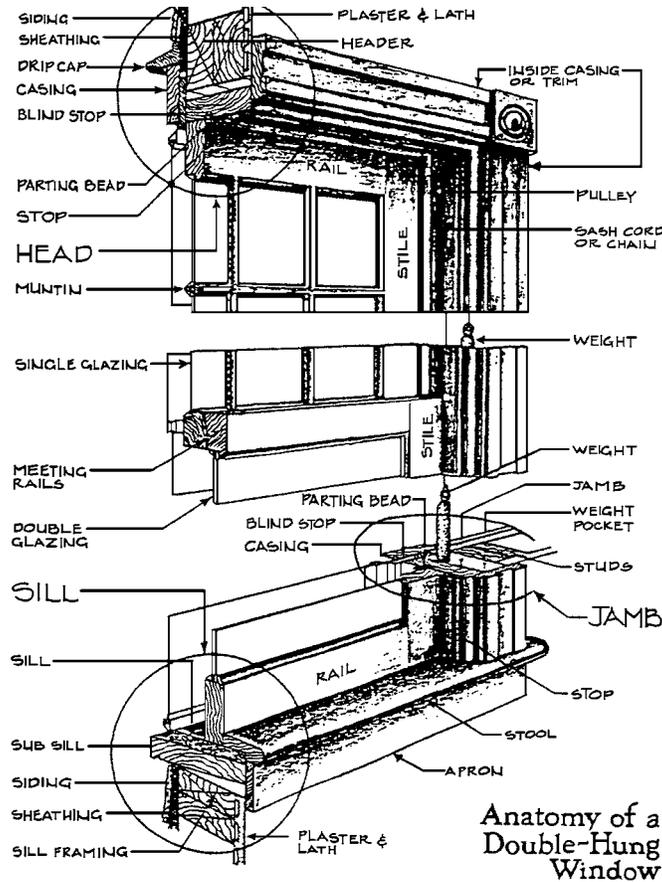


Figure 19: Anatomy of a Double-Hung Window

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3.9 Details. (Cont'd)

Figure 20 portrays examples of the diversity of architectural details common to Tucson's historic areas.

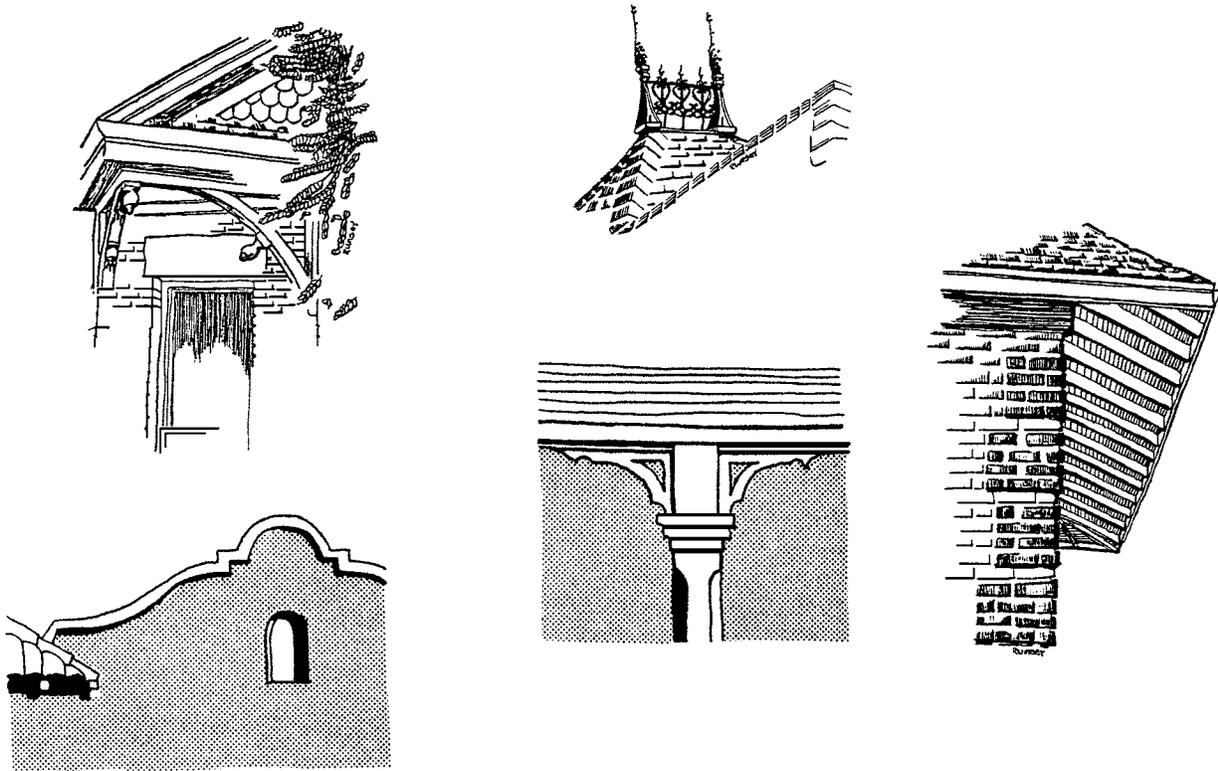


Figure 20: Details Found in Tucson's Historic Districts

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- 3.10 Building Form. Maintaining the characteristic size, mass, and scale of buildings in a neighborhood reinforces the sense of unity. Conversely, out-of-scale new construction or alterations can erode historical and architectural character. The schematic in **Figure 21** shows buildings with similar heights, proportions, and massing.

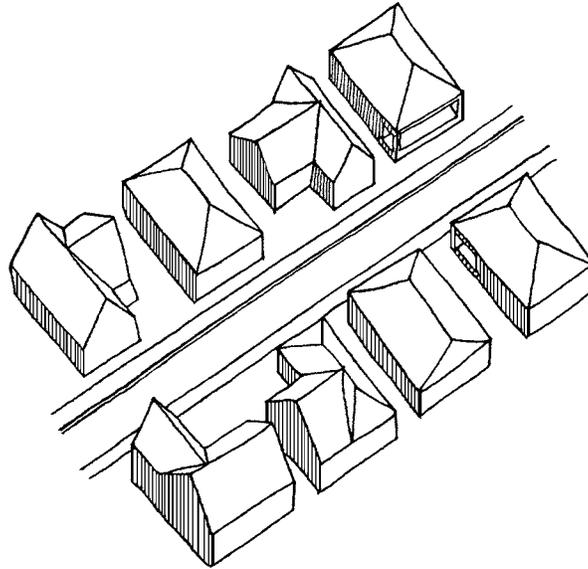


Figure 21: Continuity in Size, Mass, and Scale

- 3.11 Rhythm. Rhythm, as used in the HPZ, means the ordered recurrent alternation of solids to voids in the facade and streetscape. The recurrent alternation of wall to windows and doors (solids to voids) in the front facade of a building establishes a pattern which is sensed by a person observing the building from a distance. A person passing by the building experiences this pattern as a rhythm. **Figure 22** shows wall to window and door patterns common in Sonoran row houses.

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3.11 Rhythm. (Cont'd)

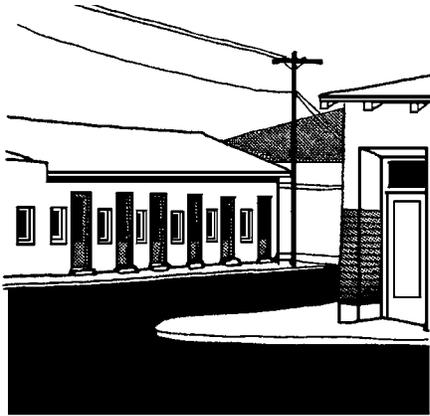


Figure 22: Rhythm of Solids to Voids in Sonoran Row Houses

By incorporating a similar rhythmic pattern in a new building, a sympathetic relationship between new and old may be achieved. Moving past a sequence of buildings, one experiences a rhythm of recurrent building masses to spaces between them. This helps define the quality of the streetscape. The perception of the rhythm and pattern of the street is related to site utilization.

The contrast in the relationship to the street created by Sonoran row houses and later Victorian styles is dramatically illustrated in the idealized streetscape shown in **Figure 23: Street Rhythm**. The Victorian houses in this illustration portray the regular alternation of buildings to side yards typical of areas settled after the arrival of the railroad and the influx of Anglo architectural concepts and building ideas. The rhythm of the streetscape is created by the central siting of the structure and the regular width of side yards. In the Sonoran row houses, the sense of rhythm is established through the alternation of walls to windows and doors rather than the alternation of buildings to spaces between them.

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3.11 Rhythm. (Cont'd)



Figure 23: Street Rhythm

9-08.4.0 SUPPLEMENTAL REVIEW CRITERIA. In addition to the key design criteria listed above, the following factors affecting the appearance, harmony, and unique characteristics of a historic district have been identified in the *LUC* and may be considered in the review process.

- 4.1 Color. Although a property owner does not need approval to paint a house in a historic district, color may be reviewed as part of a required HPZ review. In this case, the color of walls, trim, roof, and other details of a building or structure, including fences and walls, will be evaluated according to how well the choice of colors reflects the architectural style of the subject structure and the historical period of properties within the development zone.
- 4.2 Landscaping. Landscaping and hardscape elements, such as walkways, driveways, and site furnishings, may be reviewed as part of a required HPZ review. The general guide for the selection and placement of plants is the existing character of landscaping within the historic district. Individual district guidelines may include specific recommendations on plant materials. The Planning Director has the authority to waive or amend landscaping and screening requirements in order to assure that the type and placement of plant materials is compatible with the character of the subject property and the development zone.

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4.3 Enclosures. Fences, walls, or other physical features used to enclose open space or provide privacy must be compatible with the architectural style of the subject structure and the historic character of the development zone. This generally means that the height of a new wall or fence will not obstruct the public view of the structure from the street, except where it is used to simulate zero-lot-line construction to meet compatibility criteria. Wall and fence materials must be appropriate to the historic context of the structure and the neighborhood. Although recommended materials for enclosures vary from district to district, generally adobe, stone, stuccoed masonry, wood picket, and wrought iron are acceptable. Chain link, unpainted redwood, and unstuccoed concrete block are generally not approved materials.

4.4 Utilities. Whenever possible, utility connections should be placed in areas not visible from the public right-of-way.

9-08.5.0 SIGNS. The appearance, color, size, position, method of attachment, texture of materials, and design of signs within a historic district must be in keeping with the collective characteristics of the structures located within the appropriate development zone. Signs allowed in the underlying land use zone are regulated by Chapter 3, Signs, of the Tucson Code and further limited by the HPZ ordinance.

9-08.6.0 PARKING. Parking is regulated by the *LUC*. Sec. 3.3.1 through Sec. 3.3.8 of the *LUC* establish motor vehicle and bicycle parking requirements and design criteria. All Code requirements, including surfacing, are applicable within historic districts. More particular parking provisions applicable within the El Presidio Historic District are noted in Sec. 2.8.8.6.N of the HPZ ordinance.

Because parking can have deleterious impacts on architectural and street character in historic districts, the location, scale, and screening of parking areas are issues in the historic review process. Generally, advisory boards recommend that on-site parking be located to the rear of buildings and out of view from the public right-of-way. In addition, screening of parking areas may be required to protect the character of the historic district.

9-08.7.0 SPECIFIC HISTORIC DISTRICT GUIDELINES.

7.1 General. In addition to facilitating compliance with development criteria required by the HPZ section of the *LUC* and described in Sec. 9-08.3.0 of this Standard, related guidelines are used by individual district advisory boards to evaluate proposed projects within their particular districts. Because each of the districts is unique, a design issue that may be very important in one district may not be as important in another.

Individual district guidelines may place a particular emphasis on Code-required development standards. For example, on the subject of compatible building materials or surface textures, district guidelines may specifically define what is inappropriate, such as, exposed concrete block, or what stucco finish is recommended.

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7.1 General. (Cont'd)

Advisory boards recommend that prior to beginning plans for renovation or new construction, the applicant should walk through the immediate neighborhood, i.e., the area referred to in the *LUC* as the development zone, to get a better understanding of appropriate architectural styles and materials.

If your property has been designated a Contributing Property in Development Standard 9-08.8.0 (Structures List), generally, you should keep changes minimal, with alterations compatible with the architectural style and character of the Contributing Property. If your property is designated a Noncontributing Property in Development Standard 9-08.8.0, renovation may offer an opportunity to restore historic character with alterations that are compatible with Contributing Properties within the development zone. If you are considering new construction on a vacant parcel in a historic district, it is important to familiarize yourself with the overall character of the historic district, particularly with site design and architectural features within the development zone. This will ensure that new construction projects are compatible with and contribute to the character of the historic district.

The following questions are offered as a checklist for your tour of the neighborhood.

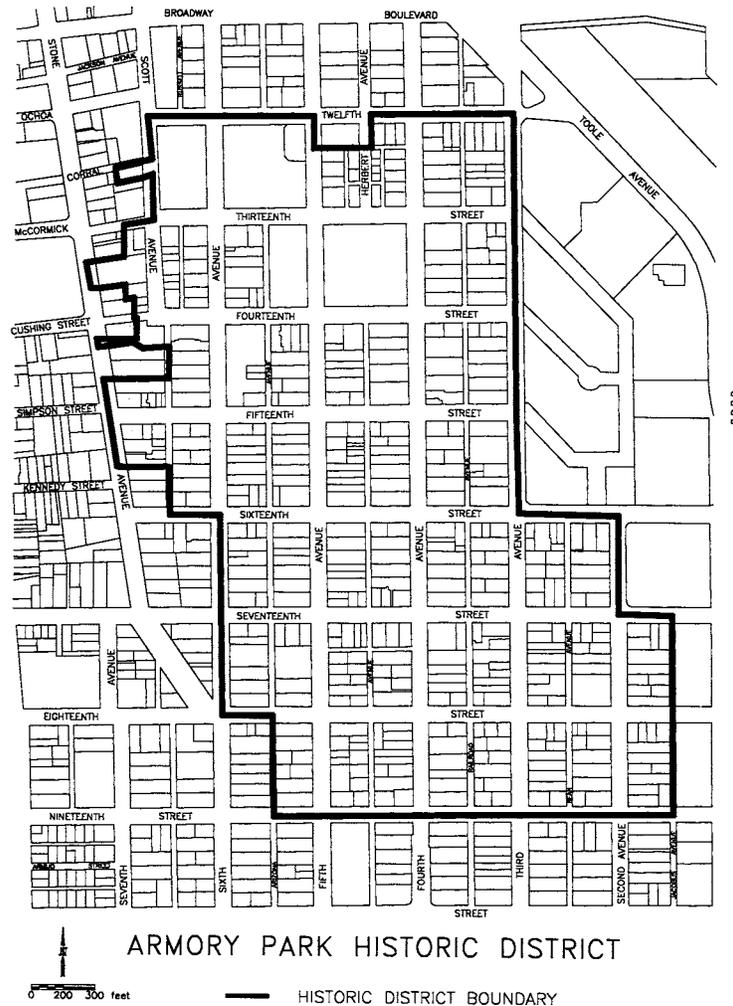
1. Are exterior alterations and changes kept to a minimum?
2. Do alterations fit the structure's original design?
3. Does new construction relate compatibly to surrounding properties, in terms of materials and architectural style and character?
4. Are changes visible from the street kept to a minimum?
5. Are changes to original roof form, building materials, and details kept to an absolute minimum?
6. Are all materials appropriate to the building and to the neighborhood?
7. Are the original sizes, shapes, and materials of window and door openings maintained?
8. Are original and distinctive architectural details kept?

Information provided in this section will aid the applicant in successfully and expeditiously meeting Code requirements, as interpreted and applied at the historic district level.

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7.2 Armory Park.

- A. *Background.* Armory Park became the City's first historic district in 1974. The District is an approximately thirty (30) block area located southeast of the central business district, bounded generally by Stone Avenue on the west, Third and Jacobus Avenues on the east, Twelfth Street on the north, and Nineteenth Street on the south. District boundaries are shown on the map below.



The 1995 survey of the District lists approximately 450 buildings or structures as Contributing Historic Properties. (See Development Standard 9-08.8.0.)

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7.2 Armory Park. (Cont'd)

In addition to City historic district status, the neighborhood is included in a National Register District that was created in 1976.

The Armory Park neighborhood bears the stamp of Anglo-American economic, cultural, and architectural design influences. While the present Armory Park area was surveyed as part of the 1872 town plan, it was the arrival of the railroad in 1880 that had the greatest impact on the development of the area. From 1880 until approximately 1920, the Armory Park residential area grew from the original Military Plaza to a progressive neighborhood of prominent railroad men, affluent businessmen, and working class residents. The majority of structures in the Armory Park area were residences for Southern Pacific Railroad workers and their families.

In addition to the residential core of the neighborhood, the Armory Park Historic District includes a mix of public uses, including the former Carnegie Library, now the Tucson Children's Museum, Safford Junior High School, the recently renovated Temple of Music and Art, and Armory Park and the adjacent Senior Center.

- B. *Architectural and Street Character.* The Armory Park area developed into a stable, cohesive neighborhood of multiple and single family detached houses encompassing a mixture of architectural styles. The vast majority of structures in the district are builder type homes, often built speculatively in tract fashion, revealing similar architectural character and detail. The railroad afforded wealthy Tucsonans access to Victorian detailing. Soon a variety of each style and tradition began to appear in the neighborhood. Several of these architectural styles were intermixed and the result is often referred to as Anglo-American Victorian. Houses reflecting this eclectic style are generally constructed of brick and have complex roofs and intricate wood detailing.

In addition to design influences introduced from the East and Midwest, the 1915 Panama-California Exposition at San Diego provided architectural models that were copied within the Armory Park area, including the Mission Style, California Bungalow, and Spanish Colonial Revival. Safford School is the best example of the latter style. The school displays plastered walls, an ornamented and elaborate entry, flanked columns, and portales.

Armory Park examples of the bungalow style were built from mass produced model plans for simple, single-story bungalows with gable roofs, articulated wood rafters, and heavy masonry porch piers. In addition, houses that exemplify earlier Spanish-Mexican traditions can be found as well.

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7.2 Armory Park. (Cont'd)

The street character of the Armory Park neighborhood reflects the influence of the post-railroad era and Anglo site planning concepts. Rather than contiguous structures built to the front property lines, typical of the Sonoran or Spanish-Mexican vernacular tradition, site utilization in the Anglo manner located the structure in the center of the lot, with spacious front, side, and rear landscaped yards. The neighborhood's character is further defined by ornamental lamp standards, street trees, and lushly landscaped yards.

- C. *Specific District Guidelines.* In addition to development criteria described earlier in this Standard, the following District review criteria provide additional guidance to the applicant.

Additions. Place additions to the rear. This includes new rooms, porches, steps, stairs, and ramps.

Windows and Doors. Flush doors and sliding glass doors are not appropriate, nor are aluminum windows, doors, or screen frames.

Security bars are discouraged and if used should be simple and not dominate the building. Bars should follow the lines of the window and should be mounted inside the window opening, rather than on the surface of the building.

Masonry. Do not use exposed concrete block as a substitute for brick or adobe.

If used for new construction, concrete block must be stuccoed. Color may be added to the stucco or it may be painted.

Chimneys. Maintain original chimneys, even if unused.

If repairs are necessary, match original material, color, shape, and brick pattern as closely as possible.

Roofing. White or light roofing shingles are inappropriate.

Rolled roofing is discouraged on surfaces visible from the street.

Porches. Maintain original porches.

Retain as much of the original material and ornamentation as possible if repair is necessary.

Front porches should not be enclosed as rooms. If possible, such rooms should be removed and porches restored.

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7.2 Armory Park. (Cont'd)

Do not use wrought iron columns or steel pipe columns.

Architectural Detail. Do not remove original architectural detail. Even the simplest details contribute to the character of the building.

If replacement is necessary, research original details and select details used on similar houses, duplicating size, placement, and quantity.

Mechanical Equipment. The following mechanical equipment should not be visible from the street: swamp coolers, air conditioners, water heaters, metal turbine and roof vents, furnaces, electrical equipment, solar panels, catwalks, emergency or utility access, maintenance safety equipment, satellite dishes, disks and antennas, and skylights.

Fences and Walls. Fences and walls should be appropriate to the style, materials, and age of the houses.

The height of your fence or wall should not obstruct the public view of building facades.

Some inappropriate fence and wall materials include: ocotillo fencing, stockade fencing, post and rail, tubular steel or wrought iron without spear tips, and unstuccoed concrete block.

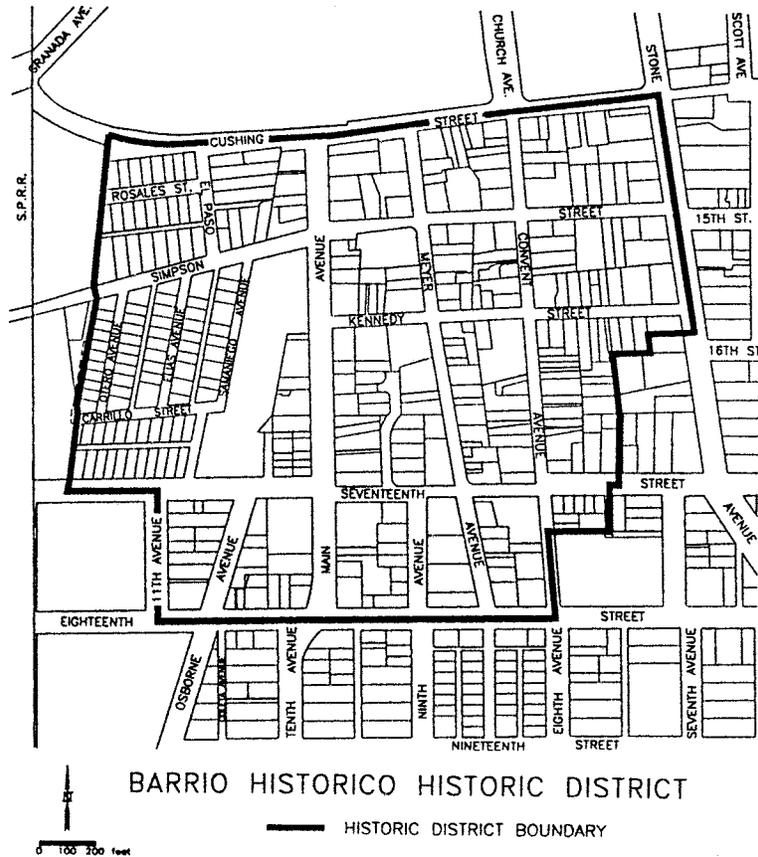
Extra attention should be paid to the fence or wall on the street facade of the property and the side yards back from the front facade of the building. The Armory Park Historic Zone Advisory Board discourages the use of any solid fencing or walls over three (3) feet tall. Additional materials inappropriate for these areas are unpainted wood, rough cedar, and corrugated metal.

Landscaping. Landscaping should respect the historic period of the neighborhood, as well as the architectural style of the structure, and not obstruct the public view of the building.

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7.3 Barrio Historico.

- A. *Background.* The Barrio Historico Historic District is an approximately twenty (20) block area located south of the Convention Center, between Cushing Street on the north, Eighteenth Street on the south, the Southern Pacific Railroad on the west, and Stone Avenue on the east. District boundaries are shown on the map below. The area was designated a historic district by the City of Tucson in 1975.



The 1995 survey of the District lists El Tiradito Wishing Shrine as a City Historic Landmark and approximately 225 buildings or structures as Contributing Historic Properties. (See Development Standard 9-08.8.0.)

In addition to City historic district status, the neighborhood is included in a larger National Register District (Barrio Libre) that was created in 1978 and comprises portions of four distinct neighborhoods (barrios): Elysian Grove (El Hoyo), El Membrillo, Santa Rosa, and Barrio Historico (Barrio Viejo).

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7.3 Barrio Historico. (Cont'd)

The National Register District barrios were first settled in the mid to late 1800s by residents who began building homes and businesses beyond the original Presidio walls, south of the central business district and around the Plaza de la Mesilla. The real growth occurred during the Territorial Period, and development accelerated with the arrival of the Southern Pacific Railroad in 1880.

While the barrios were primarily working-class Mexican neighborhoods, the residents enjoyed a surprising diversity of ethnic backgrounds, including Chinese, African-American, Anglo, and Native American. The working men and women of the barrios labored in a wide variety of professions, usually right within the areas in which they lived. This resulted in not only an identity for the residents but also provided a complete economic base within the confines of the neighborhood. Many residents rarely left their neighborhoods to shop, since local merchants and craftsmen provided all that was needed, including credit.

As the Arizona Territory grew with the influx of Anglo soldiers, ranchers, businessmen, and craftsmen, the barrios grew as well but managed to remain relatively unchanged in their cultural and architectural heritage. In the late 1960s, urban renewal programs led to the demolition of nearly half of the barrios. Arising in their place were the Tucson Convention Center and parking lots, the La Placita commercial area, and the City, County, and Federal municipal buildings. Tucson's preservation movement was in large part a response to the unfortunate impacts of urban renewal programs and ongoing threats to these historic neighborhoods from proposed major transportation plans.

- B. *Architectural and Street Character.* The Barrio Historico Historic District retains the distinctive architectural and cultural traditions of the past. The Barrio is comprised primarily of small one-story adobe and brick residences and commercial buildings. Architecturally speaking, Sonoran and Transformed Sonoran are the most characteristic architectural styles, although the Spanish Colonial Revival, Victorian, and Craftsman Bungalow styles are all represented.

The Sonoran style, part of the Spanish-Mexican vernacular tradition, is characterized by thick-walled adobe buildings set flush to the front property line; flat roofs with high parapet walls, stuccoed or left exposed; round wood beams (vigas); sahuaro-rib roof decks; and projecting drainpipes (canales), which penetrate the parapet wall at roof level. The buildings generally have horizontal massing, with width predominating over height. Exterior doors are usually placed flush with the inside wall creating a deeply recessed entry when viewed from the outside. Windows, on the other hand, are normally installed flush with the outside wall, creating a shelf or window seat on the interior. Floor plans could display a central hall (zaguan) or could reveal a series of rooms parallel or perpendicular to the street. Transformed Sonoran buildings are similar to this earlier vernacular style, with the addition of a sloping gable or pyramidal roof.

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7.3 Barrio Historico. (Cont'd)

The street character of Barrio Historico reflects Spanish and Mexican site planning concepts and earlier Islamic planning principles. Residential open spaces were generally interior courtyard spaces. Houses were designed both to accommodate social customs (e.g., to provide privacy for women in protected courtyards and interior spaces) and environmental factors (e.g., to provide shade and shelter from the desert sun) with narrow streets shadowed by thick-walled buildings set close to the right-of-way. A typical street in Barrio Historico, lined with Sonoran row houses that hug the street, reflects these design influences.

This street character contrasts sharply with the look and feel of neighborhoods developed after the arrival of the railroad and Anglo design influences from the East and Midwest. These later styles located the structure in the center of the lot, with front, side, and rear landscaped yards.

- C. *Specific District Guidelines.* In addition to development criteria described earlier in this Standard, the following District review criteria provide additional guidance to the applicant.

Alterations of Existing Buildings. Openings, including windows, doors, and porches, should not be infilled. The original sizes and shapes should be maintained.

Roof Forms/Elements. Roof forms and roof elements vary within the Historic District. New construction should reflect primarily the main adjacent roof forms or the prominent roof forms from the neighborhood.

Porches. Existing porches should be retained with as much of the original details and ornamentation as possible.

Existing porches should not be enclosed.

Exterior Wall Materials. Use the same or similar materials to repair or replace brick, stucco, or stone. Match as closely as possible the color, texture, and composition of the original walls.

Acceptable materials are exposed adobe block, exposed brick, stucco, or stone. Unacceptable materials include exposed or painted concrete block or slump block as a substitute for brick or adobe.

Stucco textures such as “dashed,” “sand floated,” and “steel troweled” are the most common and are encouraged. “Spanish lace” and “skip troweled” textures are not recommended.

Expansion joints in stucco finishes are not allowed.

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7.3 Barrio Historico. (Cont'd)

Doors and Windows. New and/or replacement doors and windows should be characteristic of the neighborhood and should conform to the original size, style, and materials of the structure (e.g., single glazed, double-hung wood windows and solid wood panel doors).

Flush mounted doors and sliding glass doors are not appropriate, nor are aluminum windows, doors, or screen frames.

Site Elements. New walls and fences should be appropriate to the style and age of the house. Unacceptable materials include: chain link, unpainted redwood, rough cedar, post and rail, and unstuccoed concrete block as wall or fence material for the street side(s) of a property. Appropriate materials include: stuccoed masonry, adobe, stone, cast iron, and wood picket.

Though not encouraged, carports and driveways should be located at the side or rear of the property whenever possible.

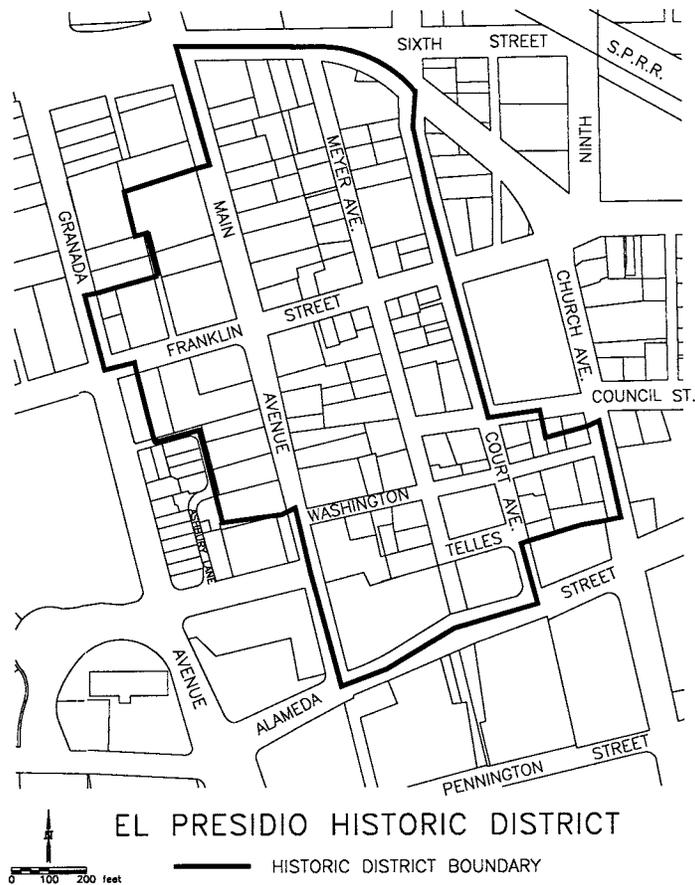
Mailboxes should be compatible with the style of the building and surrounding neighborhood.

Landscaping. Landscaping should respect the historic period of the neighborhood, as well as the architectural style of the structure, and should not obstruct the public view of the building.

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7.4 El Presidio.

- A. *Background.* The El Presidio Historic District, an approximately twelve (12) block area located immediately north of the downtown governmental center, is linked both physically and historically to the center of life in Tucson.



The area was designated a historic district by the City of Tucson in 1975 and a National Register District in 1976. District boundaries are shown on the map above.

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7.4 El Presidio. (Cont'd)

El Presidio is Tucson's first neighborhood, founded on the site of a 1200 year old Hohokam pithouse and the 1775 Spanish walled Presidio San Agustín del Tucson. The Presidio, roughly bounded by the modern streets of Main, Washington, Church, and Pennington, covered approximately twelve (12) acres and included two plazas, a chapel, a cemetery, stables for horses, and quarters for officers, soldiers, and settlers. By the 1860s, the town had outgrown the original fort, and the walls were falling into ruin. Many of the oldest houses within the District were built within the confines of the old Presidio walls or, in some cases, incorporated wall fragments into later structures. Later residential development continued north from the Presidio site.

What remains today are nearly 80 historically important and architecturally significant homes constructed between the mid-1800s and 1912. The District also includes the Tucson Museum of Art and Historic Block complex. Portions of the neighborhood were demolished in the 1950s and 1960s, before protective legislation was in place. Since District designation, there has been an effort to balance residential and nonresidential land uses in the area and to ensure that both restoration and redevelopment are compatible with the neighborhood's unique historic setting.

- B. *Architectural and Street Character.* Although a relatively small and homogeneous neighborhood in many respects, the El Presidio Historic District reflects a diversity of architectural styles. Sonoran, Transformed Sonoran, Spanish Colonial Revival, Victorian, Prairie, and Bungalow styles are all represented.

The Sonoran style, part of the Spanish-Mexican vernacular tradition, is characterized by thick-walled adobe buildings set flush to the front property line; flat roofs with high parapet walls, stuccoed or left exposed; round wood beams (vigas); sahuaro-rib roof decks; and projecting drainpipes (canales), which penetrate the parapet wall at roof level. The buildings generally have horizontal massing, with width predominating over height. Exterior doors are usually placed flush with the inside wall creating a deeply recessed entry when viewed from the outside. Windows, on the other hand, are normally installed flush with the outside wall, creating a shelf or window seat on the interior. Floor plans could display a central hall (zaguan) or could reveal a series of rooms parallel or perpendicular to the street. Transformed Sonoran buildings are similar to this earlier vernacular style, with the addition of a sloping gable or pyramidal roof.

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7.4 El Presidio. (Cont'd)

Other architectural and site design features in the District arrived after the Southern Pacific Railroad in 1880. Some architectural styles, such as the Queen Anne, Victorian, Tudor Revival, and Prairie styles, were introduced from the East and Midwest. Many of these styles were intermixed, and the result is often referred to as Anglo-American Victorian. Victorian houses reflecting this eclectic style are generally constructed of brick and have complex roofs and intricate wood detailing. The District also has several examples of Spanish Colonial and Mission Revival structures.

The street character of El Presidio reflects both Spanish-Mexican site planning concepts and later Anglo design influences. Streets such as Meyer and Court illustrate the Sonoran tradition with row houses built to the front property line. Open spaces were generally interior courtyard spaces. In contrast to this tradition, many of the houses along Main Avenue show Anglo site planning concepts. Houses such as the Hereford House and the Franklin House were built in architectural styles popular in the East and Midwest. These Prairie and Victorian adaptations were set back from the street and surrounded by trees and lush vegetation in front, side, and rear yards.

- C. *Specific District Guidelines.* In addition to development criteria described earlier in this Standard, the following District review criteria provide additional guidance to the applicant.

Development Zone. In the El Presidio Historic District, there are many instances of different building styles side by side or across from each other within the same development zone. Because of the heterogeneous nature of the District, the design context within the development zone will be evaluated as part of HPZ review, particularly for proposed renovations. The Advisory Board will not recommend approval for a plan submittal that proposes alterations that are inappropriate to the character, period, or style of the subject property, even though examples of similar alterations are found within the development zone. Renovation must be consistent with the style and period of the subject building, despite the existence of other styles within the development zone. The applicant should avoid grafting on stylistic details from neighboring buildings of a different time or style.

District Review Categories. In its review of building and renovation projects, the El Presidio Historic Zone Advisory Board pays careful attention to the following categories.

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7.4 El Presidio. (Cont'd)

Level One: Basic Regulations in the LUC

Level One design criteria focus on site planning and overall site design issues addressed in the *LUC* and discussed in detail in this Development Standard (see Sec. 9-08.3 through Sec. 9-08.6). The Advisory Board evaluates the submittal with respect to the following design elements and will recommend denial of the proposed development if it conflicts with Code provisions applicable to these overall site design issues. (References in parentheses are to subsections of this Development Standard.)

- Building spacing (see Site Utilization, Sec. 9-08.3.7)
- Lot coverage (see Site Utilization, Sec. 9-08.3.7)
- Yard limits (see Site Utilization, Sec. 9-08.3.7)
- Setbacks (see Setbacks, Sec. 9-08.3.3)
- Density of use (see Setbacks, Sec. 9-08.3.3)
- Bulk (see Building Form, Sec. 9-08.3.10)
- Height (see Height, Sec. 9-08.3.2)
- Signage (see Signs, Sec. 9-08.5.0)

Level Two: Specific Elements in the District's Design Vocabulary

Level Two design criteria focus on elements of building style and detailing. The Advisory Board evaluates whether the proposed design is appropriate with respect to:

- Simplicity (see Details, Sec. 9-08.3.9)
- Elements of composition (see Projections and Recessions, Sec. 9-08.3.8)
- Symmetrical or asymmetrical appearance (see Building Form, Sec. 9-08.3.10, and Rhythm, Sec. 9-08.3.11)
- Basic shape or form (see Building Form, Sec. 9-08.3.10)
- Roof form (including skylights) and pitch (see Roof Types, Sec. 9-08.3.5)
- Door and window patterns (see Rhythm, Sec. 9-08.3.11, and Details, Sec. 9-08.3.9)
- Characteristic local forms (stoops, porches, etc.) (see Projections and Recessions, Sec. 9-08.3.8)
- Expression of detailing (see Details, Sec. 9-08.3.9)
Details must reflect the style and period of the structure despite the existence of non-approved details in the development zone.
- Materials (see Surface Texture, Sec. 9-08.3.6)
- Surface texture (see Surface Texture, Sec. 9-08.3.6)
Textures must reflect the style and period of the structure despite the existence of non-approved textures in the development zone.

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7.4 El Presidio. (Cont'd)

- Colors (see Color, Sec. 9-08.4.1)
Colors must reflect the style and period of the structure despite the existence of non-approved colors in the development zone.
- Gutters and down spouts (see Details, Sec. 9-08.3.9)
- Peripheral walls and/or fencing (see Enclosures, Sec. 9-08.4.3)
- Lighting fixtures (see Details, Sec. 9-08.3.9)
- Landscape and hardscape (see Landscaping, Sec. 9-08.4.2)
Landscaping will be reviewed for appropriateness of massing and plant materials on a case-by-case basis.
- Equipment (HVAC, satellite) (see Utilities, Sec. 9-08.4.4)

Level Three: Environmental Relationships

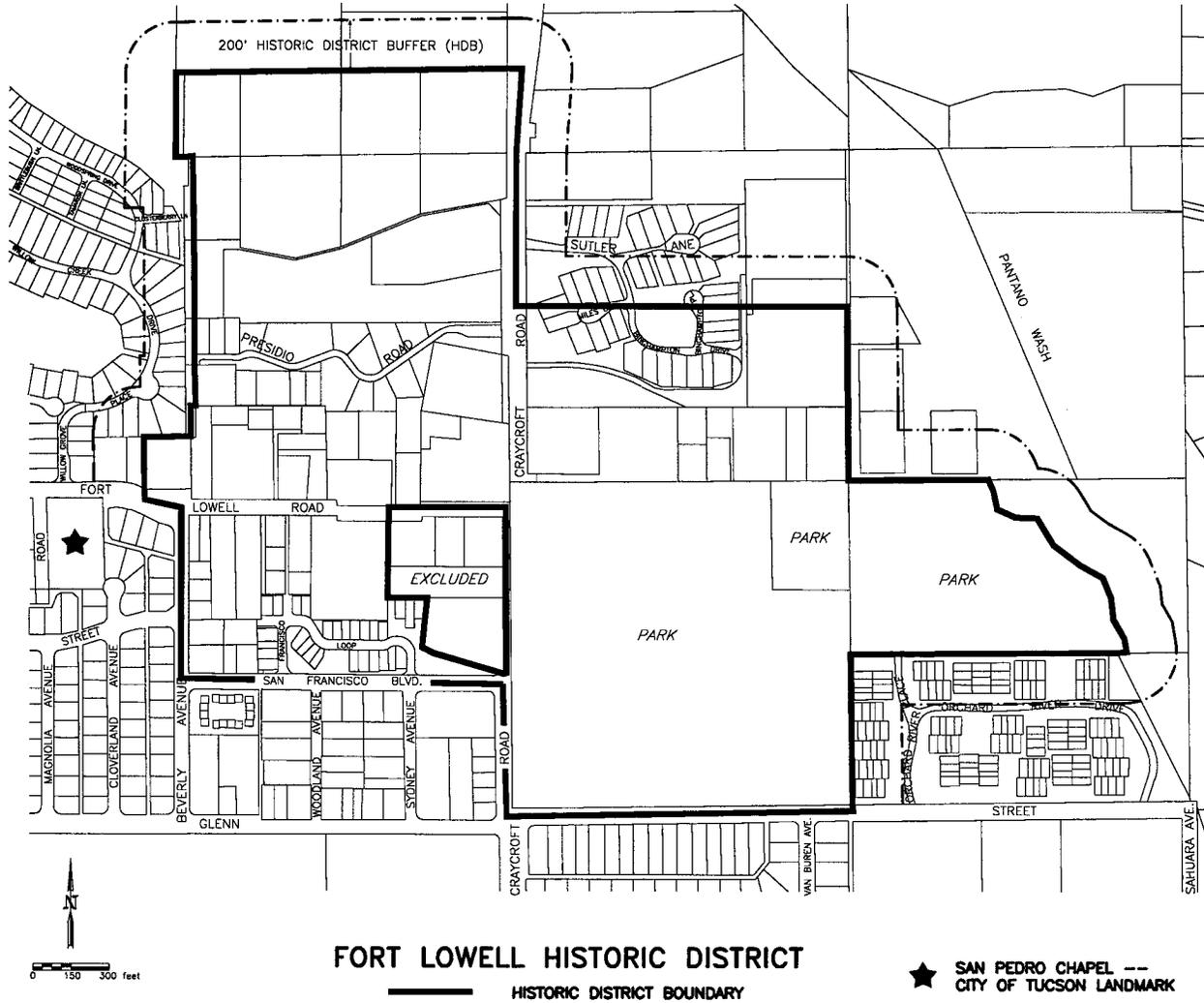
Level Three design criteria focus on the overall relationship of the proposed design to site surroundings and character. The Advisory Board evaluates whether the proposed design is appropriate with respect to:

- Scale (see Building Form, Sec. 9-08.3.10)
- Rhythm of the block space (see Rhythm, Sec. 9-08.3.11)
- Orientation (see Site Utilization, Sec. 9-08.3.7)
- Proportion (see Proportion, Sec. 9-08.3.4)
- Ground cover and plantings (see Landscaping, Sec. 9-08.4.2)
- Parking (see Parking, Sec. 9-08.6.0)
- General spirit of the area (see General, Sec. 9-08.3.1)

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7.5 Fort Lowell.

- A. *Background.* The Fort Lowell Historic District, an area of approximately one hundred fifty (150) acres, is located southwest of the confluence of the Tanque Verde, Pantano, and Rillito Washes. The map below shows District boundaries.



The 1995 survey of the District lists approximately 30 Contributing Historic Properties. In addition, nearly 70 recently constructed residences in the La Sonrisa, San Miguel, and Bosque Ranch developments are designated as Contributing Nonhistoric Properties. (See Development Standard 9-08.8.0.)

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7.5 Fort Lowell. (Cont'd)

The area north of Fort Lowell Road was designated by the Pima County Board of Supervisors as a County Historic District in 1976. In 1978, in order to preserve the historical Fort remains, Hohokam sites, and several biological communities, the area including and surrounding Fort Lowell Park was designated the "Fort Lowell Multiple Resource Area" and listed on the National Register of Historic Places. In 1981, the Mayor and Council designated the area south of Fort Lowell Road as the City Fort Lowell Historic District. Eleven years later, the City annexed the area between Fort Lowell Road and the Rillito/Pantano washes; the County and City Historic Districts were, therefore, combined into one City Fort Lowell Historic District.

San Pedro Chapel, located west of the Historic District boundary, was built by the people of the Village of El Fuerte in Mission Revival style and dedicated in 1932. It was designated as the first City Historic Landmark in 1982. In 1993, it was placed on the State and National Registers of Historic Places.

The Fort Lowell neighborhood is a unique area in metropolitan Tucson, reflecting a wide range of historic, scenic, rural, and natural resources. The relatively abundant waters at the confluence of three major desert washes were instrumental to the area's growth. The first documented remains of settlement show a large community of Hohokam people, who lived and farmed in the area from about 300 to 1250 A.D. In 1873, the military began to build Fort Lowell. During the Fort days, a number of adobe homes were built to the east of Swan Road--on the road from the Fort to Tucson. One of these houses is said to have been built by a Fort officer, another by a homesteader; both are still in use. Just west of the Fort, the sutler's store, or the post trader's store, was built by John B. "Pie" Allen, an important figure in Tucson and the Arizona Territory. This structure was restored and is in use as a home today.

Fort Lowell existed to protect Tucson and the surrounding settlers from Apache raids. After the Apache threat to the valley subsided, the Fort was abandoned in 1891. Shortly thereafter, Sonoran and Chihuahuan farming and ranching families came north to the rich bottomlands of the Rillito and Pantano washes. They found the deserted Fort buildings and adapted them to their own use. As time passed, they acquired land and built homes, spreading out to the west of the Fort, thus establishing the Village of El Fuerte. At about the same time, members of the Church of the Latter Day Saints were also attracted to the fertile soil of the area. They established dairy farms and maintained the several irrigation ditches which had probably been built even before the Fort by nearby farmers and ranchers. Coming from Utah and Colorado, as well as from the colonies in Chihuahua, these Mormons established the community of Binghampton, near Fort Lowell Road and Dodge Boulevard.

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7.5 Fort Lowell. (Cont'd)

Much of the rural and scenic quality of the Fort Lowell area today is a reflection of this earlier cultural history. Early residents benefited from the area's prime natural resources--desert washes and rich alluvial soils. In spite of overgrazing and clear cutting of mesquite, the area includes vestiges of the old mesquite forest (bosque), which provides valuable habitat for a diversity of wildlife. Because later growth was incremental and low density, the cultural landscape generally developed in harmony with the opportunities and limits of the area's natural resources. Increased development in recent years and a rapidly dropping water table have placed the remaining groves of mesquites at risk. Development criteria included within the HPZ ordinance, review guidelines developed by the Historic Zone Advisory Board, and policies established for the greater Fort Lowell area (in the Old Fort Lowell Neighborhood Plan) together help to maintain the historic, cultural, and natural resources of the area.

- B. *Architectural and Street Character.* Houses in the District generally reflect a simple vernacular style with design roots in the Sonoran tradition. Distinct styles include the Sonoran Military, Sonoran Ranch, Santa Fe-Sonoran Ranch, and Bungalow Vernacular. Structures are single story, generally of adobe or other masonry construction, with parapeted flat roofs, although gabled roofs also occur in bungalow adaptations. Buildings generally have horizontal massing, with width predominating over height. Solid walls predominate over voids, such as windows and door openings. Exterior doors are usually placed flush with the inside wall creating a deeply recessed entry when viewed from the outside. Windows, on the other hand, are normally installed flush with the outside wall, creating a shelf or window seat on the interior.

The area's rural and historic low density residential land uses resulted in random site utilization, irregular street setbacks, and organic rather than planned growth. This informal and incremental growth pattern is complemented by informality in landscaping design and plant materials. Generally, native plants are favored since they help maintain habitat values and complement vernacular house styles. Together architectural styles, site design, and landscaping reinforce the symbiotic relationship that exists between the natural and cultural environments in the District.

- C. *Specific District Guidelines.* In addition to development criteria described earlier in this Standard, the following Fort Lowell Historic District review criteria provide additional guidance to the applicant. For a fuller explanation, see the District's Guidelines, available from the Planning Department.

Architectural Style. Sonoran Ranch.

Height. Not to exceed 16 feet. Only one story permitted.

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7.5 Fort Lowell. (Cont'd)

Setbacks. Historically, there has been great variety in front setbacks, rather than strict adherence to a prevailing setback. Projects will be evaluated for conformance to the general character or pattern of front and interior setbacks within the development zone.

Site Utilization. Maintain informal, semirural, low-density quality.

Proportion. Generally, the length is greater than the height. The roof line often has an irregular profile.

Pattern/Rhythm. Solid walls predominate over voids. Openings should be a minimum of two (2) feet from building corners. Symmetry is not characteristic.

Roof Types. "Flat" roofs with parapets are characteristic. Sloping porch roofs may be shingled or metal. Mission tile is incompatible.

Texture. Stucco (either lime or mud plaster) with smooth or sand finish. Or, exposed sun-dried adobe.

Color. Soft earth tones of light to middle value. Very dark colors and stark primaries should be avoided. Blue window trim is common.

Although a property owner does not need approval for only painting or repainting, since color is an important issue to the character of the Fort Lowell Historic District, the Zone Advisory Board recommends that all repainting projects, regardless of size, adhere to the above color guidelines.

Landscaping. Landscaping should be informal and favor native desert plant materials. As much of the original vegetation as possible should be retained. Stormwater runoff is best retained and absorbed on site.

Architectural Detail. Frame-and-panel or plank type wooden doors are most common. French doors are acceptable even though not historic if they are secluded and not visible from streets or adjacent properties.

Double-hung or casement-type wood frame windows are most historically correct. Painted steel casement windows with divided lights are acceptable. Vertical dimension should be greater than horizontal.

Arched openings over the main entrance may be appropriate, although rows of arches characteristic of Spanish Colonial or Mediterranean architecture would be inappropriate.

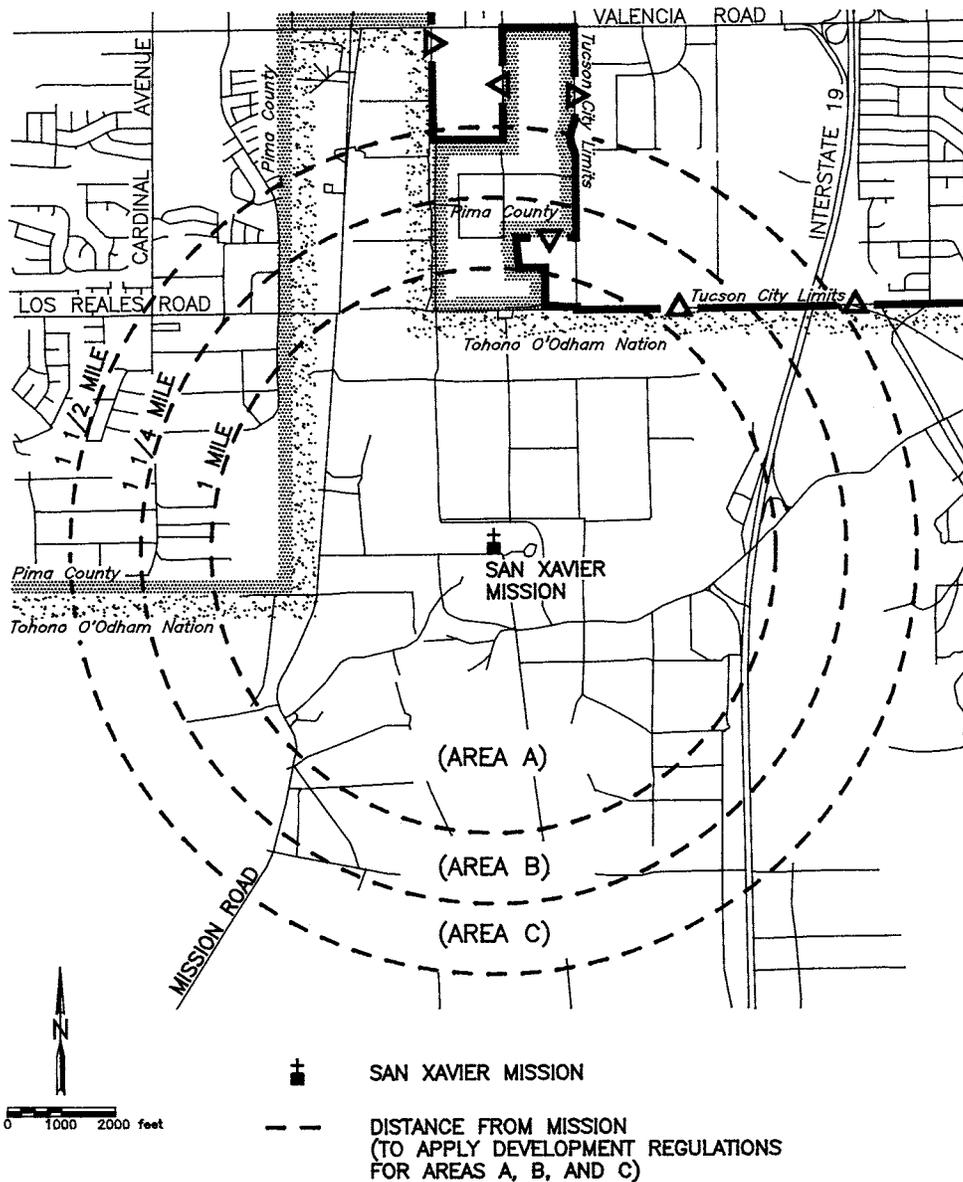
Exposed wooden lintels over openings are encouraged.

**CITY OF TUCSON
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7.6 San Xavier Environs.

- A. *Background.* The San Xavier Environs Historic District applies to an area extending one and one-half (1½) miles from San Xavier Mission (see map below). This District was established in 1972 by Pima County in order to conserve heritage values by designating an area of influence from the Mission, the County's most recognized historic landmark.

SAN XAVIER ENVIRONS HISTORIC DISTRICT



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7.6 San Xavier Environs. (Cont'd)

When areas included in the County-designated San Xavier Environs Historic Zone were annexed by the City of Tucson in 1994, for example, areas between Valencia Road and Los Reales Road, County Code provisions were adopted by the Mayor and Council to provide comparable protection within the San Xavier influence area.

- B. *Specific Development Regulations.* Specific regulations of the City San Xavier Environs Historic District apply to those areas within the City limits that lie within a one and one-half (1½) mile radius from the Mission. Other provisions of the Historic Preservation Zone ordinance do not apply within the San Xavier Environs Historic District.

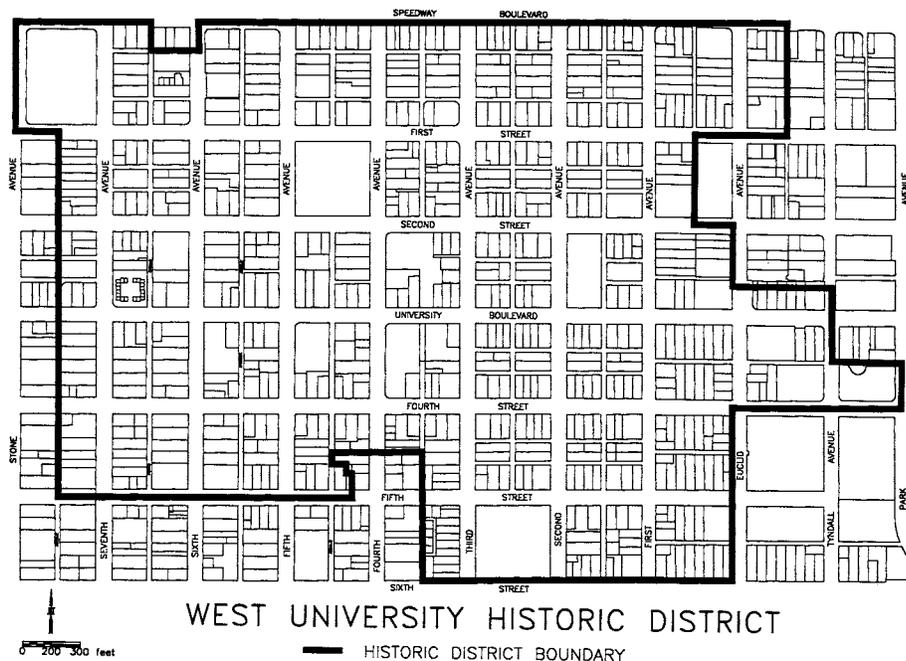
The San Xavier Environs Historic District is divided into three subareas (A, B, and C) as shown on the map. Each of these areas has maximum residential densities (two residences per 36,000 square feet in Area A; four residences per 36,000 square feet in Area B; and six residences per 36,000 square feet in Area C) and development standards that address lighting, screening, and height restrictions.

An applicant with property within the San Xavier Environs Historic District should refer to the *LUC* (Sec. 2.8.8.13) for more detailed information.

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

7.7 West University.

- A. *Background.* The West University Historic District is an approximately sixty (60) block area located between the University of Arizona and downtown. District boundaries are shown on the map below. The area was designated a historic district by the City of Tucson in 1984. Prior to local designation, the District was listed on the National Register of Historic Places.



The 1995 survey of the District lists more than 600 buildings or structures as Contributing Historic Properties. (See Development Standard 9-08.8.0.)

- B. *Architectural and Street Character.* The West University Historic District retains the residential scale and pleasant pedestrian environment of an early 1900s community in the heart of metropolitan Tucson. While predominantly residential, two commercial areas, on Fourth Avenue and University Boulevard, exist within District boundaries. Although there are some Sonoran Transitional buildings in the West University neighborhood, reflecting Tucson's Spanish colonial and Mexican heritage, the majority of architectural and site design features in the District arrived after the Southern Pacific Railroad in 1880. Some architectural styles, such as the Queen Anne, Victorian, and Neo-Classical Revival styles, were introduced from the Midwest and East. Instead of being introduced to Tucson with their characteristics intact, several of these imported styles were intermixed, and the result is often referred to as Anglo-American Victorian. Victorian houses reflecting this eclectic style are generally constructed of brick and have complex roofs and intricate wood detailing.

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7.7 West University. (Cont'd)

Other styles, such as Mission Revival, Spanish Colonial Revival, Western Stick Style, and the California Bungalow, arrived from the West. The latter is the most characteristic style in the District, and even this style was transformed over time to include variety in materials and detailing. Generally, in the West University neighborhood, bungalows are quite small, two rooms wide and two or three rooms deep, and have a broad gable roof. Stuccoed brick is the most common material with wood structural members along the roof eaves and an exposed porch with tapered columns of stucco or stone.

In spite of this rich diversity of design influences and styles, the buildings in the District share a certain homogeneity of scale and density--a collective character that contributes to the neighborhood's unique sense of place.

The relationship of houses to streets and alleys was also defined by imported design influences. In contrast to Sonoran row houses which lack front setbacks, houses in the West University neighborhood have uniform, albeit modest, setbacks copied from early 20th century City Beautiful style suburbs popular in the Midwest and East. In addition, nearly all the houses in the neighborhood, regardless of architectural style, include a clearly indicated front entry and front porch. Symmetrically placed front walks, sidewalks, a clearly defined planting strip between the sidewalk and street, and many mature trees collectively contribute to the area's pedestrian-friendly street character.

- C. *Specific District Guidelines.* In addition to development criteria described in this Development Standard, the West University Historic Zone Advisory Board has prepared design guidelines applicable within the Historic District. The applicant should contact the Chair of the Advisory Board for a current copy of these specific District guidelines.

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

9-08.8.0 HISTORIC DISTRICTS, SITES, AND STRUCTURES.

8.1 GENERAL.

8.1.1 Purpose. To establish a centralized list of neighborhoods, districts, sites, and structures that have been designated as HISTORIC LANDMARK, CONTRIBUTING-HISTORIC, CONTRIBUTING-NONHISTORIC, NONCONTRIBUTING, and INTRUSION. The list also includes structures in the Downtown Heritage Incentive District which are either designated on the National Register of Historic Places or have the potential for designation. These lists are for the purpose of convenient accessibility, public awareness, and effective enforcement of City regulations on historic preservation.

8.1.2 Applicability. Listed within this Standard are the districts, sites, and structures designated as HISTORIC LANDMARK, CONTRIBUTING-HISTORIC, CONTRIBUTING-NONHISTORIC, NONCONTRIBUTING, and INTRUSION under the applicability of Chapter 23 of the Tucson Code or any City regulation that was in effect prior to the adoption of Sec. 2.8.8 of the *LUC*.

8.2 HISTORIC PRESERVATION ZONES. Listed below are all the districts within the Historic Preservation Zone that have been designated by the Mayor and Council. As part of the list, all pertinent information relative to the District, such as historic structures, sites, adoption information, boundaries, and permitted uses, will be included for proper implementation and enforcement.

8.2.1 Armory Park Historic District.

A. Established: December 23, 1974, by Ordinance No. 4300.
Amended: November 14, 1983, by Ordinance No. 5902.
Amended: June 12, 1995, by Ordinance No. 8520.
Amended: July 10, 1995, by Ordinance No. 8544.

B. Boundaries and Location: The boundaries and location of the Armory Park Historic District are as designated on Map 2-1.

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

- C. List of **HISTORIC LANDMARK, CONTRIBUTING-HISTORIC (CH), CONTRIBUTING-NONHISTORIC (CN), NONCONTRIBUTING (NHNC), and INTRUSION (I).**

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
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BLOCK 99, CITY OF TUCSON

117-06-222 0		346 E. 12th St.	CH
117-06-223 0		340 E. 12th St.	CH
117-06-224 0		334-336 E. 12th St.	CH
117-06-225 0		328 E. 12th St.	CH
117-06-226 0	Vacant		
117-06-227 0		316 E. 12th St.	CH
117-06-228 0		203 S. 4th Ave.	CH
117-06-229 0		211 S. 4th Ave.	CH
117-06-230 0	Vacant		
117-06-231 0		218-226 S. 3rd Ave.	CH
117-06-232 0		219 S. 4th Ave.	CH
117-06-233 0		227 S. 4th Ave.	CH
117-06-234 0		244 & 266 S. Railroad Ave.	CH
117-06-235 0		228 S. 3rd Ave.	CH
117-06-236 0		230 S. 3rd Ave.	CH
117-06-237 0		236 S. 3rd Ave.	CH
		270 S. Railroad Ave.	CH
117-06-238 0		345 E. 13th St.	CH
117-06-239 0	Vacant		
117-06-240 0		237 S. 4th Ave.	CH
117-06-241 0		245 S. 4th Ave.	CH

BLOCK 100, CITY OF TUCSON

117-06-242 0		238-248 E. 12th St.	CH
117-06-243 0		214-216 E. 12th St.	CH
117-06-244 0	Vacant		
117-06-248 0		211-219 S. 5th Ave.	CH
117-06-249 0	Parking Lot		
117-06-250 0		225 S. Herbert Ave.	CH
117-06-251 0		218 S. 4th Ave.	CH
117-06-252 0		220 S. 4th Ave.	CH
117-06-253 0		227 S. Herbert Ave.	CH
117-06-254 0		229 S. Herbert Ave.	CH
117-06-256 0		225-227 S. 5th Ave.	CH
117-06-257 0		230 S. Herbert Ave.	CH

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8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-06-258 0		231-237 S. 5th Ave.	CH
117-06-259 0		231 S. Herbert Ave.	CH
117-06-260 0		228 S. 4th Ave.	CH
117-06-261 0		238 S. 4th Ave.	CH
117-06-262 0		246 S. 4th Ave.	CH
117-06-263 0		221-223 E. 13th St.	CH
117-06-264 0		219 E. 13th St.	CH
117-06-265 0		245 S. 5th Ave.	CH

BLOCK 101, CITY OF TUCSON

117-06-267 0		300 S. 5th Ave./200 E. 13th St.	CH/NHNC
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BLOCK 102, CITY OF TUCSON

117-06-268 0		306 S. 3rd Ave.	CH
117-06-269 0		340 E. 13th St.	CH
117-06-270 A		330 E. 13th St.	CH
117-06-271 0		318 E. 13th St.	CH
117-06-273 A		312 S. 3rd Ave.	CH
117-06-274 A		331-337 S. Railroad Ave.	CN
117-06-274 B		322-328 S. 3rd Ave.	NHNC
117-06-275 0		319 S. 4th Ave.	CH
		319 S. Railroad Ave.	CH
117-06-276 0		329 S. 4th Ave.	CH
117-06-277 0		330 S. 3rd Ave.	CH
117-06-278 0		340 S. 3rd Ave.	CH
117-06-279 0		337 S. 4th Ave.	CH
117-06-280 0		345 S. 4th Ave.	NHNC
117-06-281 0		344 S. 3rd Ave.	CH

BLOCK 107, CITY OF TUCSON

117-07-001 0		348 E. 14th St.	CH
117-07-002 0		340 E. 14th St.	CH
117-07-003 0		332 E. 14th St.	CH
117-07-004 0		330 E. 14th St.	CH
117-07-005 0		405 S. 4th Ave.	CH
		405-1/2 S. 4th Ave.	CH
117-07-006 0		417 S. 4th Ave.	CH
117-07-007 0		414 S. 3rd Ave.	CH

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8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-07-008 0		416-418 & 420-422 S. 3rd Ave.	CH
		417 S. Railroad Ave.	CH
117-07-009 0	Vacant		
117-07-010 0		427 S. 4th Ave.	CH
		429-431 S. Railroad Ave.	CH
117-07-011 0		428 S. 3rd Ave.	CH
117-07-012 0		438 S. 3rd Ave.	CH
117-07-013 0		333 E. 15th St.	CN
		443 S. Railroad Ave.	CH
117-07-014 0		445 S. 4th Ave.	CH
117-07-015 0		446 S. 3rd Ave.	CH

BLOCK 108, CITY OF TUCSON

117-07-017 0		406 S. 4th Ave.	CH
117-07-018 0		222 E. 14th St.	CH
117-07-019 0		220 E. 14th St.	CH
117-07-020 0		417 S. 5th Ave.	CH
117-07-021 0		414 S. 4th Ave.	CH
117-07-022 0		420 S. 4th Ave.	CH
117-07-023 0		419-421 S. 5th Ave.	CH
117-07-024 0		423 S. 5th Ave.	CH
		423 S. Herbert Ave.	CH
117-07-025 0		429 S. 5th Ave.	CH
		429-1/2 S. 5th Ave.	CH
117-07-026 0	Vacant		
117-07-027 0	Vacant		
117-07-028 0		441 S. 4th Ave.	CH
		225 E. 15th St.	CH
117-07-029 0		437-441 S. 5th Ave.	CH
117-07-030 0		219 E. 15th St.	CH
117-07-031 0		445 S. 5th Ave.	CH

BLOCK 109, CITY OF TUCSON

117-07-032 0		404-408 S. 5th Ave.	CH
117-07-033 0		138-140 E. 14th St.	CH
117-07-034 0		136 E. 14th St.	CH
117-07-035 0		126 E. 14th St.	CH
117-07-036 0		415-435 S. 6th Ave.	CH/CN
117-07-038 0		422 S. 5th Ave.	CH
117-07-041 0		422 S. Arizona Ave.	CH
117-07-042 0		424 S. Arizona Ave.	CH

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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-07-043 0		424-426 S. 5th Ave.	CH
		425 S. Arizona Ave.	CH
117-07-044 A		438 S. Arizona Ave.	CH
117-07-044 B		436 S. 5th Ave.	CH
117-07-047 0		115 E. 15th St.	CH
117-07-048 0		125-129 E. 15th St.	CH
117-07-049 0		460 S. 5th Ave.	CN

BLOCK 110, CITY OF TUCSON

117-07-050 0		502-506 S. 5th Ave.	CH
117-07-051 A		120 E. 15th St.	CH
117-07-052 A		505 S. 6th Ave.	CH
117-07-053 A		509 S. 6th Ave.	CH
117-07-054 0		508-512 S. 5th Ave.	CH
117-07-055 0		516 S. 5th Ave.	CH
117-07-056 0		522 S. 5th Ave.	CH
117-07-057 0		515 S. 6th Ave.	CH
117-07-058 0		521 S. 6th Ave.	CH
117-07-059 0		525 S. 6th Ave.	CH
117-07-060 0		530 S. 5th Ave.	CH
		530 S. Arizona Ave.	CH
117-07-061 0		534 S. 5th Ave.	CH
117-07-062 0		527-533 S. 6th Ave.	CH/NHNC
117-07-063 0		541 S. 6th Ave.	CH
117-07-064 0		115 E. 16th St.	CH
117-07-065 0		117-119 E. 16th St.	CH
117-07-066 0		543 S. 6th Ave.	CH
117-07-067 0		125 E. 16th St.	CH
117-07-068 0		544 S. 5th Ave.	CH

BLOCK 111, CITY OF TUCSON

117-07-069 0		502 S. 4th Ave.	CH
117-07-070 0		226 E. 15th St.	CH
117-07-071 A		220-222 E. 15th St.	CH
117-07-071 B		501 S. 5th Ave.	CN
117-07-072 0		515-517 S. 5th Ave.	CH
117-07-073 0		518-520 S. Herbert Ave.	CH
117-07-074 0		522 S. Herbert Ave.	CH
117-07-075 0		524 S. Herbert Ave.	CH
117-07-076 A		512 S. 4th Ave.	CH

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8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-07-076 B		509 S. Herbert Ave.	CH
117-07-077 0		516 S. 4th Ave.	CH
		525-527 S. Herbert Ave.	CH
117-07-078 0		520 S. 4th Ave.	CH
		529 S. Herbert Ave.	CH
117-07-079 0		526 S. Herbert Ave.	CH
117-07-080 0		530 S. Herbert Ave.	CH
117-07-081 0		521 S. 5th Ave.	CH
117-07-083 0		529 S. 5th Ave.	CH
117-07-084 0		530-532 S. 4th Ave.	CH
117-07-085 0		542-544 S. 4th Ave.	CH
117-07-086 0		535 S. 5th Ave.	CH
117-07-087 0		537 S. 5th Ave.	CH
117-07-088 0		545 S. 5th Ave.	CN
		209 E. 16th St.	CH
117-07-089 0		546 S. 4th Ave.	CH

BLOCK 112, CITY OF TUCSON

117-07-090 0		350 E. 15th St.	CN
117-07-091 0		330 E. 15th St.	CN
		505 S. 4th Ave.	CH
117-07-092 0		509-513 S. 4th Ave.	CH
117-07-093 A		512 S. 3rd Ave.	CN
117-07-095 A		521 S. 4th Ave.	CH
117-07-095 B	Vacant		
117-07-096 0		523-527 S. 4th Ave.	CH
		526 S. Railroad Ave.	CH
117-07-097 A		528 S. 3rd Ave.	CH
117-07-097 B		529 S. Railroad Ave.	CH
117-07-098 0		536 S. 3rd Ave.	CH
117-07-099 0		546 S. 3rd Ave.	CH
		333-335 & 337-339 E. 16th St.	CH
117-07-100 0		537 S. 4th Ave.	CH
117-07-101 0		545 S. 4th Ave.	CH

BLOCK 116, CITY OF TUCSON

117-07-103 0	Vacant		
117-07-104 0	Vacant		
117-07-105 0		424 E. 16th St.	CH
117-07-107 0		416 E. 16th St.	CH

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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
		620 S. Bean Ave.	CH
117-07-108 0		412 E. 16th St.	CH
117-07-109 0		408 E. 16th St.	CH
117-07-110 0		617 S. 3rd Ave.	CH
117-07-111 0		619 S. 3rd Ave.	CH
117-07-112 0		621 S. 3rd Ave.	CH
117-07-113 0		622 S. Bean Ave.	CH
117-07-114 0		628 S. 2nd Ave.	CH
117-07-115 0		627 S. 3rd Ave.	CH
117-07-116 0		632 S. 2nd Ave.	CH
117-07-117 0		640 S. 2nd Ave.	CH
117-07-118 0		417-419 E. 17th St.	CH
117-07-119 0		415 E. 17th St.	CH
117-07-120 0		641 S. 3rd Ave.	CH
117-07-121 0		645 S. 3rd Ave.	CH
117-07-122 0		425 E. 17th St.	CH/NHNC
117-07-123 0		648 S. 2nd Ave.	CH

BLOCK 117, CITY OF TUCSON

117-07-124 B		604 S. 3rd Ave.	CH
117-07-125 B		336 E. 16th St.	CH
117-07-126 0		334 E. 16th St.	CH
117-07-127 0		330 E. 16th St.	CH/NHNC
117-07-128 0		601-603 S. 4th Ave.	CH
117-07-129 0		605-607 S. 4th Ave.	CH
117-07-130 0		619 S. 4th Ave.	CH
117-07-131 A		606 S. Railroad Ave.	CH
117-07-132 0		614 S. 3rd Ave.	CH
117-07-133 0		620 S. 3rd Ave.	CH
117-07-134 0		622 S. Railroad Ave.	CH
117-07-135 A		621-623 S. 4th Ave.	CH
117-07-136 0		627-629 S. 4th Ave.	CH
		630 S. Railroad Ave.	CH
117-07-137 0		630 S. 3rd Ave.	CH
117-07-138 0		636-638 S. 3rd Ave.	CH
117-07-139 0		639 & 641-643 S. Railroad Ave.	CH
117-07-140 0		637 S. 4th Ave.	CH
		636 S. Railroad Ave.	CH
117-07-141 0		647 S. 4th Ave.	CH
117-07-142 0		646 S. 3rd Ave.	CH

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8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 118, CITY OF TUCSON</u>			
117-07-143 0		600 S. 4th Ave.	CH
117-07-144 0		230 E. 16th St.	CH
117-07-145 0		601 & 607 S. 5th Ave.	CH
		607-1/2 S. 5th Ave.	CH
		606 S. Herbert Ave.	CH
117-07-146 0		611 S. 5th Ave.	CH/CN
117-07-147 0		610 S. 4th Ave.	NHNC
117-07-148 0		620 S. 4th Ave.	CH/CN
117-07-149 0		619 S. 5th Ave.	CH
117-07-150 0		625 S. 5th Ave.	CH
117-07-151 0		629 S. 5th Ave.	CH
		627 S. Herbert Ave.	CH
117-07-152 0		630 S. 4th Ave.	CH
117-07-153 0		640 S. 4th Ave.	CH
117-07-154 0		233 E. 17th St.	CH
117-07-155 0		227 E. 17th St.	CH
117-07-156 0		631 S. 5th Ave.	CH
		636 S. Herbert Ave.	CH
117-07-157 A		643 S. 5th Ave.	CH
117-07-157 B		647 S. 5th Ave.	CH
117-07-158 0		215 E. 17th St.	CH
117-07-159 0		217 E. 17th St.	CH
117-07-160 0		650 S. 4th Ave.	CH
<u>BLOCK 119, CITY OF TUCSON</u>			
117-07-161 0		600 S. 5th Ave.	CH
117-07-162 0		120 E. 16th St.	CH
117-07-163 0		112-114 E. 16th St.	CH
117-07-164 0		603-605 S. 6th Ave.	CH
117-07-165 0		611 S. 6th Ave.	CH
117-07-166 0		612 S. 5th Ave.	CH
117-07-167 0		618 S. 5th Ave.	CH
117-07-168 0		620 S. 5th Ave.	CH
117-07-169 0		619 S. 6th Ave.	CN
		621 S. 6th Ave.	CH
		627 S. 6th Ave.	NHNC
117-07-170 0		617 S. 6th Ave.	NHNC
117-07-171 0		629 S. 6th Ave.	CH
117-07-172 0		632 S. 5th Ave.	CH/NHNC

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-07-173 0		634 S. 5th Ave.	CH
117-07-174 0		631-639 S. 6th Ave.	CH
		631 S. Arizona Ave.	CH
117-07-175 0		647 S. 6th Ave.	CH
117-07-176 0		106 E. 17th St.	CH
117-07-177 0		644 S. 5th Ave.	CH

BLOCK 122, CITY OF TUCSON

117-07-210 A		148 E. 17th St.	CH
117-07-211 C		140 E. 17th St.	CH
117-07-212 0		132 E. 17th St.	CN
117-07-213 0		105 E. 17th St.	CH
117-07-214 0		705 S. 6th Ave.	CH
		102 E. 17th St.	CH
117-07-215 0		707-709 S. 6th Ave.	CH
117-07-216 A		711 S. 6th Ave.	CN
117-07-218 0		720 S. 5th Ave.	I
117-07-222 0		725 S. 6th Ave.	NHNC
117-07-224 0		738 S. 5th Ave.	CH
117-07-225 0		735 S. 6th Ave.	CH
117-07-226 0		747 S. 6th Ave.	CH
117-07-227 0		742-744 S. 5th Ave.	CH

BLOCK 123, STARR'S RESUB, CITY OF TUCSON

117-07-285 0	Vacant		
117-07-286 0	Vacant		
117-07-287 0	Vacant		
117-07-288 0		218 E. 17th St.	CH
117-07-289 0		216 E. 17th St.	CH
117-07-290 0		212 E. 17th St.	CH
117-07-291 0		701-703 S. 5th Ave.	CH
117-07-292 0		715-717 S. 5th Ave.	CH
117-07-293 0		723 S. 5th Ave.	CH
117-07-294 0		724-728 S. Herbert Ave.	CH
117-07-295 0		730-734 S. Herbert Ave.	CH
117-07-296 0		725-729 S. 5th Ave.	CH
117-07-297 A	Vacant		
117-07-297 B		748 S. 4th Ave.	CN
117-07-298 A		731 S. 5th Ave.	CN
117-07-298 B		736 S. Herbert Ave.	CN

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-07-299 0		733 S. 5th Ave.	CH
		740-742 S. Herbert Ave.	CH
117-07-300 0	Vacant		
117-07-301 0		749 S. 5th Ave.	CH
117-07-302 0		215 E. 18th St.	CH
117-07-303 0		731-735 S. Herbert Ave.	NHNC
117-07-304 0		722 S. 4th Ave.	CH
117-07-305 0	Vacant		

BLOCK 124, CITY OF TUCSON

117-07-228 0		702 S. 3rd Ave.	CH
117-07-229 0		326 E. 17th St.	CH
117-07-230 0		320 E. 17th St.	CH/CN
117-07-231 0		300-310-316 E. 17th St.	CH
117-07-232 0	Easement		
117-07-233 0		714 S. 3rd Ave.	CH
117-07-234 0		720 S. 3rd Ave.	CH
117-07-235 0	Easement		
117-07-236 0		719 S. 4th Ave.	CH
117-07-237 0		727-729 S. 4th Ave.	CH
117-07-238 0		731 S. 4th Ave.	CH
117-07-239 0		731-733 S. Railroad Ave.	CH
117-07-240 0		728 S. 3rd Ave.	CH
117-07-241 0		732 S. 3rd Ave.	CH
117-07-242 0		736 S. 3rd Ave.	CH
117-07-243 0		742 S. 3rd Ave.	CH
117-07-244 0		741 S. 4th Ave.	CH
117-07-245 0		749 S. 4th Ave.	CH
117-07-246 0		321 E. 18th St.	CH
117-07-247 0		331 E. 18th St.	CH
117-07-248 0		337 E. 18th St.	CH
		744 S. 3rd Ave.	CH

BLOCK 125, CITY OF TUCSON

117-07-249 0		704 S. 2nd Ave.	CH
117-07-250 0		428 E. 17th St.	CH
117-07-251 0		426 E. 17th St.	CH
117-07-252 A		701 S. 3rd Ave.	CH
		404 E. 17th St.	CH
117-07-252 B		420-422 E. 17th St.	CH

CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-07-253 A		707-709 S. 3rd Ave.	CH
117-07-254 0	Vacant		
117-07-255 0		706 S. 2nd Ave.	CH
117-07-256 0		710 S. 2nd Ave.	CH
117-07-257 0		707-709 S. Bean Ave.	CH
117-07-258 A		715 S. 3rd Ave.	CH
117-07-258 B	Vacant		
117-07-259 0		720 S. 2nd Ave.	CH
117-07-260 0		730-732 S. 2nd Ave.	CN
		728 S. Bean Ave.	CN
117-07-261 0		727-729 S. 3rd Ave.	CH
117-07-262 0		733 S. 3rd Ave.	CH
117-07-263 0		741 S. 3rd Ave.	CH
		419 E. 18th St.	CH
		419-1/2 E. 18th St.	CH
117-07-264 0		435 E. 18th St.	I
117-07-267 0	Vacant		
117-07-268 0		415 E. 18th St.	CH

BLOCK 126, CITY OF TUCSON

117-07-271 0	Vacant		
117-07-272 0		516 E. 17th St.	CH
117-07-274 A		502 E. 17th St.	CH
117-07-275 0		707 S. 2nd Ave.	CH
117-07-276 0		717 S. 2nd Ave.	CH
117-07-277 0		721 S. 2nd Ave.	CH
117-07-279 0		731 S. Jacobus Ave.	CH
117-07-281 0		729 S. 2nd Ave.	CH
117-07-282 0		739 S. 2nd Ave.	CH
117-07-283 0		739 (Rear) S. 2nd Ave.	CH
117-07-284 0		749 S. 2nd Ave.	CH

BLOCK 127, CITY OF TUCSON

117-08-002 0		520 E. 18th St.	CH
117-08-003 0		516 E. 18th St.	CH
117-08-004 0		510 E. 18th St.	CH
117-08-005 0		502 E. 18th St.	CH
117-08-006 0		821 S. 2nd Ave.	CH
117-08-007 0		823 S. 2nd Ave.	CH
117-08-009 0		826 S. Jacobus Ave.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-08-010 0		825 S. 2nd Ave.	CH
117-08-011 0		831 S. 2nd Ave.	CH
		831 S. Jacobus Ave.	CH
117-08-012 0		519 E. 19th St.	CH
117-08-014 0		849 S. 2nd Ave.	CH

BLOCK 128, CITY OF TUCSON

117-08-016 0		802 S. 2nd Ave.	CH
117-08-017 A		430 E. 18th St.	CH
		430-1/2 E. 18th St.	CH
117-08-017 B		426-428 E. 18th St.	CH
117-08-018 0		420 E. 18th St.	CH
117-08-020 A		801 S. 3rd Ave.	CH
117-08-021 A		806 S. Bean Ave.	CH
117-08-021 C		807 S. 3rd Ave.	CH
117-08-022 0		815 S. Bean Ave.	CH
117-08-023 0		814 S. 2nd Ave.	CH
117-08-024 0		820 S. 2nd Ave.	CH
117-08-025 0		811 S. 3rd Ave.	CH
117-08-026 0		815 S. 3rd Ave.	CH
117-08-027 0		817 S. 3rd Ave.	CH/CN
117-08-028 0		826 S. 2nd Ave.	CH
117-08-029 0		838 S. 2nd Ave.	CH
117-08-030 0		821-825 S. 3rd Ave.	CH
117-08-031 0		837 S. 3rd Ave.	CH
117-08-032 0		419 E. 19th St.	CH
117-08-033 0		427 E. 19th St.	CH
117-08-034 0		846-848 S. 2nd Ave.	CH

BLOCK 129, CITY OF TUCSON

117-08-035 0		346 E. 18th St.	CH
117-08-036 0		342 E. 18th St.	CH
117-08-037 0		330 E. 18th St.	NHNC
117-08-038 0		320-322 E. 18th St.	CH
117-08-039 0		803-807 S. 4th Ave.	CH
117-08-040 0		811 S. 4th Ave.	CH
117-08-041 A		814 S. 3rd Ave.	CH
117-08-041 B		814 S. Railroad Ave.	CH
117-08-042 0		820 S. 3rd Ave.	CH
117-08-043 0		820 S. Railroad Ave.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-08-044 0		821 S. 4th Ave.	CH
117-08-045 0		825 S. 4th Ave.	CH
117-08-046 0		822 S. 3rd Ave.	CH
117-08-047 0		826 S. 3rd Ave.	CH
117-08-048 0		825 S. Railroad Ave.	CH
117-08-049 A		837 S. Railroad Ave.	CH
117-08-051 0		847-849 S. 4th Ave.	CN
117-08-052 0		365 E. 19th St.	CH
117-08-053 0		830 S. 3rd Ave.	CH

BLOCK 130, CITY OF TUCSON

117-08-054 0		802 S. 4th Ave.	CH
117-08-055 0		808 S. 4th Ave.	CH
117-08-056 0		222 E. 18th St.	CH
117-08-057 0		803 S. 5th Ave.	CH
117-08-058 0		813 S. 5th Ave.	CH
117-08-059 0		806 S. Herbert Ave.	CH
117-08-060 0		810 S. Herbert Ave.	CH
117-08-061 0		810 S. 4th Ave.	CH
117-08-062 0		812-814 S. 4th Ave.	CH
117-08-063 D		822 S. 4th Ave.	CH
117-08-064 0		812 S. Herbert Ave.	CH
117-08-065 0		819 S. 5th Ave.	CH
117-08-066 0		819-1/2 S. 5th Ave.	CH
117-08-067 A		818 S. Herbert Ave.	CH
117-08-068 0		827 S. Herbert Ave.	CH
117-08-069 0		824 S. 4th Ave.	CH
117-08-070 A		840 S. 4th Ave.	CH
117-08-071 0		840 S. Herbert Ave.	CH
117-08-072 A		821 S. 5th Ave.	CH
117-08-073 0		847 S. 5th Ave.	CH
117-08-074 0		215 E. 19th St.	CH
117-08-075 A		848 S. 4th Ave.	CH
117-08-075 B		848 S. 4th Ave.	CN

BLOCK 131, CITY OF TUCSON

117-08-076 0	Vacant		
117-08-081 0		812 S. 5th Ave.	CH
117-08-082 0		822 S. 5th Ave.	CH
117-08-083 0		818-820 S. Arizona Ave.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-08-087 0		827 S. Arizona Ave.	CH
117-08-088 0		828 S. 5th Ave.	CH
117-08-089 0		844 S. 5th Ave.	CH
117-08-092 0		850 S. 5th Ave.	CN

BLOCK 226, CITY OF TUCSON

117-13-174 0		204-214 S. Scott Ave.	CH
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BLOCK 231, CITY OF TUCSON

117-14-072 A		260 S. Scott Ave.	NHNC
117-14-073 B		31-33 & 35 E. McCormick St.	CH
117-14-078 A		330 S. Scott Ave.	CH
117-14-080 A		336-340 S. Scott Ave.	CH
117-14-083 0		344 S. Scott Ave.	CH
117-14-084 0		346 S. Scott Ave.	CH

BLOCK 232, CITY OF TUCSON

117-14-085 0		408 S. 6th Ave.	CH
117-14-086 0		40 E. 14th St.	CH
117-14-090 0		410 S. 6th Ave.	CH
117-14-091 0		35 E. 15th St.	CH
117-14-092 0		35 E. 15th St.	CH
117-14-094 0		385 S. Stone Ave.	CH
117-14-095 0		35 E. 15th St.	CH
117-14-096 0		35 E. 15th St.	CH
117-14-097 0		25 E. 15th St.	CH
117-14-098 0		23 E. 15th St.	CH
117-14-100 0		19 E. 15th St.	CH
117-14-101 0		417-419 S. Stone Ave.	CH

BLOCK 238, CITY OF TUCSON

117-14-200 0		502 S. 6th Ave.	CH
117-14-201 0		28 E. 15th St.	CH
117-14-202 0		24 E. 15th St.	CH
117-14-203 0		16 E. 15th St.	CH
117-14-204 0		443 S. Stone Ave.	CH
117-14-205 B		447 S. Stone Ave.	CH
117-14-207 0		512 S. Russell Ave.	CH

**CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-14-208 A		516 S. Russell Ave.	CH
117-14-209 0		512-514 S. 6th Ave.	CH
		511 S. Russell Ave.	CN
117-14-210 0		522 S. 6th Ave.	CH
117-14-211 0		521-523 S. Russell Ave.	CH
117-14-213 0		475 S. Stone Ave.	CH
		522 S. Russell Ave.	CH
117-14-215 0		526-528 S. 6th Ave.	CH
117-14-216 A		538 S. 6th Ave.	CN
		535 S. Russell Ave.	CN
117-14-220 0		545 S. Russell Ave.	CH
117-14-221 0		544 S. 6th Ave.	CH

BLOCK 258, CITY OF TUCSON

117-17-032 0		71 E. 13th St.	CH
117-17-033 0		36-39 E. 13th St.	CH
117-17-034 0		273 S. Scott Ave.	CH
117-17-035 0		277 S. Scott Ave.	CH
117-17-036 0		314 S. 6th Ave.	NHNC
		316 S. 6th Ave.	CH
117-17-037 0		324 S. 6th Ave.	CH
117-17-038 0		281-283 S. Scott Ave.	CH
117-17-039 0		285 S. Scott Ave.	CH
117-17-040 0		287 S. Scott Ave.	CH
		287-1/2 S. Scott Ave.	CH
117-17-041 0		334 S. 6th Ave.	CH
117-17-042 0		344 S. 6th Ave.	CH
117-17-043 0		346-348 S. 6th Ave.	CH
		81-83 E. 14th St.	CH
117-17-044 0		343 S. Scott Ave.	CH

BLOCK 259, CITY OF TUCSON

117-17-045 0		200 E. 13th St.	NHNC
117-17-046 0			I
117-17-047 0			I
117-17-048 0		307 S. 6th Ave.	CH
117-17-049 0		315 S. 6th Ave.	CN
117-17-050 0		321 S. 6th Ave.	CH
		320 S. Arizona Ave.	CH
117-17-052 0		333 S. 6th Ave.	I

**CITY OF TUCSON
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8.2.1 Armory Park Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-17-054 0		337 S. 6th Ave.	CH
117-17-055 0		345-347 S. 6th Ave.	CH
117-17-056 0		115 E. 14th St.	CH
117-17-057 0		117 E. 14th St.	CH

BLOCK 260, CITY OF TUCSON

117-17-058 0		220 S. 6th Ave. 220 S. 6th Ave.	CH/NHNC CH
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BLOCK 261, CITY OF TUCSON

117-07-059 0		200 (Block) S. 5th Ave.	CH
117-07-060 0		220 S. 5th Ave.	CN

8.2.2 Barrio Historico Historic District.

- A. Established: April 28, 1975, by Ordinance No. 4307.
Amended: August 7, 1995, by Ordinance No. 8555.
Amended: November 27, 1995, by Ordinance No. 8611.
- B. Boundaries and Location: The boundaries and location of the Barrio Historico Historic District are as designated on Map 2-2.
- C. List of **HISTORIC LANDMARK, CONTRIBUTING-HISTORIC (CH), CONTRIBUTING-NONHISTORIC (CN), NONCONTRIBUTING (NHNC), and INTRUSION (I).**

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
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BLOCK 120, CITY OF TUCSON

117-07-181 0		127 W. 17th St.	CH
117-07-182 0		129 W. 17th St.	CH
117-07-183 0		135 W. 17th St.	CH
117-07-184 0		141 W. 17th St.	CH
117-07-185 0	Vacant		
117-07-186 0		567 S. 8th Ave.	CH
117-07-187 0	Vacant		
117-07-188 0		708 S. Rubio Ave.	CH

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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 221, CITY OF TUCSON</u>			
117-13-072 0		357 W. Simpson St.	CH
117-13-095 B		354-356 S. Main Ave.	CH
117-13-097 0	Parking Lot		
117-13-098 0	El Tiradito Wishing Shrine	418 S. Main Ave.	LANDMARK
117-13-099 0		420 S. Main Ave.	CH
117-13-100 0		424 S. Main Ave.	CN
<u>BLOCK 228, CITY OF TUCSON</u>			
117-14-014 A		201-203 W. Cushing St.	NHNC
		310 S. Meyer Ave.	CN
117-14-015 0		384-388 S. Meyer Ave.	CH
117-14-017 0	Vacant		
117-14-019 0		207-211 W. Simpson St.	CH
117-14-020 0		319 W. Simpson St.	CH
117-14-022 0		373-381 S. Main Ave.	CH
117-14-023 0		361 S. Main Ave.	CH
117-14-024 0		351 S. Main Ave.	CH
<u>BLOCK 233, CITY OF TUCSON</u>			
117-14-102 0	Parking Lot		
117-14-103 0		340 S. Stone Ave.	NHNC
117-14-104 0		376 S. Stone Ave.	CH/CN
117-14-105 0		38-40 W. Cushing St.	CH
117-14-106 0	Parking Lot		
117-14-107 0		58 W. Cushing St.	CH
117-14-108 C		62-70 W. Cushing St.	CH
117-14-109 0		78 W. Cushing St.	CH
117-14-110 0		287-297 S. Convent Ave.	CH
117-14-111 0		305-307 S. Convent Ave.	CH
117-14-112 0		317 S. Convent Ave.	CH
117-14-113 0	Parking Lot		
117-14-114 0		69-91 W. Simpson St.	CH
117-14-116 0		63-65 W. Simpson St.	CH
117-14-117 0		53 W. Simpson St.	CH
117-14-118 0		43 W. Simpson St.	CH/CN
117-14-119 0		25 W. Simpson St.	CH

**CITY OF TUCSON
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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-14-120 0		388 S. Stone Ave.	CH
117-14-121 0		396 S. Stone Ave.	CH

BLOCK 234, CITY OF TUCSON

117-14-122 0		292-296 S. Convent Ave.	CH
117-14-125 0		310-314 S. Convent Ave.	CH
117-14-126 0		102 W. Cushing St.	CH
117-14-127 0	Parking Lot		
117-14-128 0		316-318 S. Convent Ave. 130 W. Cushing St.	CH/CN CN
117-14-129 0	Parking Lot		
117-14-130 0	Parking Lot		
117-14-131 0		198 W. Cushing St.	CH
117-14-132 0		363 S. Meyer Ave.	CH
117-14-134 0		371-379 S. Meyer Ave.	CH/CN
117-14-135 0	Vacant		
117-14-136 0		135-139 & 141-147 W. Simpson St.	CH
117-14-137 0		330-332 S. Convent Ave.	CH/CN
117-14-138 A		334-340 S. Convent Ave.	CN
117-14-141 0		101 W. Simpson St.	CH

BLOCK 235, CITY OF TUCSON

117-14-142 0	Vacant		
117-14-143 0	Vacant		
117-14-144 0	Vacant		
117-14-145 0	Vacant		
117-14-146 0		196 W. Simpson St.	CH
117-14-147 0	Parking Lot		
117-14-148 0	Parking Lot		
117-14-149 0	Parking Lot		
117-14-150 0		453 S. Main Ave.	CH
117-14-151 0		485 S. Main Ave.	CH
117-14-152 0		235 W. Kennedy St.	CH
117-14-153 0		221 W. Kennedy St.	CH
117-14-154 0	Vacant		
117-14-155 0	Vacant		

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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 236, CITY OF TUCSON</u>			
117-14-156 0		116 W. Simpson St.	CH
		364-370 S. Convent Ave.	CH
117-14-157 0		382 S. Convent Ave.	CH
117-14-158 0		136 W. Simpson St.	CH
117-14-159 0		150 W. Simpson St.	CH
117-14-160 0		415 S. Meyer Ave.	CH
117-14-161 0		417 S. Meyer Ave.	CN
117-14-162 A	Vacant		
117-14-163 A		447-449 S. Meyer Ave.	CH
117-14-164 0	Vacant		
117-14-165 0		155-157 W. Kennedy St.	CH
117-14-166 0		149 W. Kennedy St.	CH
117-14-167 A		396 S. Convent Ave.	CH/CN
117-14-167 C		394 S. Convent Ave.	CN
117-14-167 D		392 S. Convent Ave.	CN
117-14-169 0		145 W. Kennedy St.	CH
117-14-172 C		408 S. Convent Ave.	CH/CN
117-14-172 D		136 W. Kennedy St.	CN
117-14-174 0		418 S. Convent Ave.	CH
<u>BLOCK 237, CITY OF TUCSON</u>			
117-14-176 0		350 S. Stone Ave.	CH
117-14-177 0		454 S. Stone Ave.	NHNC
117-14-178 0		24-28 W. Simpson St.	CH
117-14-179 0		38 W. Simpson St.	CH
117-14-180 0		46 W. Simpson St.	CH
117-14-181 0		54-64 W. Simpson St.	CH
117-14-183 0		92 W. Simpson St.	CH
117-14-184 0		355 S. Convent Ave.	CH
117-14-185 0		371 S. Convent Ave.	CN
117-14-186 0		387-391 S. Convent Ave.	CH
117-14-187 A		391-395 S. Convent Ave.	CH
117-14-189 A		413 S. Convent Ave.	CN
117-14-191 A		89 W. Kennedy St.	NHNC
117-14-192 0	Vacant		
117-14-193 0		61 W. Kennedy St.	CH
117-14-194 0	Vacant		
117-14-195 0		59 W. Kennedy St.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-14-196 0		53 W. Kennedy St.	CH
117-14-197 0		49 W. Kennedy St.	CH
117-14-198 A		21-31 W. Kennedy St.	CH
117-14-199 A		482 S. Stone Ave.	CH
<u>BLOCK 240, CITY OF TUCSON</u>			
117-14-237 0		504 S. Stone Ave.	CH
117-14-239 0		34-38 W. Kennedy St.	CH
117-14-240 0		42 W. Kennedy St.	CH
117-14-241 0		46-48 W. Kennedy St.	CH
117-14-242 0	Vacant		
117-14-243 0		56 W. Kennedy St.	CH
117-14-245 0		60 W. Kennedy St.	CH
117-14-246 0		74 W. Kennedy St.	CH
117-14-247 0		78 W. Kennedy St.	CH/CN
117-14-248 A		86-92 W. Kennedy St.	CH
117-14-249 0		441-447 S. Convent Ave.	CN
117-14-250 A		501 S. Convent Ave.	CN
117-14-251 0		459 S. Convent Ave.	CH
117-14-252 A		463 S. Convent Ave.	CH
117-14-252 B		467 S. Convent Ave.	CH
117-14-253 0		469-471 S. Convent Ave.	CH
117-14-254 0		473-481 S. Convent Ave.	CH
117-14-255 0	Vacant		
117-14-256 0	Vacant		
117-14-264 0		499 S. Convent Ave.	CH
117-14-265 0		483 S. Convent Ave.	CH/CN
117-14-266 0		517 S. Convent Ave.	CH
117-14-267 0	Vacant		
117-14-268 0	Vacant		
117-14-269 0		519 S. Convent Ave.	CH
117-14-271 0		531 S. Convent Ave.	CH
117-14-273 0		116 W. 17th St.	CH
117-14-274 0		128 & 136 W. 17th St.	CH
117-14-275 0		503 S. Convent Ave.	CH
117-14-276 0		507 S. Convent Ave.	CH
117-14-277 0		44 W. 17th St.	CH/NHNC

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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 241, CITY OF TUCSON</u>			
117-14-283 0		436 S. Convent Ave.	CH
117-14-285 0		140 W. Kennedy St.	CH
117-14-286 0		150 W. Kennedy St.	CH
117-14-287 0		168 W. Kennedy St.	CH
		487 S. Meyer Ave.	CH
117-14-288 0		499 S. Meyer Ave.	CH
117-14-289 0		505 S. Meyer Ave.	CH
117-14-290 0	Vacant		
117-14-291 0		509-511 S. Meyer Ave.	CH
117-14-292 0		525 S. Meyer Ave.	CH
117-14-294 0		529 S. Meyer Ave.	CH
117-14-295 B		482-484 S. Convent Ave.	CH
117-14-296 0		492-494 S. Convent Ave.	CH
117-14-297 0		496 S. Convent Ave.	CH
117-14-298 B		500-502 S. Convent Ave.	CH
117-14-299 A		504-506 S. Convent Ave.	CH
117-14-300 0		551-557 S. Meyer Ave.	CH
117-14-301 0		555 S. Meyer Ave.	CH
117-14-303 0		541-545 S. Meyer Ave.	CH
117-14-307 B		180 W. 17th St.	CN
117-14-308 A		510 S. Convent Ave.	CH
117-14-309 0	Vacant		
<u>BLOCK 242, CITY OF TUCSON</u>			
117-14-312 0		486-498 S. Meyer Ave.	CH
117-14-313 0	Vacant		
117-14-314 0		517 & 529 S. Main Ave.	CH
117-14-315 0		531 S. Main Ave.	CH
117-14-318 0		537 S. Main Ave.	CH
117-14-319 0		541 S. Main Ave.	CH
117-14-320 0		579 S. Main Ave.	CH
117-14-321 0	Vacant		
117-14-322 0	Vacant		
117-14-325 0		589 S. Main Ave.	CN
		580 S. Ninth Ave.	CN
117-14-326 0	Vacant		
117-14-327 C		623 S. Main Ave.	CH
117-14-329 0		600 S. Meyer Ave.	CH
117-14-331 0		526 S. Ninth Ave.	CH

CITY OF TUCSON
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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-14-333 0		530 S. Ninth Ave.	CH
117-14-334 0	Vacant		
117-14-336 0	Vacant		
117-14-337 0		661 S. Main Ave.	CH
117-14-338 0		534 S. Ninth Ave.	CH
117-14-339 0	Vacant		
117-14-340 0	Vacant		
117-14-341 0	Vacant		
117-14-342 0		554 S. Meyer Ave.	CH
117-14-343 0	Vacant		
117-14-344 0		524 S. Meyer Ave.	CH
117-14-346 0		508-522 S. Meyer Ave.	CH
117-14-347 0	Vacant		
117-14-349 0	Vacant		
117-14-425 0	Vacant		
117-14-426 0		671 S. Ninth Ave.	CN
117-14-427 0		651 S. Ninth Ave.	CN
117-14-428 0		631 S. Ninth Ave.	CN
117-14-429 0		601 S. Ninth Ave.	CN
117-14-430 0		590 S. Ninth Ave.	CN
117-14-431 0	Vacant		
117-14-432 0		570 S. Ninth Ave.	CH
117-14-433 0		560 S. Ninth Ave.	CN
117-14-434 0	Common Area		

BLOCK 243, CITY OF TUCSON

117-14-350 0		440 S. Main Ave.	CH
117-14-351 0		448 S. Main Ave.	CH
117-14-352 0		530 S. Main Ave.	CN
117-14-353 0		562-564 S. Main Ave.	CH
117-14-354 B		570 S. Main Ave.	CH
117-14-384 0	Vacant		
117-14-385 0	Vacant		
117-14-386 0		582 S. Main Ave.	CH
		582 1&2 S. Main Ave.	CH
117-14-389 0		580 S. Main Ave.	CH
117-14-390 0	Vacant		
117-14-391 0		420 1&2 W. 17th St.	CN
117-14-395 0		460 W. 17th St.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 245, CITY OF TUCSON</u>			
117-14-358 0		630 S. Main Ave.	CH
117-14-359 0		664 S. Main Ave.	CH
117-14-360 0		668 S. Main Ave.	CH
117-14-361 0	Vacant		
117-14-362 0		372 W. 18th St.	CH
117-14-363 0		419 W. 18th St.	CH
117-14-364 0		416 W. 18th St.	CH
117-14-365 E		418 W. 18th St.	CH
117-14-367 0		438 W. 18th St.	CH
117-14-369 A		733 S. Osborne Ave.	CH
117-14-370 0	Vacant		
117-14-371 0	Vacant		
117-14-372 0	Vacant		
117-14-373 0		704 S. Osborne Ave.	CH/CN
117-14-374 0		449 W. 17th St.	CH
117-14-375 0		505 W. 17th St.	CH
117-14-376 0		706 S. Osborne Ave.	CN
117-14-377 0		708 S. Osborne Ave.	CH
117-14-378 0		715 S. 11th Ave.	CH
117-14-379 0		719 S. 11th Ave.	CH
117-14-380 0		730 S. Osborne Ave.	CH
117-14-381 0		732 S. Osborne Ave.	CH
117-14-382 0		734 S. Osborne Ave.	CH
117-14-383 A		508 W. 18th St.	CH
<u>BLOCK 246, CITY OF TUCSON</u>			
117-14-396 0		614 S. Meyer Ave.	CH
117-14-397 0	Vacant		
117-14-398 0	Vacant		
117-14-399 0		684 S. Meyer Ave.	CH
<u>BLOCK 247, CITY OF TUCSON</u>			
117-14-400 0		677-685 S. Meyer Ave.	CH
117-14-401 0		669 S. Meyer Ave.	CH
117-14-402 0	Vacant		
117-14-403 0	Vacant		
117-14-404 0		641 S. Meyer Ave.	CH
117-14-405 0		633 S. Meyer Ave.	CH

**CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-14-406 0		601-611 S. Meyer Ave.	CH
117-14-407 0		209-217 S. 8th Ave. 562 S. 8th Ave.	CH CH
117-14-410 0	Vacant		
117-14-413 0		600-610 S. 8th Ave.	CH
117-14-414 0	Vacant		
<u>BLOCK 7, SOUTHWESTERN ADDITION</u>			
117-18-054 0	Vacant		
117-18-055 0	Vacant		
117-18-056 0		403 S. El Paso Ave.	CH
117-18-057 0		437 S. El Paso Ave.	CH
117-18-058 0	Vacant		
117-18-060 A		340 W. Simpson St.	CH
117-18-061 0	Vacant		
117-18-062 0		421 S. El Paso Ave.	CN
117-18-063 0		350 W. Simpson St.	CH/NHNC
<u>BLOCK 8, SOUTHWESTERN ADDITION</u>			
117-18-064 0		546 W. Simpson St.	CH
117-18-065 0		440 W. Simpson St.	CH
117-18-066 0		438 W. Simpson St.	CH
117-18-067 0		426 W. Simpson St.	CH
117-18-068 0		430 W. Simpson St.	CH
117-18-069 0		416 W. Simpson St.	CH/CN
117-18-070 0		410 W. Simpson St.	CH
117-18-071 0		402 W. Simpson St.	CH
<u>BLOCK 1, BALL PARK SUBDIVISION</u>			
117-18-079 0		448 W. Rosales St.	CH
117-18-080 0	Vacant		
117-18-081 0	Vacant		
117-18-082 0		428 W. Rosales St.	CH
117-18-083 0	Vacant		
117-18-084 0		412 W. Rosales St.	CH
117-18-085 0		410 W. Rosales St.	CH
117-18-086 0		400 W. Rosales St.	CH

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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
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BLOCK 2, BALL PARK SUBDIVISION

117-18-087 0		442 S. El Paso Ave.	CH
117-18-088 0		409 W. Rosales St.	CH
117-18-089 0		411 W. Rosales St.	CH
117-18-090 0		427 W. Rosales St.	CH
117-18-091 0		429 W. Rosales St.	CH
117-18-092 0		431 W. Rosales St.	NHNC
117-18-093 0		433 W. Rosales St.	CH
117-18-094 0	Vacant		
117-18-095 0	Vacant		

BLOCK 1, ELYSIAN GROVE

117-19-001 0		400 W. Simpson St.	CH
117-19-003 0		408 W. Simpson St.	CH
117-19-005 0		420 S. Samaniego Ave.	CH
117-19-006 0		428 S. Samaniego Ave.	CH
117-19-007 0	Vacant		
117-19-008 0		521 S. Elias Ave.	CN
117-19-009 0	Vacant		
117-19-010 0	Vacant		
117-19-011 0		423 S. Elias Ave.	NHNC
117-19-012 0		427 S. Elias Ave.	CN
117-19-013 0		550 S. Samaniego Ave.	CH
117-19-014 0		552 S. Samaniego Ave.	CN
117-19-015 0		431 S. Elias Ave.	CN
117-19-017 0	Vacant		
117-19-020 A		441 S. Elias Ave.	CN
117-19-021 0		445 S. Elias Ave.	CH
117-19-022 0		560 S. Samaniego Ave.	CN
117-19-023 0		570 S. Samaniego Ave.	CN
117-19-025 0		449 S. Elias Ave.	CH

BLOCK 2, ELYSIAN GROVE

117-19-026 0		445 W. Simpson St.	CH/I
117-19-027 0		455 W. Simpson St.	CH
117-19-028 0		505 S. Otero Ave.	CN
117-19-029 0		412 S. Elias Ave.	CN
117-19-030 0		416 S. Elias Ave.	CH
117-19-031 0		511 S. Otero Ave.	CN

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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-19-032 0	Vacant		
117-19-033 0		436 S. Elias Ave.	CH
117-19-034 0	Vacant		
117-19-035 0		431 S. Otero Ave.	CN
117-19-036 0		455 S. Otero Ave.	CN
117-19-037 0		432 S. Elias Ave.	CH
117-19-038 0		434 S. Elias Ave.	CH
117-19-039 0		435 S. Otero Ave.	CN
117-19-040 0		439 S. Otero Ave.	CN
117-19-042 0		438 S. Elias Ave.	CH
117-19-043 0		445 S. Otero Ave.	CN
117-19-046 0		446 S. Elias Ave.	CH
117-19-047 0		529 S. Otero Ave.	CH

BLOCK 3, ELYSIAN GROVE

117-19-048 0	Vacant		
117-19-049 0	Vacant		
117-19-050 0	Vacant		
117-19-051 0	Vacant		
117-19-052 0		426 S. Otero Ave.	CH/CN
117-19-054 0		438 S. Otero Ave.	CH
117-19-056 0		452 S. Otero Ave.	CH
117-19-057 0		456 S. Otero Ave.	CH
117-19-058 0		460 S. Otero Ave.	CN

BLOCK 4, ELYSIAN GROVE

117-19-061 0	Vacant		
117-19-062 0		502 W. 17th St.	CH
117-19-063 0		506 W. 17th St.	CH
117-19-064 0		407 W. Carrillo St.	CH
117-19-065 0		415 W. Carrillo St.	CN
117-19-066 0		514A W. 17th St.	CH
117-19-067 0		514B W. 17th St.	CH
117-19-068 0		503 W. Carrillo St.	CH
117-19-069 0		525 W. Carrillo St.	CH
117-19-070 0		516 W. 17th St.	CH
117-19-071 0		516 W. 17th St.	CH
117-19-072 0	Vacant		
117-19-073 0		521 W. Carrillo St.	CH/CN
117-19-074 0		518 W. 17th St.	CH

**CITY OF TUCSON
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8.2.2 Barrio Historico Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-19-075 0		520 W. 17th St.	CH
117-19-076 0		531 W. Carrillo St.	CN
117-19-077 0		535 W. Carrillo St.	CH
117-19-078 0		534 W. 17th St.	CH
117-19-079 0		524 W. 17th St.	CH
117-19-080 0		537 W. Carrillo St.	CH
117-19-081 0		545 W. Carrillo St.	CN
117-19-082 0		538 W. 17th St.	CH

8.2.3 El Presidio Historic District.

- A. Established: February 24, 1975, by Ordinance No. 4328.
Amended: October 3, 1983, by Ordinance No. 5880.
Amended: June 12, 1995, by Ordinance No. 8520.
Amended: July 10, 1995, by Ordinance No. 8544.
Amended: August 7, 1995, by Ordinance No. 8555.
- B. Boundaries and Location: The boundaries and location of the El Presidio Historic District are as designated on Map 2-3.
- C. List of **HISTORIC LANDMARK, CONTRIBUTING-HISTORIC (CH), CONTRIBUTING-NONHISTORIC (CN), NONCONTRIBUTING (NHNC), and INTRUSION (I).**

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
116-19-044 A		402 N. Main Ave.	CH

BLOCK 6, GOLDSCHMIDT'S ADDITION

116-19-050 0		378 N. Main Ave.	CH
116-19-051 0		340 N. Main Ave.	CH
116-19-052 0		325 W. Franklin St.	CH
116-19-053 A		329 W. Franklin St.	CH
116-19-053 B		329 N. Granada Ave.	CN

BLOCK 11, GOLDSCHMIDT'S ADDITION

116-19-067 C		300 N. Main Ave.	CH
116-19-067 B		330 W. Franklin St.	I
116-19-068 0		343 W. Franklin St.	CH

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8.2.3 El Presidio Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
116-19-070 0		262 N. Main Ave.	CH/NHNC
116-19-072 0		252 N. Main Ave.	CH
116-19-074 0		233 N. Main Ave.	CH

BLOCK 172, CITY OF TUCSON

117-10-003 0		433 N. Main Ave.	CH
117-10-004 0		427 N. Main Ave.	CH
117-10-005 0		309 W. Sixth St.	CH
117-10-006 0		307 W. Sixth St.	CH
117-10-007 0	Vacant		
117-10-008 A		423-425 N. Main Ave.	CH
117-10-009 A		417-419 N. Main Ave.	CH
117-10-010 A		385 N. Main Ave.	CH
117-10-013 0		347 N. Main Ave.	CH
117-10-014 0		333-335 N. Main Ave.	CH
117-10-015 0		317-319 N. Main Ave.	CH
117-10-016 0		239-241 W. Franklin St.	CH
117-10-017 0		345-347 N. Meyer Ave.	CH
117-10-018 0		211-219 W. Franklin St.	CH
117-10-019 0		349-361 N. Meyer Ave.	CH
117-10-020 D	Easement		
117-10-020 E		365 N. Meyer Ave.	CH
117-10-020 F		369 N. Meyer Ave.	CH
117-10-022 A		373 N. Meyer Ave.	CH
117-10-023 A		385-387 N. Meyer Ave.	CH
117-10-024 B	Easement		
117-10-025 0	Vacant		
117-10-026 0		405 N. Court Ave.	CN
117-10-027 0		403 N. Court Ave.	CH
117-10-028 0		402 N. Meyer Ave.	CH
117-10-029 0		382-384 N. Meyer Ave.	CH
117-10-030 0		381 N. Court Ave.	NHNC
117-10-031 0		378-380 N. Meyer Ave.	CH
117-10-033 A		351-359 N. Court Ave.	CH
117-10-034 0		222-224 W. Franklin St.	CN
		326-340 N. Meyer Ave.	CH
117-10-035 0		337 N. Court Ave.	CH
117-10-036 0		333 N. Court Ave.	CH
117-10-138 0		405-411 N. Meyer Ave.	CH/CN
117-10-150 0	Vacant		

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8.2.3 El Presidio Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-10-151 0		360 N. Main Ave.	CN
117-10-152 0		350 N. Main Ave.	CN

BLOCK 176, CITY OF TUCSON

117-10-092 0		317 N. Court Ave.	CH
117-10-093 A		186-192 W. Franklin St.	CH
117-10-094 A		196-198 W. Franklin St.	CH
117-10-095 0	Vacant		
117-10-096 0		311 N. Court Ave.	CH
117-10-097 0		299 N. Court Ave.	CH
117-10-098 0		297 N. Court Ave.	CH
117-10-099 0		290 N. Meyer Ave.	CH
117-10-100 0	Vacant		
117-10-101 0		250 N. Meyer Ave.	NHNC
117-10-102 0		141 W. Council/261 N. Court	CH

BLOCK 177, CITY OF TUCSON

117-10-103 0		212 W. Franklin St.	CH
117-10-104 0		216 W. Franklin St.	CH
117-10-105 0		220 W. Franklin St.	CH
117-10-106 0		285-295 N. Meyer Ave.	CH
117-10-107 0		259 N. Meyer Ave.	CN
117-10-108 A		259 N. Meyer Ave.	CN
117-10-108 C		259 N. Meyer Ave.	CN
117-10-109 0		259 N. Meyer Ave.	CN
117-10-110 0		239 N. Meyer Ave.	CH
117-10-111 0		107 W. Washington St.	NHNC
117-10-112 0		115-117 W. Washington St.	CH
117-10-113 0		221-223 N. Main Ave.	CH
		135-137 W. Washington St.	CH
117-10-114 0		235-237 N. Main Ave.	CH
117-10-115 0		245 N. Main Ave.	CH
117-10-116 0		253-255 N. Main Ave.	CH
117-10-118 B		273 N. Main Ave.	CH
117-10-119 A		297 N. Main Ave.	CH/CN

BLOCK 178, CITY OF TUCSON

117-10-121 0		233-239 N. Court Ave.	CH
117-10-123 0		230-234 N. Meyer Ave.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.3 El Presidio Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-10-124 0		220 N. Meyer Ave.	CH
		77 W. Washington St.	CH
117-10-125 0		215 N. Court Ave.	NHNC

BLOCK 179, CITY OF TUCSON

117-10-130 0	Vacant		
117-10-131 0		15 W. Washington St.	CH
117-10-133 A		135 W. Council St.	CN
117-10-135 0		222 N. Court Ave.	CH
117-10-136 0		240 N. Court /134 W. Council	CH

BLOCK 181, CITY OF TUCSON

117-11-014 0	Vacant		
117-11-015 0	Vacant		
117-11-016 0	Vacant		
117-11-018 0		182 N. Court Ave.	CH
117-11-019 0		192-196 N. Court Ave.	CH
117-11-020 0		198-200 N. Court Ave.	CH
		38 W. Washington St.	CH

BLOCK 182, CITY OF TUCSON

117-11-021 0		201 N. Court Ave.	CN
		186 N. Meyer Ave.	CH

BLOCK 183, CITY OF TUCSON

117-11-024 0		195-199 N. Meyer	CH
117-11-025 0		100-108 W. Washington	CH
117-11-026 0	Vacant		
117-11-027 0		150 N. Main Ave.	CH
117-11-034 0		171-177 N. Court Ave.	CH
117-11-039 0	Vacant		
117-11-040 0	Vacant		
117-20-003 0		120 N. Main Ave.	CH
117-20-001 0		166 W. Alameda	NHNC
		166 W. Alameda	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.3 El Presidio Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 185, CITY OF TUCSON</u>			
116-19-042 0		216 N. Main Ave.	CH

8.2.4 Fort Lowell Historic District.

- A. Established: May 11, 1981, by Ordinance No. 5364.
Amended: January 11, 1982, by Ordinance No. 5495.
Amended: September 8, 1992, (as the result of annexation) by Ordinance No. 7902.
Amended: June 12, 1995, by Ordinance No. 8520.
- B. Boundaries and Location: The boundaries and location of the Fort Lowell Historic Preservation Zone are as designated on Map 2-4.
- C. List of **HISTORIC LANDMARK, CONTRIBUTING-HISTORIC (CH), CONTRIBUTING-NONHISTORIC (CN), NONCONTRIBUTING (NHNC), and INTRUSION (I).**

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>FORT LOWELL RD./BEVERLY AVE.</u>			
109-26-011 A	Vacant		
110-09-001 0		5302 E. Fort Lowell Rd.	CH/CN/I
110-09-003 D	Easement		
110-09-003 F	Mesquite Bosque/The Swale		
110-09-006 G	Vacant		
110-09-006 L		5479 E. Ft. Lowell Rd.	CH
110-09-006 K		5495 E. Ft. Lowell Rd.	CN
110-09-006 R		Undeveloped	
110-09-006 Q		3111 N. Craycroft Rd.	NHNC
110-09-006 D	Vacant		
110-09-008 0		5309 E. Ft. Lowell Rd.	CH
110-09-009 E		5333 E. Ft. Lowell Rd.	CH
110-09-009 F	El Callejon		
110-09-010 A		5329 E. Ft. Lowell Rd.	CH/CN
110-09-011 0		5343 E. Ft. Lowell Rd.	CH
110-09-012 B		5335 E. Ft. Lowell Rd.	NHNC

CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

8.2.4 Fort Lowell Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
110-09-013 0		5345 E. Ft. Lowell Rd.	CN
110-09-014 0		5341 E. Ft. Lowell Rd.	CH
110-09-015 0		5347 E. Ft. Lowell Rd.	CH
110-09-016 0		5351 E. Ft. Lowell Rd.	CH
110-09-017 B		5339 E. Ft. Lowell Rd.	CN
110-09-017 D	Vacant		
110-09-018 A		5349 E. Ft. Lowell Rd.	CH
110-09-018 B		5353 E. Ft. Lowell Rd.	CN
110-09-019 K		5433 E. Ft. Lowell Rd.	CN
110-09-019 D		5425 E. Ft. Lowell Rd.	CH
110-09-019 J	Vacant		
110-09-019 N	Vacant		
110-09-019 M		5329 E. Ft. Lowell Rd.	NHNC
110-09-020 0		3031 N. Craycroft Rd.	CH
110-09-021 0		5230 E. Ft. Lowell Rd.	CH
110-09-037 0	Vacant		
110-09-039 0		5354 E. Ft. Lowell Rd.	CH
110-09-040 0		5352 E. Ft. Lowell Rd.	CH
110-09-042 0		5344 E. Ft. Lowell Rd.	CH/CN
110-09-043 0		5349 E. Ft. Lowell Rd.	CH
110-09-044 0		5346 E. Ft. Lowell Rd.	CN
110-09-047 0		5328 E. Ft. Lowell Rd.	CN
110-09-048 0		5320 E. Ft. Lowell Rd.	CH/CN
110-09-049 B		2928 N. Beverly Ave.	CH
110-09-049 C		2930 N. Beverly Ave.	CH
110-09-049 D		2932 N. Beverly Ave.	CH
110-09-049 E		2932 N. Beverly Ave.	I
110-09-049 F	Vacant		
110-09-050 0		2920 N. Beverly Ave.	CH
110-09-055 0	Vacant		
110-09-057 A		5303 E. San Francisco Blvd.	CN
110-09-056 A		5313 E. San Francisco Blvd.	CN
110-09-058 0		2902 N. Beverly Ave.	CH/CN

LA SONRISA TOWNHOMES

110-09-390 0	Common Area		
110-09-362 0		5428 E. Francisco Loop	CN
110-09-363 0		5424 E. Francisco Loop	CN
110-09-364 A		5420 E. Francisco Loop	CN
110-09-365 0		5416 E. Francisco Loop	CN
110-09-366 0		5412 E. Francisco Loop	CN

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.4 Fort Lowell Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
110-09-367 0		5408 E. Francisco Loop	CN
110-09-368 0		5346 E. Francisco Loop	CN
110-09-369 0		5344 E. Francisco Loop	CN
110-09-370 0		5342 E. Francisco Loop	CN
110-09-371 0		5340 E. Francisco Loop	CN
110-09-372 0		5351 E. Francisco Loop	CN
110-09-373 0	Vacant		
110-09-374 A	Vacant		
110-09-375 A		5363 E. Francisco Loop	CN
110-09-376 0		5371 E. Francisco Loop	CN
110-09-377 0		5375 E. Francisco Loop	CN
110-09-378 0		5383 E. Francisco Loop	CN
110-09-379 0		5387 E. Francisco Loop	CN
110-09-380 0		5395 E. Francisco Loop	CN
110-09-381 0		5399 E. Francisco Loop	CN
110-09-382 0		5403 E. Francisco Loop	CN
110-09-383 0		5407 E. Francisco Loop	CN
110-09-384 0		5411 E. Francisco Loop	CN
110-09-385 0		5415 E. Francisco Loop	CN
110-09-386 0		5419 E. Francisco Loop	CN
110-09-387 0		5427 E. Francisco Loop	CN
110-09-388 0		5431 E. Francisco Loop	CN
110-09-389 0		5435 E. Francisco Loop	CN

BOSQUE RANCH

110-09-344 0	Common Area		
110-09-345 0	Common Area		
110-09-327 0		5301 E. Presidio Dr.	CN
110-09-328 0		5315 E. Presidio Dr.	CN
110-09-329 0		5329 E. Presidio Dr.	CN
110-09-330 0		5343 E. Presidio Dr.	CN
110-09-332 A		5375 E. Presidio Dr.	CN
110-09-331 0	Schantz Pool & Spa		
110-09-334 0	Vacant		
110-09-335 0		5415 E. Presidio Dr.	CN
110-09-336 0		5433 E. Presidio Dr.	CN
110-09-337 0		5441 E. Presidio Dr.	CN
110-09-339 C		5440 E. Presidio Dr.	CN
110-09-339 B		5432 E. Presidio Dr.	CN
110-09-340 0		5424 E. Presidio Dr.	CN

**CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

2.4 Fort Lowell Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
110-09-341 0		5416 E. Presidio Dr.	CN
110-09-342 A		5408 E. Presidio Dr.	CN

FORT LOWELL PARK

110-14-009 C	Vacant		
110-14-010 0		5669 E. Ft. Lowell Rd.	NHNC
110-14-011 G		5621 E. Ft. Lowell Rd.	CN
110-14-011 H		5611 E. Ft. Lowell Rd.	CN
110-14-011 J		5651 E. Ft. Lowell Rd.	CN
110-14-011 K	Vacant		
110-14-011 L		5601 E. Ft. Lowell Rd.	CN
110-14-011 M	Vacant		
110-14-012 C	Vacant		
110-14-013 B		5531 E. Ft. Lowell Rd.	CH
110-14-014 0	Vacant		
110-14-015 A	Fort Lowell Park		CH
110-14-016 B	Fort Lowell Park		CH

SAN MIGUEL TOWNHOMES

110-14-242 0		5565 E. Binghampton Dr.	CH
110-14-222 0		5521 E. Miles Circle	CN
110-14-223 0		5520 E. Miles Circle	CN
110-14-224 0		5530 E. Miles Circle	CN
110-14-225 0		5540 E. Miles Circle	CN
110-14-226 0		5550 E. Miles Circle	CN
110-14-227 0		5560 E. Miles Circle	CN
110-14-228 0		5570 E. Miles Circle	CN
110-14-229 0		5580 E. Miles Circle	CN
110-14-230 0		5590 E. Binghampton Dr.	CN
110-14-231 0		5600 E. Binghampton Dr.	CN
110-14-232 0		5610 E. Binghampton Dr.	CN
110-14-233 A		5620 E. Binghampton Dr.	CN
110-14-234 A		5630 E. Binghampton Dr.	CN
110-14-235 0		3070 N. Binghampton Pl.	CN
110-14-236 0		3080 N. Binghampton Pl.	CN
110-14-237 0		3090 N. Binghampton Pl.	CN

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District.

- A. Established: January 3, 1984, by Ordinance No. 5920.
Amended: July 10, 1995, by Ordinance No. 8544.
Amended: August 7, 1995, by Ordinance No. 8555.
Amended: November 27, 1995, by Ordinance No. 8611.
Amended: November 18, 1996, by Ordinance No. 8775.
- B. Boundaries and Location: The boundaries and location of the West University Historic Preservation Zone are as designated on Map 2-5.
- C. List of **HISTORIC LANDMARK, CONTRIBUTING-HISTORIC (CH), CONTRIBUTING-NONHISTORIC (CN), NONCONTRIBUTING (NHNC), and INTRUSION (I).**

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 1, CITY OF TUCSON</u>			
117-02-001 0		648 E. Speedway Blvd.	CH
117-02-002 0		642 E. Speedway Blvd.	CH
117-02-003 0		644 E. Speedway Blvd.	CH
117-02-004 0		632 E. Speedway Blvd.	CH
117-02-005 0		630 E. Speedway Blvd.	CH
117-02-006 0		616 E. Speedway Blvd.	CH
117-02-007 0		612 E. Speedway Blvd.	CH
117-02-009 0		1048 N. 2nd Ave.	CH
		1049 N. Jacobus Ave.	CH
117-02-010 0		1043 N. 1st Ave.	CH
		1043-1/2 N. 1st Ave.	CH
117-02-012 0		1023 N. 1st Ave.	CH
117-02-013 0		1046 N. 2nd Ave.	CH
117-02-014 0		1044 N. 2nd Ave.	CH
117-02-015 0		1027 N. 1st Ave.	CH
117-02-016 A		1017 N. 1st Ave.	CH
117-02-016 B		1018 N. Jacobus Ave.	CH
117-02-017 0		1019 N. Jacobus Ave.	CH
117-02-018 0		1038 N. 2nd Ave.	CH
117-02-019 0		1040 N. 2nd Ave.	CH
117-02-020 0		601 E. 1st St.	CH
117-02-021 0		615 E. 1st St.	CH
117-02-022 0		627 E. 1st St.	CH
117-02-023 0		629 E. 1st St.	CH
		1014-1016 N. Jacobus Ave.	CH
117-02-024 0		645 E. 1st St.	CH

CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 2, CITY OF TUCSON</u>			
117-02-027 0		1049 N. 2nd Ave.	CH
117-02-028 0		540-544 E. Speedway Blvd.	CH
117-02-029 0		530 E. Speedway Blvd.	CH
117-02-030 0		522 E. Speedway Blvd.	CH
117-02-031 0		518 E. Speedway Blvd.	CH
117-02-032 0		512-514 E. Speedway Blvd.	CH
117-02-033 0		504 E. Speedway Blvd.	CH
117-02-034 0		1044 N. 3rd Ave.	CH
117-02-035 0		1043 N. Bean Ave.	CH
117-02-036 0		1043-1045 N. 2nd Ave.	NHNC
		1048 N. Bean Ave.	CH
117-02-037 0		1033 N. 2nd Ave.	CH
117-02-038 0		1042 N. 3rd Ave.	CH
117-02-039 0		1024-1028 N. 3rd Ave.	CH
117-02-040 0		1025 N. 2nd Ave.	CH
117-02-041 B		1021 N. 2nd Ave.	NHNC
		1023 N. 2nd Ave.	CH
117-02-042 0		1019 N. Bean Ave.	NHNC
117-02-043 0		1022 N. 3rd Ave.	CH
117-02-044 0		501 E. 1st St.	NHNC
117-02-045 0		515 E. 1st St.	CH
117-02-046 0		519 E. 1st St.	CH
117-02-047 0		529 E. 1st St.	CH
117-02-048 0		537-539 E. 1st St.	CH
117-02-049 0		547-549 E. 1st St.	CH
<u>BLOCK 3, CITY OF TUCSON</u>			
117-02-050 0	Vacant		
117-02-051 0		436 E. Speedway Blvd.	CH
117-02-052 0		432 E. Speedway Blvd.	CH
117-02-053 0		420 E. Speedway Blvd.	CH
117-02-054 0		410 E. Speedway Blvd.	CH
117-02-055 0	Vacant		
117-02-056 0	Vacant		
117-02-057 0		1044 N. 4th Ave.	CH
117-02-058 0		1038 N. 4th Ave.	CH
117-02-059 0		1045 N. 3rd Ave.	CH/NHNC
117-02-060 0		1042 N. Hoff Ave.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-02-061 0		1037 N. 3rd Ave.	CH
117-02-062 0		1032 N. 4th Ave.	CH
117-02-063 0		1030 N. 4th Ave.	CH
117-02-064 0		1031-1035 N. 3rd Ave.	CH
117-02-065 0		1021 N. 3rd Ave.	CH
117-02-067 0		1002-1004 N. 4th Ave.	NHNC
117-02-068 0		425 E. 1st St.	CH
117-02-069 0		437 E. 1st St.	CH
117-02-070 0		439 E. 1st St.	CH

BLOCK 4, CITY OF TUCSON

117-02-073 0		346 E. Speedway Blvd.	CH
		346-1/2 E. Speedway Blvd.	CH
117-02-074 0		338 E. Speedway Blvd.	CH
117-02-075 0	Vacant		
117-02-076 0		320 E. Speedway Blvd.	CH
117-02-077 0		318 E. Speedway Blvd.	CH
117-02-078 0		316 E. Speedway Blvd.	CH
117-02-079 0		1042 N. 5th Ave.	CH
117-02-080 0		1045 N. 4th Ave.	CH
117-02-081 0		1041 N. 4th Ave.	CH
117-02-082 0		1033 N. 4th Ave.	CH
117-02-083 0		1026 N. 5th Ave.	CH
		1025 N. Herbert Ave.	CH
117-02-084 0		1010 N. 5th Ave.	NHNC
117-02-085 A		1025 N. 4th Ave.	CH
117-02-086 A		1011-1019 N. 4th Ave.	NHNC
117-02-088 0		309 E. 1st St.	CH
117-02-090 0		315 E. 1st St.	CH
117-02-091 0		317 E. 1st St.	CH
117-02-092 0		341 E. 1st St.	CH

BLOCK 5, CITY OF TUCSON

117-02-094 C		220 E. Speedway Blvd.	CH
117-02-097 A	Vacant		
117-02-099 B		202 E. Speedway Blvd.	NHNC
117-02-100 A	Parking Lot		
117-02-101 0		1045 N. 5th Ave.	CH
117-02-102 0		1035 N. 5th Ave.	CH

**CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-02-103 0	Parking Lot		
117-02-104 B		1010-1030 N. 6th Ave.	NHNC
117-02-105 0		1029 N. 5th Ave.	CH
117-02-106 0		1015 N. 5th Ave.	CH
117-02-108 0		1006 N. 6th Ave.	CH
117-02-109 0		1007 N. 5th Ave.	CH
117-02-110 0		1003 N. 5th Ave.	CH/CN
117-02-111 0		225-227 E. 1st St.	CH
117-02-112 0		1004 N. 6th Ave.	CH

BLOCK 6, CITY OF TUCSON

117-02-116 0		118-120 E. Speedway Blvd.	NHNC
117-02-117 0		110 E. Speedway Blvd.	CH
117-02-118 0		102 E. Speedway Blvd.	NHNC
117-02-119 0		1040-1044 N. 7th Ave.	NHNC
117-02-120 A		1039 N. 6th Ave.	CH
117-02-121 0		1034 N. 7th Ave.	CH
117-02-122 0		1018 N. 7th Ave.	CH
117-02-124 0		1007 N. 6th Ave.	CH
117-02-125 0		1014 N. 7th Ave.	CH
117-02-126 0		1010 N. 7th Ave.	CH
117-02-127 0		105 E. 1st St.	CH
117-02-128 0		115 E. 1st St.	CH
117-02-129 0		119 E. 1st St.	CH
117-02-130 0		127-129 E. 1st St.	CH
117-02-131 0		1005 N. 6th Ave.	CH
117-02-132 0		1001 N. 6th Ave.	CH
117-02-412 0		1011-1017 N. 6th Ave.	CH/NHNC

BLOCK 7, CITY OF TUCSON

117-02-133 A	De Anza Park		CH
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BLOCK 16, CITY OF TUCSON

117-02-195 0		48 E. 1st St.	CH
117-02-196 0		30-32 E. 1st St.	CH
117-02-197 0		939 N. 7th Ave.	CH
117-02-200 0		935 N. 7th Ave.	CH
117-02-201 0		925-933 N. 7th Ave.	I

CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-02-204 0		921 N. 7th Ave.	CH
117-02-205 0		917 N. 7th Ave.	CH
117-02-206 0		911 N. 7th Ave.	CH
117-02-207 B		909 N. 7th Ave.	CH
117-02-208 0		29 E. 2nd St.	CH
117-02-211 A		901 N. 7th Ave.	CH

BLOCK 17, CITY OF TUCSON

117-02-212 0		947-949 N. 6th Ave.	CH
117-02-213 0		941 N. 6th Ave.	CH
117-02-214 0		118 E. 1st St.	CH
117-02-215 0		112 E. 1st St.	CH
117-02-216 0		102 E. 1st St.	CH
117-02-217 0		936 N. 7th Ave.	CH
117-02-218 0		930 N. 7th Ave.	NHNC
117-02-219 0		937-939 N. 6th Ave.	CH
117-02-220 0		935 N. 6th Ave.	CH
117-02-221 0		933 N. 6th Ave.	CH/CN
117-02-223 0		103 E. 2nd St.	CH
117-02-224 0		105-113 E. 2nd St.	I
117-02-225 0		121 E. 2nd St.	CH
117-02-226 0		127 E. 2nd St.	CH
117-02-227 0		911 N. 6th Ave.	CH
117-02-228 0		901 N. 6th Ave.	CH

BLOCK 18, CITY OF TUCSON

117-02-229 B		945 N. 5th Ave.	CH
117-02-230 0		950 N. 6th Ave.	CH/CN
117-02-231 0		932-944 N. 6th Ave.	NHNC
117-02-232 0		937 N. 5th Ave.	CH
117-02-233 0		931 N. 5th Ave.	CH
117-02-234 0		924 N. 6th Ave.	CH
117-02-235 0		920 N. 6th Ave.	CH
117-02-236 0		919 N. 5th Ave.	CH
117-02-237 0		907 N. 5th Ave.	CH
117-02-238 0		219 E. 2nd St.	CH
117-02-239 0		211 E. 2nd St.	CH
117-02-240 0		203 E. 2nd St.	CH
117-02-241 0		903 N. 5th Ave.	CH

CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
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BLOCK 19, CITY OF TUCSON

117-02-242 0	Catalina/Northside Park		CH
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BLOCK 20, CITY OF TUCSON

117-02-243 0		446 E. 1st St.	CH
117-02-244 0		438-444 E. 1st St.	NHNC
117-02-245 0		434 E. 1st St.	CH
117-02-246 0		424 E. 1st St.	CH
117-02-247 0		944 N. 4th Ave.	CH
117-02-248 0		940 N. 4th Ave.	CH
117-02-252 0		929 N. 3rd Ave.	CH
117-02-253 0		929 N. Hoff Ave.	CH
117-02-254 0		925 N. 3rd Ave.	CH
117-02-255 0		915-917 N. Hoff Ave.	CH
117-02-258 0		922 N. Hoff Ave.	CH
117-02-259 0		917 N. 3rd Ave.	CH
117-02-260 0		907 N. 3rd Ave.	CH
117-02-261 0		425 E. 2nd St.	CH
117-02-262 0		415 E. 2nd St.	CH
117-02-263 0		407 E. 2nd St.	CH
117-02-265 0		910 N. 4th Ave.	CH
117-02-266 0		904 N. 4th Ave.	CH
117-02-268 0		901 N. 3rd Ave.	CH

BLOCK 21, CITY OF TUCSON

117-02-269 0		939 N. 2nd Ave.	CH
117-02-271 0		532 E. 1st St.	CH
117-02-272 0		530 E. 1st St.	CH
117-02-273 0		518 E. 1st St.	CH
117-02-274 A		512-514 E. 1st St.	CH
117-02-275 A		502 E. 1st St.	CH
117-02-276 0		924-926 N. 3rd Ave.	CH
117-02-277 0		927 N. 2nd Ave.	CH
		927-1/2 N. 2nd Ave.	CH
117-02-278 0		921-923 N. 2nd Ave.	CH
117-02-279 0		920 N. 3rd Ave.	CH
117-02-280 0		503 E. 2nd St.	CH
117-02-281 0		509 E. 2nd St.	CH
117-02-282 0		515 E. 2nd St.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
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8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-02-283 0		521 E. 2nd St.	CH
117-02-284 0		525-529 E. 2nd St.	CH
117-02-285 0		543-545 E. 2nd St.	CH
117-02-286 0		911 N. 2nd Ave.	CH
117-02-287 0		909 N. 2nd Ave.	CH
		547-549 E. 2nd St.	CH

BLOCK 22, CITY OF TUCSON

117-02-288 0		642 E. 1st St.	CH
117-02-289 0		638 E. 1st St.	CH
117-02-290 0		630 E. 1st St.	CH
117-02-291 0		620 E. 1st St.	CH
117-02-292 0		612 E. 1st St.	CH
117-02-293 0		604 E. 1st St.	CH/CN
117-02-295 0		927 N. 1st Ave.	CH
117-02-296 0		921 N. 1st Ave.	CH
117-02-297 0		928 N. 2nd Ave.	CH
117-02-298 0		914-918 N. 2nd Ave.	CH
		601-605 E. 2nd St.	CH
117-02-299 0		615 E. 2nd St.	CH
117-02-300 0		623 E. 2nd St.	CH
117-02-301 0		901 N. 1st St.	I

BLOCK 23, CITY OF TUCSON

117-03-001 0		646 E. 2nd St.	CH
		845 N. 1st Ave.	CH
117-03-002 0		837 N. 1st Ave.	CH
117-03-003 0		642 E. 2nd St.	CH
117-03-004 0		636-638 E. 2nd St.	CH
117-03-005 0		630 E. 2nd St.	CH
117-03-010 0		819 N. 1st Ave.	I
117-03-015 0	Vacant		
117-03-016 0	Vacant		
117-03-017 0		645 E. University Blvd.	CH

BLOCK 24, CITY OF TUCSON

117-03-018 0		550 E. 2nd St.	CH
		847-849 N. 2nd Ave.	CH

**CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-03-019 0		534-538 E. 2nd St.	CH
117-03-020 0		528 E. 2nd St.	CH
117-03-021 0		522 E. 2nd St.	CH
117-03-022 0		512 E. 2nd St.	CH
117-03-023 0		502 E. 2nd St.	CH
117-03-024 0		832 N. 3rd Ave.	CH
117-03-025 0		827 N. Bean Ave.	CH
117-03-026 0		833 N. 2nd Ave.	CH
		830 N. Bean Ave.	CH
117-03-027 0		825 N. 2nd Ave.	CH
		822 N. Bean Ave.	CH
117-03-028 0		820 N. 3rd Ave.	CH
117-03-029 0		503 E. University Blvd.	CH
117-03-030 0		509 E. University Blvd.	CH
117-03-031 0		521 E. University Blvd.	CH
117-03-032 0		535 E. University Blvd.	CH
117-03-033 0		541 E. University Blvd.	CH
117-03-034 0		545 E. University Blvd.	CH

BLOCK 25, CITY OF TUCSON

117-03-035 0		448 E. 2nd St.	CH
117-03-036 0		438 E. 2nd St.	CH
117-03-037 0		434 E. 2nd St.	CH
117-03-038 A		415 E. University Blvd.	I
117-03-042 0		827-829 N. 3rd Ave.	CH
117-03-048 0		435-437 E. University Blvd.	CH
117-03-049 0		439-441 E. University Blvd.	CH
117-03-050 0		445 E. University Blvd.	CH
117-03-374 0		800 N. 4th Ave.	NHNC

BLOCK 26, CITY OF TUCSON

117-03-051 0		845 N. 4th Ave.	CH
117-03-052 0		314 E. 2nd St.	CH
117-03-053 0		312 E. 2nd St.	CH
117-03-055 0		826 N. 5th Ave.	CH
117-03-057 0		827 N. 4th Ave.	CH
117-03-058 0		305 E. University Blvd.	CH
117-03-059 0		307 E. University Blvd.	CH
117-03-060 0		819 N. 4th Ave.	CH

**CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-03-061 0		329 E. University Blvd.	CH
117-03-062 0		339 E. University Blvd.	CH
117-03-063 0		345 E. University Blvd.	CH
		345-1/2 E. University Blvd.	NHNC

BLOCK 27, CITY OF TUCSON

117-03-064 0		248 E. 2nd St.	CH
117-03-065 0		236 E. 2nd St.	CH
117-03-066 0		224 E. 2nd St.	CH
117-03-067 0		200-210 E. 2nd St.	CH
117-03-068 0		836 N. 6th Ave.	CH
117-03-069 B		829 N. 5th Ave.	CH
117-03-070 0		825-827 N. 5th Ave.	CH
117-03-071 0		828 N. 6th Ave.	CH
117-03-072 0		820 N. 6th Ave.	CH
117-03-073 0		811-819 N. 5th Ave.	CH
		245 E. University Blvd.	CH
117-03-074 0		239-243 E. University Blvd.	CH
117-03-075 0		237 E. University Blvd.	CH
117-03-076 0		215 E. University Blvd.	CH
117-03-077 0		207 E. University Blvd.	CH
117-03-078 0		205 E. University Blvd.	CH

BLOCK 28, CITY OF TUCSON

117-03-079 0		835 N. 6th Ave.	I
117-03-080 0		122 E. 2nd St.	CH
		122-1/2 E. 2nd St.	CH
117-03-081 0		116 E. 2nd St.	CH
		116-1/2 E. 2nd St.	CH
117-03-082 0		110 E. 2nd St.	CH
117-03-083 0		104 E. 2nd St.	CH
117-03-084 C		830 N. 7th Ave.	CH
117-03-088 0		826 N. 7th Ave.	CH
117-03-090 0	Vacant		
117-03-091 0		145 E. University Blvd.	CH
117-03-387 0		101 E. University Blvd.	NHNC

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 29, CITY OF TUCSON</u>			
117-03-093 0		837 N. 7th Ave.	CH
117-03-094 0		833 N. 7th Ave.	CH
117-03-095 0		829 N. 7th Ave.	CH
117-03-096 0		26-28 E. 2nd St.	CH
117-03-102 0		823-827 N. 7th Ave.	CH
117-03-109 A		25 E. University Blvd.	CH
117-03-110 0		27 E. University Blvd.	CH
117-03-111 0		35 E. University Blvd.	CH
<u>BLOCK 38, CITY OF TUCSON</u>			
117-03-255 0	Vacant		
117-03-260 0		737-741 N. 7th Ave.	CH
117-03-264 0		717 N. 7th Ave.	CH
117-03-265 0	Vacant		
117-03-268 0		25-27 E. 4th St.	CH
117-03-269 0		29 E. 4th St.	CH
<u>BLOCK 39, CITY OF TUCSON</u>			
117-03-271 0		144 E. University Blvd.	CH
117-03-272 0		128 E. University Blvd.	CH
117-03-273 0		130 E. University Blvd.	CH
117-03-274 0		110-116 E. University Blvd.	CH
117-03-275 0		102 E. University Blvd.	CH
117-03-276 0		737 N. 6th Ave.	CH
117-03-277 0		729 N. 6th Ave.	CH
117-03-278 0		728 N. 7th Ave.	CH
117-03-279 0		720 N. 7th Ave.	CH
117-03-281 0		711 N. 6th Ave.	NHNC
117-03-282 0		712 N. 7th Ave.	CH
117-03-283 0		123 E. 4th St.	NHNC
117-03-284 A		705 N. 6th Ave.	CH
117-03-284 B		131-133 E. 4th St.	CH
<u>BLOCK 40, CITY OF TUCSON</u>			
117-03-285 0		246-248 E. University Blvd. 741 N. 5th Ave.	CH CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-03-286 0		240-244 E. University Blvd.	CH
117-03-287 0		228-232 E. University Blvd.	CH
		731 N. Arizona Ave.	CH
		731-1/2 N. Arizona Ave.	CH
117-03-288 0		226 E. University Blvd.	CH
117-03-289 0		202-212 E. University Blvd.	CH
		720 N. 6th Ave.	CN
117-03-291 0		725-727 N. 5th Ave.	CH
		728 & 730-731 N. Arizona Ave.	CH
117-03-295 0		723 N. 5th Ave.	CH
117-03-296 0	Vacant		
117-03-297 0		237 E. 4th St.	CH
117-03-298 0		710 N. 6th Ave.	CH
117-03-299 0		245 E. 4th St.	CH
117-03-300 0		225 E. 4th St.	CH
117-03-302 0		702 N. 6th Ave.	CH

BLOCK 41, CITY OF TUCSON

117-03-304 0		733-745 N. 4th Ave.	NHNC
117-03-305 A		330 E. University Blvd.	CH
117-03-305 B	Parking Lot		
117-03-306 0		300 E. University Blvd.	CH
117-03-309 0	Parking Lot		
117-03-310 0		311 E. 4th St.	CH
117-03-312 0	Parking Lot		
117-03-313 0		347 E. 4th St.	CH
117-03-314 0		335 E. 4th St.	CH
117-03-315 0		327 E. 4th St.	CH
117-03-316 0		319 E. 4th St.	CH
117-03-317 0		301 E. 4th St.	CH

BLOCK 42, CITY OF TUCSON

117-03-318 0		444 E. University Blvd.	CH
117-03-319 0		400 E. University Blvd.	CH
117-03-321 0		740 N. 4th Ave.	CH
117-03-324 A		721 N. 3rd Ave.	CH
117-03-325 0		445 E. 4th St.	CH
117-03-326 0	Vacant		
117-03-327 0	Vacant		
117-03-328 0		411-413 E. 4th St.	CH

CITY OF TUCSON
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8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 43, CITY OF TUCSON</u>			
117-03-331 0		548 E. University Blvd.	CH
117-03-332 0		536 E. University Blvd.	CH
117-03-333 0		532 E. University Blvd.	CH
117-03-334 0		528 E. University Blvd.	CH
117-03-335 0		518 E. University Blvd.	CH
117-03-336 0		516 E. University Blvd.	CH
117-03-337 0		512 E. University Blvd.	CH
117-03-338 0		502 E. University Blvd.	CH/NHNC
117-03-339 0		728 N. 3rd Ave.	CH
117-03-340 0		728 N. Bean Ave.	CH
117-03-341 0		727 N. 2nd Ave.	CH
		727 N. Bean Ave.	CH
117-03-342 0		721-725 N. 2nd Ave.	CH
117-03-343 0		722 N. 3rd Ave.	CH
117-03-346 0		519 E. 4th St.	CH
117-03-347 0		529 E. 4th St.	CH
117-03-348 0		533 E. 4th St.	CH
117-03-349 0		539 E. 4th St.	CH
117-03-350 0		547 E. 4th St.	CH
		701 N. 2nd Ave.	CH
<u>BLOCK 44, CITY OF TUCSON</u>			
117-03-351 0	Vacant		
117-03-352 0		638 E. University Blvd.	CH
117-03-353 0		632 E. University Blvd.	CH
117-03-354 0		620 E. University Blvd.	CH
117-03-355 0		616 E. University Blvd.	CH
117-03-356 0		610 E. University Blvd.	CH
117-03-357 0		604 E. University Blvd.	CH
117-03-358 0		730-732 N. 2nd Ave.	CH
117-03-359 0		726 N. Jacobus Ave.	CH
117-03-361 A	Vacant		
117-03-362 0	Vacant		
117-03-363 0		724 N. 2nd Ave.	CH
117-03-364 0		605 E. 4th St.	CH
117-03-365 0		611 E. 4th St.	CH
117-03-366 0		617 E. 4th St.	CH

CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-03-367 0		623 E. 4th St.	CH
117-03-368 0		629 E. 4th St.	CH
117-03-369 0		635 E. 4th St.	CH
117-03-370 0		641 E. 4th St.	CH
117-03-371 0		645 E. 4th St.	CH

BLOCK 45, CITY OF TUCSON

117-04-001 0		644 E. 4th St.	CH
		644 Rear E. 4th St.	CH
		628 E. 4th St.	CH
117-04-003 0		632 E. 4th St.	CH
117-04-004 0		626 E. 4th St.	CH
117-04-005 0		620 E. 4th St.	CH
117-04-006 0		614 E. 4th St.	CH
117-04-007 0		608 E. 4th St.	CH
117-04-008 0		602 E. 4th St.	CH
117-04-009 0		600-632 N. 2nd Ave.	CH
117-04-010 0		642 N. Jacobus Ave.	CH
117-04-011 0		633 N. 1st Ave.	CH
117-04-012 0		621 N. 1st Ave.	CH
117-04-013 0		632 N. Jacobus Ave.	CH
117-04-014 0		610 N. 2nd Ave.	CH
117-04-015 0		607 E. 5th St.	CH
117-04-016 0		611 E. 5th St.	CH
117-04-017 0		615 E. 5th St.	CH
117-04-018 0		619 E. 5th St.	CH
117-04-019 0		629 E. 5th St.	CH
117-04-020 0		637 E. 5th St.	CH
117-04-021 0		649 E. 5th St.	CH

BLOCK 46, CITY OF TUCSON

117-04-022 0		528 E. 4th St.	CH
117-04-023 0		526 E. 4th St.	CH
117-04-024 0		524 E. 4th St.	CH
117-04-025 0		522 E. 4th St.	CH
117-04-026 0		520 E. 4th St.	CH
117-04-027 0		510 E. 4th St.	CH
117-04-028 0		502 E. 4th St.	CH
117-04-029 0		624-628 N. 3rd Ave.	CH
117-04-030 0		633 N. 2nd Ave.	CH

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8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-04-031 0		631 N. 2nd Ave.	CH
117-04-032 0		620 N. 3rd Ave.	CH
117-04-033 0		614 N. 3rd Ave.	CH
117-04-034 0		501-503 E. 5th St.	CH
117-04-035 0		505 E. 5th St.	CH
117-04-036 0		513 E. 5th St.	NHNC
		601-605 N. Bean Ave.	NHNC
117-04-037 0		527 E. 5th St.	CH
117-04-038 0		531 E. 5th St.	CH
117-04-039 0		547 E. 5th St.	CH

BLOCK 47, CITY OF TUCSON

117-04-040 0		635 N. 3rd Ave.	CH
117-04-041 0		432 E. 4th St.	CH
117-04-042 0		426-428 E. 4th St.	CH
117-04-043 0		420 E. 4th St.	CH
117-04-044 0		412 E. 4th St.	CH
117-04-045 0		402 E. 4th St.	CH
117-04-046 0		636 N. 4th Ave.	CH
117-04-047 0		634 N. 4th Ave.	CH
117-04-048 0		623 N. 3rd Ave.	CH
117-04-049 0		630 N. 4th Ave.	CH
117-04-050 0		628 N. 4th Ave.	CH/NHNC
117-04-053 0		621 N. 3rd Ave.	CH
117-04-054 0		615 N. 3rd Ave.	CH
117-04-055 0		609 N. 3rd Ave.	CH
117-04-056 0		425-427 E. 5th St.	CH
117-04-059 0		603 N. 3rd Ave.	CH

BLOCK 48, CITY OF TUCSON

117-04-060 0		342 E. 4th St.	CH
117-04-061 0		332 E. 4th St.	CH
117-04-062 0		326 E. 4th St.	CH
117-04-063 0		320 E. 4th St.	CH
117-04-064 0		312 E. 4th St.	CH
117-04-066 0		643 N. 4th Ave.	CH
117-04-067 0		628-630 & 632 N. Herbert Ave.	CH
117-04-068 0		628 N. 5th Ave.	CH
117-04-069 0		624 N. 5th Ave.	CH
117-04-070 0		620 N. 5th Ave.	CH

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<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-04-074 0		331 E. 5th St.	CH
117-04-075 0		317-321 E. 5th St.	CH
117-04-077 0		307 E. 5th St.	CH
117-04-078 A		614 N. 5th Ave.	CH

BLOCK 49, CITY OF TUCSON

117-04-079 0		242 E. 4th St.	CH
117-04-080 0		234 E. 4th St.	CH
117-04-081 0	Parking Lot		
117-04-082 0		222 E. 4th St.	CH
117-04-083 0		650 N. 6th Ave.	NHNC
117-04-084 0		626 N. 6th Ave.	CH/I
117-04-086 0	Parking Lot		
117-04-087 0	Parking Lot		
117-04-089 0		620 N. 6th Ave.	CH
117-04-090 0	Parking Lot		
117-04-091 0		247 E. 5th St.	CH
117-04-092 0	Parking Lot		
117-04-093 0	Parking Lot		
117-04-094 0	Parking Lot		
117-04-095 0		604 N. 6th Ave.	CH

BLOCK 50, CITY OF TUCSON

117-04-099 0	Vacant		
117-04-100 0		632 N. 7th Ave.	NHNC
117-04-102 0	Parking Lot		
117-04-103 0		637 N. 6th Ave.	CH/NHNC
117-04-105 0		624 N. 7th Ave.	CH
117-04-106 0		622 N. 7th Ave.	CH
117-04-107 0		620 N. 7th Ave.	CH
117-04-108 0		621 N. 6th Ave.	CH
117-04-110 0		612 N. 7th Ave.	NHNC
117-04-111 0		602 N. 7th Ave.	CH
117-04-112 0	Vacant		
117-04-113 0		123-125 E. 5th St.	CH

BLOCK 51, CITY OF TUCSON

117-04-115 0		667 N. 7th Ave.	NHNC
117-04-120 0		629 N. 7th Ave.	CH

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8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-04-125 0		627 N. 7th Ave.	CH
117-04-126 0		621 N. 7th Ave.	CH
117-04-127 0		605 & 615-617 N. 7th Ave. 75 E. 5th St.	CH CH

BLOCK 62, CITY OF TUCSON

117-04-294 0		547 N. 3rd Ave.	CH
117-04-295 0		599 N. 3rd Ave.	CH
117-04-296 A		428 E. 5th St.	CH
117-04-297 A		422-424 E. 5th St.	CH
117-04-302 0		538 N. Hoff Ave.	CH
117-04-303 0		591 N. 3rd Ave.	CH
117-04-304 0		535 N. 3rd Ave.	CH
117-04-305 0		534 N. Hoff Ave.	CH
117-04-306 0		521 N. 3rd Ave.	CH
117-04-307 0		517 N. 3rd Ave.	CH
117-04-308 0		528 N. Hoff Ave.	CH
117-04-313 0		526 N. Hoff Ave.	NHNC
117-04-314 0		513 N. 3rd Ave.	CH
117-04-315 0		511-509 N. 3rd Ave.	CH
117-04-316 0		507 N. 3rd Ave.	CH
117-04-317 0		429 E. 6th St.	NHNC
117-04-321 0		503 N. 3rd Ave.	CH

BLOCK 63, CITY OF TUCSON

117-04-322 0		506 E. 6th St.	CH
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BLOCK 64, CITY OF TUCSON

117-04-323 0		646 E. 5th St.	CH
117-04-324 0		640-642 E. 5th St.	CH
117-04-325 0		628 E. 5th St.	CH
117-04-326 0		616 E. 5th St.	CH
117-04-328 0		604 E. 5th St.	CH
117-04-329 0		523 N. Jacobus Ave. 523-1/2 N. Jacobus Ave.	CH CH
117-04-330 0		525 N. 1st Ave.	CH
117-04-331 0		521 N. 1st Ave.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
117-04-332 0		528-530 N. 2nd Ave.	NHNC
117-04-333 0		522 N. 2nd Ave.	NHNC
117-04-334 0		519 N. Jacobus Ave.	CH
117-04-335 0		517 N. 1st Ave.	CH
117-04-336 0		643 E. 6th St.	CH
117-04-337 0		623 E. 6th St.	CH
117-04-338 0		621 E. 6th St.	CH
117-04-339 0		619 E. 6th St.	CH
117-04-340 0		617 E. 6th St.	CH
117-04-341 0	Vacant		
117-04-342 0		514 N. 2nd Ave.	CH
117-04-343 0		601-603 E. 6th St.	CH

BLOCK 29, FELDMAN'S AMENDED

115-04-503 0		818 E. Speedway Blvd.	CH
		818-1/2 E. Speedway Blvd.	CH
115-04-504 0		814 E. Speedway Blvd.	CH
115-04-505 0		812 E. Speedway Blvd.	CH
		812-1/2 E. Speedway Blvd.	CH
115-04-506 0		1052 N. Euclid Ave.	CH
115-04-507 0	Vacant		
115-04-508 0		1044-1046 N. Euclid Ave.	NHNC
		1036, 1038, & 1040-1042 N. Euclid Ave.	CH
115-04-512 0		1030 N. Euclid Ave.	CH
115-04-515 0		1024 N. Euclid Ave.	CH
115-04-516 0		1018-1020 N. Euclid Ave.	CH
		803 & 811 E. 1st St.	CH
115-04-519 0		819-821 E. 1st St.	CH

BLOCK 30, FELDMAN'S AMENDED

115-04-525 0		750 E. Speedway Blvd.	CH
115-04-526 0	Vacant		
115-04-527 0		710 E. Speedway Blvd.	CH
115-04-528 0	Parking Lot		
115-04-529 0	Parking Lot		
115-04-530 0	Parking Lot		
115-04-531 0		1046 N. 1st Ave.	CH
115-04-532 0		1039 N. Euclid Ave.	CN
115-04-533 0	Parking Lot		

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
115-04-534 0		1036 N. 1st Ave.	CH
115-04-535 0		1030 N. 1st Ave.	CH
115-04-536 0		1029 N. Euclid Ave.	CH
115-04-537 0		1025 N. Euclid Ave.	CH
115-04-538 0		1024-1028 N. 1st Ave.	NHNC
115-04-539 0		1018-1020 N. 1st Ave.	CH
115-04-540 0		701 E. 1st St.	CH
115-04-541 0		707 E. 1st St.	CH
115-04-542 0		715-717 E. 1st St.	CH
115-04-543 0		723 E. 1st St.	CH
115-04-546 0		741-743 E. 1st St.	CH
115-04-548 0		745 E. 1st St.	CH

BLOCK 31, FELDMAN'S AMENDED

115-04-554 0		724 E. 1st St.	CH
115-04-555 0		920 N. 1st Ave.	NHNC
115-04-556 0	Vacant		
115-04-557 0		708-712 E. 1st St.	CH
115-04-558 0		700 E. 1st St.	CH
115-04-567 0		906 N. 1st Ave.	CH/NHNC
115-04-569 A		722 E. 2nd St.	CH
115-04-568 A		830 N. 1st Ave.	CH
115-04-570 A	Parking Lot		
115-04-571 A		830 N. 1st Ave.	CH
115-04-572 A		830 N. 1st Ave.	CH
115-04-573 A	Parking Lot		
115-04-574 0		819 N. Euclid Ave.	CH
115-04-576 A		820 N. 1st Ave.	NHNC

BLOCK 2, BUELL'S ADDITION

124-05-007 A	University Main Gate		
124-05-009 0	University Main Gate		
124-05-010 B	University Main Gate		
124-05-011 B	University Main Gate		
124-05-012 0	University Main Gate		
124-05-013 A	University Main Gate		
124-05-014 A		834 E. University Blvd.	NHNC

**CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
<u>BLOCK 3, BUELL'S ADDITION</u>			
124-05-016 A		701-707 E. University Blvd.	CH
124-05-018 0		715 E. University Blvd.	CH
124-05-019 0		721 E. University Blvd.	CH
<u>BLOCK 4, BUELL'S ADDITION</u>			
124-05-024 0		704 N. 1st Ave.	CH
124-05-025 0		728 N. 1st Ave.	CH
124-05-026 0		730 N. 1st Ave.	CH
124-05-027 0		715 E. 4th St.	CH
124-05-028 0		721 E. 4th St.	CH
124-05-029 0		725-729 E. 4th St.	CH
124-05-030 0		731 E. 4th St.	CH
124-05-031 0		701 N. Euclid Ave.	CH
124-05-032 0		703 N. Euclid Ave.	CH
124-05-033 0		705 N. Euclid Ave.	CH
124-05-034 0		707 N. Euclid Ave.	CH
124-05-035 0		727-729, 731-733, & 735-737 N. Euclid Ave.	CH
124-05-036 0		744-746 E. University Blvd.	CH
124-05-037 0		742 E. University Blvd.	CH
124-05-038 0		732-738 E. University Blvd.	CH
124-05-040 0		728-730 E. University Blvd.	CH
124-05-041 0		720 E. University Blvd.	CH
124-05-042 0		708 E. University Blvd.	CH
		704 E. University Blvd.	CH
<u>BLOCK 5, BUELL'S ADDITION</u>			
124-05-043 0		714-718 N. Euclid Ave.	CH
124-05-044 0	Vacant		
124-05-045 0		801-803 E. 4th St.	CH
124-05-046 0		805-811 E. 4th St.	CH
124-05-047 0		813-819 E. 4th St.	CH
124-05-048 0	Parking Lot		
124-05-049 0		876 E. University Blvd.	CH
124-05-050 0		874 E. University Blvd.	CH
124-05-051 A		870 E. University Blvd.	CH
124-05-052 0		800 & 820 E. University Blvd.	CH

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS**

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
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BLOCK 9, BUELL'S ADDITION

124-05-084 0		632 N. 1st Ave.	CH
124-05-085 0		701-703 E. 5th St.	CH
124-05-086 0		709 E. 5th St.	CH
124-05-087 0		711-713 E. 5th St.	CH
124-05-088 0		715-717 E. 5th St.	CH
124-05-089 0		725 E. 5th St.	CH
124-05-090 0		733 E. 5th St.	CH
124-05-091 0		739 E. 5th St.	CH
124-05-092 0		615 N. Euclid Ave.	CH
124-05-093 0		745 E. 5th St.	CH
124-05-094 0		627 N. Euclid Ave.	CH
124-05-095 0		633 N. Euclid Ave.	CH
124-05-096 0		748 E. 4th St.	CH
124-05-097 0		746 E. 4th St.	CH
124-05-099 0		722 E. 4th St.	CH
124-05-100 0		734 E. 4th St.	CH
124-05-101 0		728 E. 4th St.	CH
124-05-102 0		712 E. 4th St.	CH
124-05-103 0		634 N. 1st Ave.	CH
124-05-104 0		710 E. 4th St.	CH
124-05-105 0		704 E. 4th St.	CH
124-05-106 0		636-638 N. 1st Ave.	CH

BLOCK 10, BUELL'S ADDITION

124-05-107 0		516 N. 1st Ave.	CH
124-05-108 0		701 E. 6th St.	CH
124-05-109 0		711 E. 6th St.	CH
		711-1/2 E. 6th St.	CH
		711 Rear E. 6th St.	NHNC
124-05-110 0		717 E. 6th St.	CH
124-05-111 0		721-725 E. 6th St.	CH
124-05-112 0		727 E. 6th St.	CH
124-05-113 0		731 E. 6th St.	CH
124-05-116 0		746 E. 5th St.	NHNC
124-05-117 0		726 E. 5th St.	CH
124-05-118 0		728 E. 5th St.	CH
124-05-119 0		714-716 E. 5th St.	CH
124-05-120 0		528-530 N. 1st Ave.	CH

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DEVELOPMENT STANDARD NO. 9-08.0
HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

8.2.5 West University Historic District. (Cont'd)

<u>TAX PARCEL NUMBER</u>	<u>STRUCTURE OR SITE</u>	<u>ADDRESS</u>	<u>STATUS</u>
124-05-121 0		532 N. 1st Ave.	CH
124-05-122 0		710 E. 5th St.	CH
124-05-123 0		702-704 E. 5th St.	CH
124-05-124 0		538 N. 1st Ave.	CH

8.3 DOWNTOWN HERITAGE INCENTIVE DISTRICT.

8.3.1 Establishment. Established: August 5, 1991, by Ordinance No. 7674.

8.3.2 Boundaries and Location. The boundary of the District coincides with the Downtown Redevelopment District (see map in the *LUC*).

8.3.3 Structures Currently on the National Register of Historic Places.

A. The following are the National Register descriptions of the downtown structures which are currently individually listed, with their dates of entry on the Register:

1. September 30, 1988
 - a. Fourth Avenue Underpass
 - b. Sixth Avenue Underpass
 - c. Stone Avenue Underpass
 - d. Vehicular Bridges in AZ Thematic Nomination
2. February 10, 1983
 - a. United States Courthouse - 55 East Broadway

Designed by the architects of the Treasury Department, the Neoclassical Revival building represents part of the extensive Federal building program of the late 1920s. The building is four (4) stories tall and remains one of Tucson's major public buildings. The Courthouse retains its original integrity and continues to serve its original function.

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8.3.3 Structures Currently on the National Register of Historic Places. (Cont'd)

3. November 30, 1982

a. Coronado Hotel - 410 East 9th Street

Constructed on a main commercial intersection, the three-story, Spanish Colonial Revival-style hotel is historically important as a manifestation of the development of tourism (and tourist hotels) in Tucson.

4. June 23, 1978

a. Pima County Courthouse - 115 North Church Avenue

The three-story, Spanish Colonial Revival building has a blue tiled dome and was designed by noted Tucson architect, Roy Place.

5. June 3, 1971

a. Fremont House - 145-153 South Main Street

Constructed in 1858 (modified, 1880), this adobe, U-shaped townhouse is said to have been occupied by former Governor John C. Fremont in 1881. It has been restored and is now maintained as a museum by the Arizona Historical Society.

6. June 3, 1971

a. Old Adobe Patio (Charles O. Brown House) - 40 West Broadway

This is a Mexican-style, adobe townhouse and is one of the oldest houses in Tucson. It has a flat roof, patio, and seventeen rooms. It now houses a restaurant and shops.

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8.3.4 Structures Potentially Eligible for the National or Arizona Registers of Historic Places.

A. The 1983 Historical Survey of Downtown Tucson evaluated some two hundred (200) structures and identified forty (40) as potentially eligible for National Register listing. Of these, three (3) (the underpasses) were subsequently placed on the Register, and two (2) (the El Presidio and Catalina Hotels) were demolished. In its review of the remaining three dozen structures, the Downtown Preservation Strategy Committee's Inventory Subcommittee recommended that twenty (20) buildings receive priority for official recognition, whether as nomination to the National Register, the Arizona Register, or designation as a local landmark. It should be noted that designation would require additional research to document the primary criteria of significance and integrity. Also, the owner's approval would be required.

B. Structures potentially eligible for National Register, the Arizona Register, or local landmark designation are listed below, in chronological order:

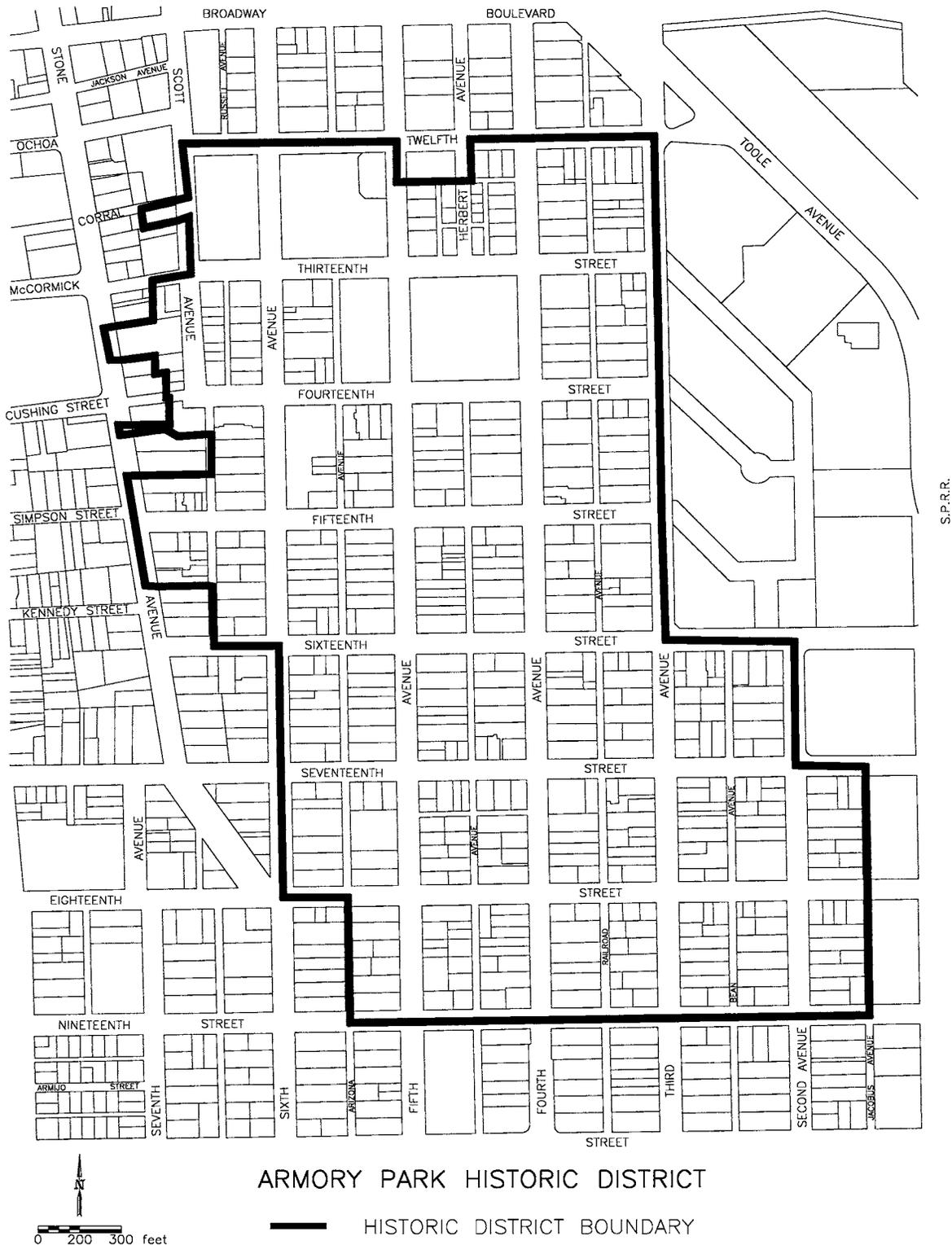
- | | | |
|-----|------------|----------------------------------------------------------------|
| 1. | 1884 | Arizona Daily Star Building
32 North Church Avenue |
| 2. | 1903 | Willard (Pueblo) Hotel
145 South Sixth Avenue |
| 3. | 1905 | Chicago Store
130 East Congress |
| 4. | 1905-07 | W. A. Julian Building
117-121 East Congress |
| 5. | 1906 | Steinfeld Warehouse
101 West Sixth Street |
| 6. | 1906, 1928 | Tovrea Warehouse
15 East Toole Avenue |
| 7. | 1907 | Old Pueblo Club
115 South Stone Avenue |
| 8. | 1907, 1942 | Southern Pacific Railroad Station
400 North Toole Avenue |
| 9. | 1908, 1935 | Reilly Funeral Home
102 East Pennington Street |
| 10. | 1912 | El Paso and Southwestern Railroad Station
419 West Congress |

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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

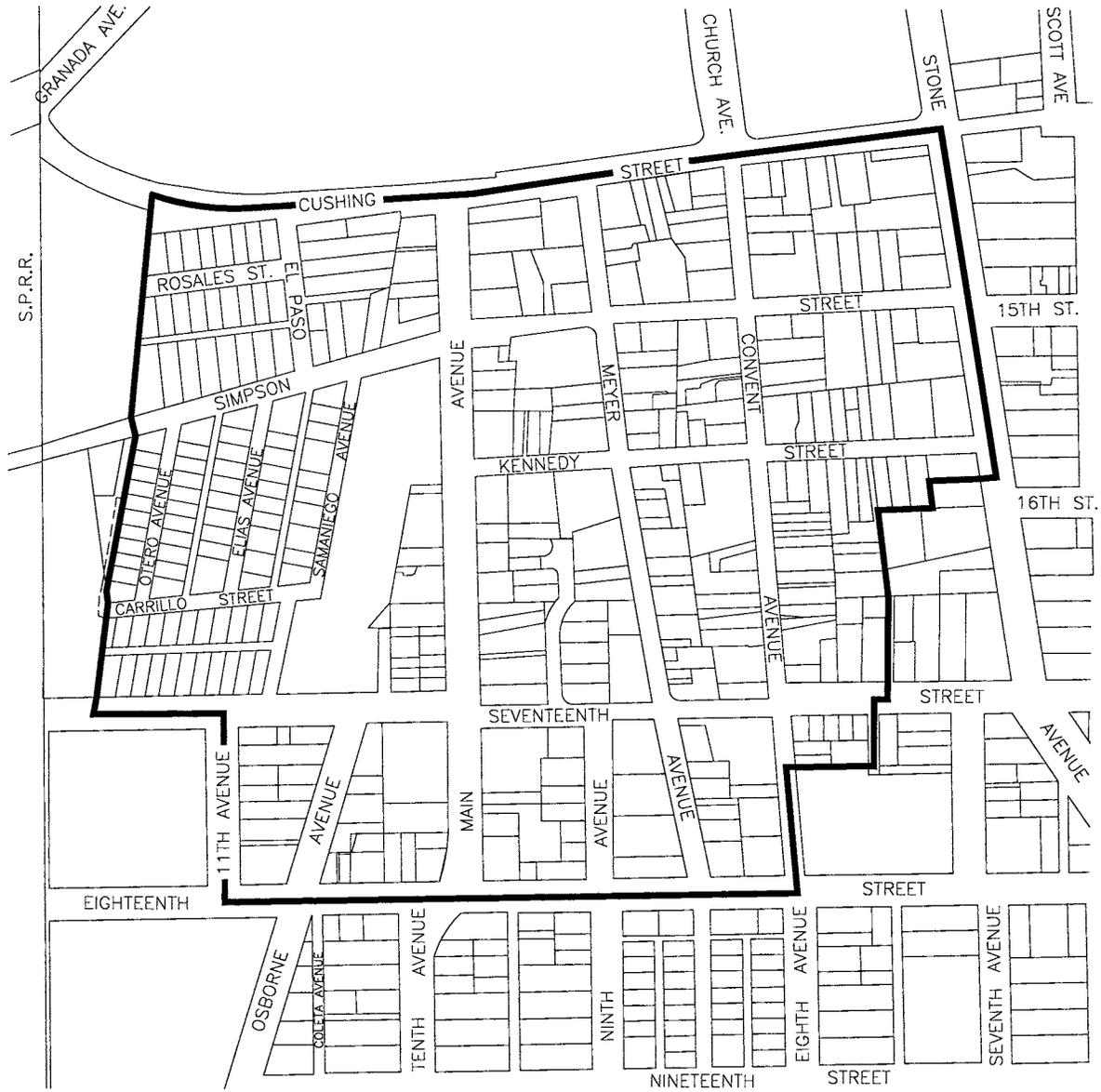
8.3.4 Structures Potentially Eligible for the National or Arizona Registers of Historic Places.
(Cont'd)

- | | | |
|-----|------------|----------------------------------------------------------|
| 11. | 1917 | Arizona Hotel
31-47 North Sixth Avenue |
| 12. | 1917, 1939 | Lewis Hotel
179 East Broadway |
| 13. | 1919 | Hotel Congress
301-323 East Congress |
| 14. | 1919 | Odd Fellows Hall
135 South Sixth Avenue |
| 15. | 1919-21 | Rialto Theater and Apartments
300-314 East Congress |
| 16. | 1928 | Baffert-Leon Warehouse
1 East Toole Avenue |
| 17. | 1928 | Thomas-Davis Clinic
130 South Scott Avenue |
| 18. | 1929 | Valley National Bank
2-16 East Congress |
| 19. | 1930 | Fox Theater
27-33 West Congress |
| 20. | 1953 | First Interstate Bank Building
150 North Stone Avenue |

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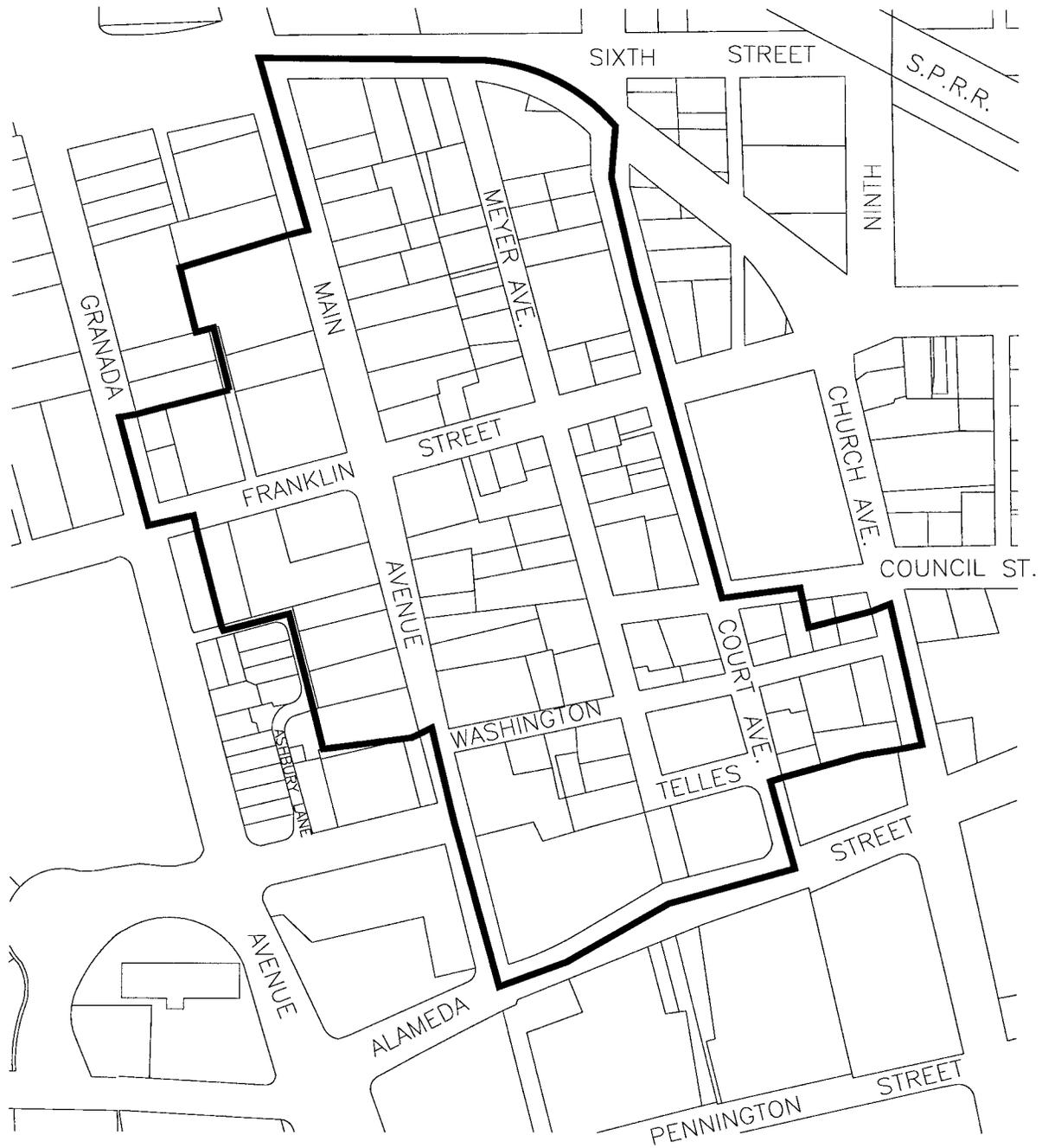
CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS



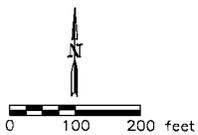
BARRIO HISTORICO HISTORIC DISTRICT

— HISTORIC DISTRICT BOUNDARY

CITY OF TUCSON
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HISTORIC PRESERVATION ZONE DEVELOPMENT STANDARDS

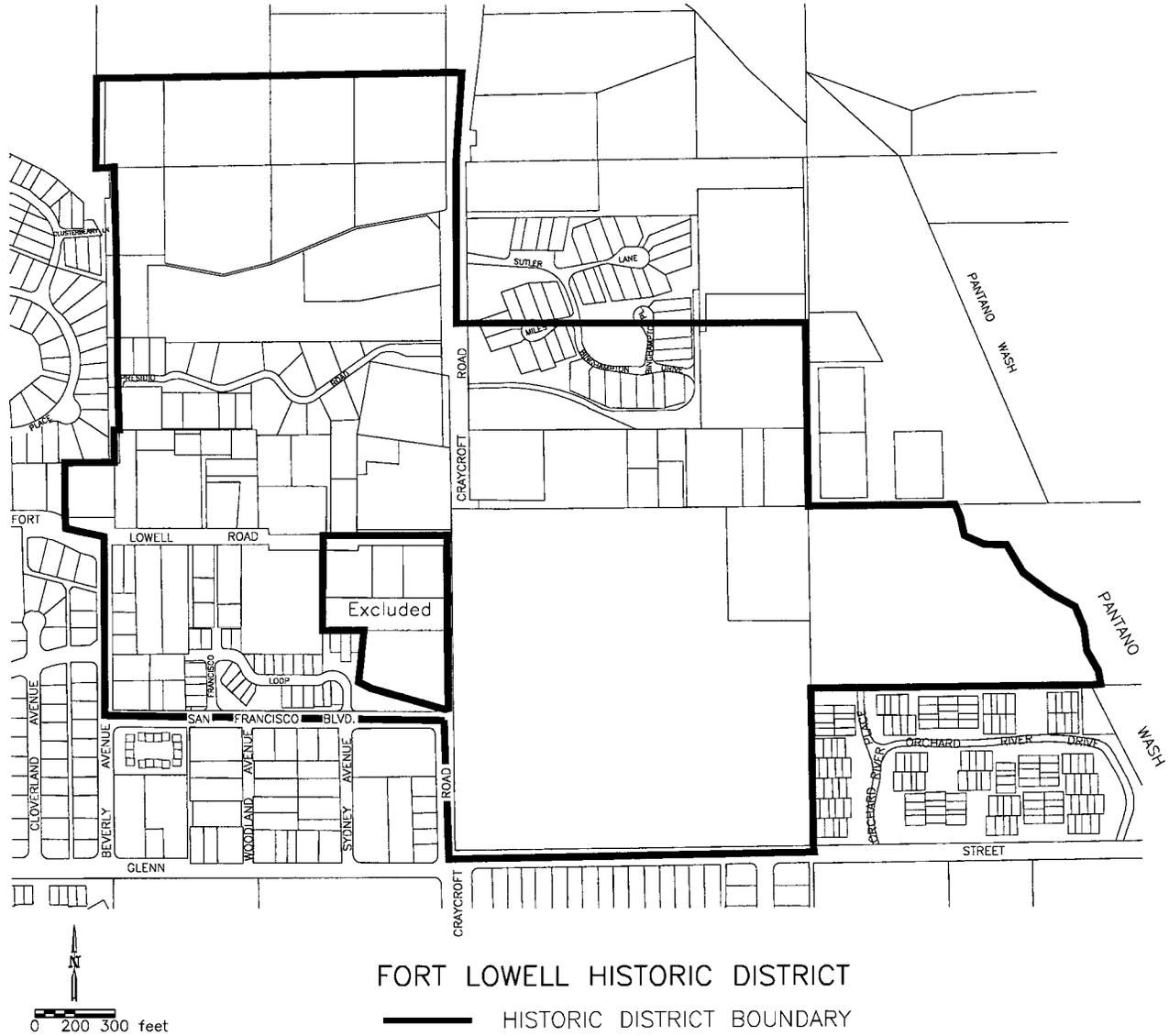


EL PRESIDIO HISTORIC DISTRICT

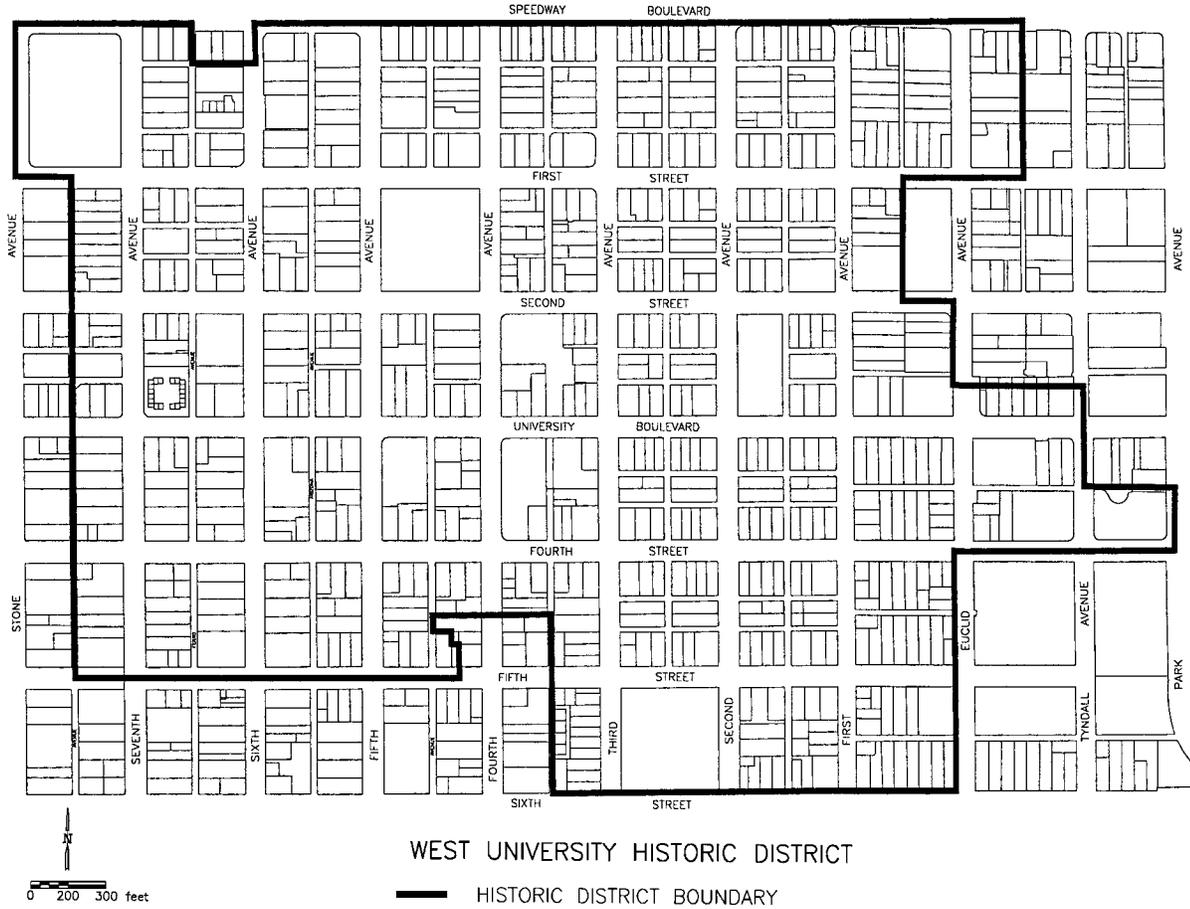


— HISTORIC DISTRICT BOUNDARY

CITY OF TUCSON
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CITY OF TUCSON
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Graphics included in this Development Standard are reprinted from Tucson's Historic Districts: Criteria for Preservation and Development, City of Tucson, 1972, and Tucson Preservation Primer: A Guide for the Property Owner, edited by Robert C. Giebner [A Class Project of the College of Architecture, University of Arizona], 1979.

9-09.0.0 RESERVED

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-10.0
RIO NUEVO AND DOWNTOWN (RND) ZONE**

RIO NUEVO AND DOWNTOWN (RND) ZONE

- 9-10.1.0 GENERAL**
 - 9-10.2.0 APPLICABILITY AND ORGANIZATION OF CRITERIA**
 - 9-10.3.0 DESIGN PRINCIPLES**
 - 9-10.4.0 DESIGN CRITERIA**
 - 9-10.5.0 RESPONSIBILITY FOR ENFORCEMENT**
 - 9-10.6.0 MODIFICATIONS**
 - 9-10.7.0 RESPONSIBILITY FOR REVIEW**
 - 9-10.8.0 LIST OF FIGURES**
-

9-10.0.0 RIO NUEVO AND DOWNTOWN (RND) ZONE.

9-10.1.0 GENERAL.

- 1.1 Introduction. In November 1999, voters approved the Rio Nuevo Multipurpose Facilities District to promote the development of Rio Nuevo and the revitalization of Downtown Tucson. Established with the cooperation of the Cities of Tucson and South Tucson, the District encompasses five key areas – Rio Nuevo, Downtown Tucson, the Broadway Corridor, El Con Mall, and Park Place Mall. This Development Standard addresses development only in the Rio Nuevo and Downtown Zone.

Design guidelines were developed through the Rio Nuevo master planning process involving substantial community input, active citizen committees, and several design workshops. Prior to that, design guidelines were prepared as part of the *Downtown Pedestrian Implementation Plan (DPIP)*. This plan was prepared with input from and review by a Technical Advisory Committee (TAC) comprised of Downtown property and business owners, residents, and governmental agency representatives. The *DPIP* was endorsed by the Mayor and Council in October of 1996. The guidelines were revised, and portions were referenced as design criteria in the City of Tucson Design Guidelines Manual.

The shared goal of these efforts is to shift Downtown Tucson's focus to creating a pedestrian-friendly environment to attract businesses and become a destination for residents and visitors. The revitalization of Downtown and redevelopment of Rio Nuevo will enhance the pedestrian environment and celebrate the multicultural history of the city and its unique desert environment.

- 1.2 Purpose. This Standard has been established for the purpose of implementing the Design Criteria established in Sec. 2.8.10.5, *Land Use Code (LUC)*, and informing property owners and permit applicants of review requirements and design criteria for projects within the Rio Nuevo and Downtown (RND) Zone. The RND Zone is an overlay district as defined in Sec. 6.2.18, *LUC*, and as shown for reference in **Figure 1, Rio Nuevo and Downtown Zone Map.**

CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-10.0
RIO NUEVO AND DOWNTOWN (RND) ZONE

1.2 Purpose. (Cont'd)

The review procedures and design criteria summarized in this Development Standard are intended to promote quality design and innovative projects in the Rio Nuevo District and Downtown that will increase private and public property investments and property values.

A secondary intent of the Development Standard is to expedite the permitting process in the overlay zone by providing the applicant with clear direction. Illustrations are included to clarify particular design criteria and further aid the applicant in meeting review requirements.

- 1.3 Objectives. The Standard promotes the following objectives: 1) incorporate building and design elements that recognize Tucson's cultural history and environmental setting; 2) create high-intensity, mixed-use development within a walkable area; 3) provide parking areas that minimize the need for internal vehicular circulation; 4) preserve street frontages for pedestrians by placing parking at the rear or sides of buildings; 5) enhance the pedestrian environment to include shade trees, plazas, fountains, lighting, façade improvements, and storefronts to encourage window shopping; 6) develop graphic themes, enhanced streetscapes, and public art to make the project a distinct and unique destination; and 7) design projects to encourage neighborhood interaction and pedestrian access in commercial areas.

9-10.2.0 APPLICABILITY.

- 2.1 Applicability. This Standard applies to all development and improvements within the RND Zone. The Standard lists design criteria that may be applicable throughout the zone or within particular subareas as noted below.

This Standard is intended for use by public agencies, private property owners, landscape architects, architects, engineers, artists, designers, and developers who are preparing to alter property within the zone.

This Standard does not waive any applicable City regulations or codes. Plans approved with respect to this Standard must also meet applicable *LUC* and building code requirements.

- 2.2 Design Context and Compatibility Report. As part of the submittal requirements for development review within the RND Zone, the applicant must submit a Design Context and Compatibility Report. This report should be a succinct introduction to the project, limited to two to three pages, that demonstrates the applicant's understanding of the regional, community, and site-specific design contexts. The report format may be a combination of text and graphics. If the project design departs from the established context or does not comply with mandatory design criteria in this Standard, the report must explain the reason for an alternate design solution.
- 2.3 Definitions. Definitions used in this Standard are found in the Development Standards Glossary or in Sec. 6.2.0 of the *LUC*. Selected terms relating to design elements and criteria are further defined and clarified graphically within this Development Standard.

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RIO NUEVO AND DOWNTOWN (RND) ZONE

9-10.3.0 DESIGN PRINCIPLES.

- 3.1 Diversity. Diversity reflects the prehistoric, historic, and cultural elements that make up Tucson's urban form and context. This principle forms the basis for the specific design criteria including building character and materials that reflect the indigenous influence of the Sonoran Desert region and culture. The intent of this design principle is not to prescribe architectural style, materials, or form but to encourage innovation in contemporary design.
- 3.2 Design in Context. Design in Context is the recognition that Tucson is a unique desert Southwestern city. New buildings should also translate into contemporary form the basic principles that contribute to historic structures and other structures in and around the Site Context - Development Zone, as well as addressing the Regional and Community Context. Water features located in plazas and open space areas throughout the RND Zone will offer water as a symbol of the Downtown area.
- A. *Regional Context*. The regional context of a place is reflected in its environment and natural landscape, its heritage and cultural resources, and its native building forms and materials. The regional context for Rio Nuevo and Downtown Tucson includes the ecology of the Sonoran Desert, the Santa Cruz River, and views to Sentinel Peak and surrounding mountain ranges. Context is also found in climate – hot and dry desert summers, intermittent rainy seasons, cold winter nights, clear skies, the sun, strong shadows, and limited water availability. Regional context includes the traditional barrios and neighborhoods, walking paths, a multihued palette of colors used for decorating, and the Spanish street names that evolved over the course of many years of Tucson's development.
- B. *Community Context*. Community context within the RND Zone is a further illustration of the regional environmental and cultural setting, as reflected in particular subareas. Development should respond to the prevailing design character within each subarea.
- C. *Site Context – Development Zone*. Site context looks at the immediate surroundings of the proposed improvement. The Development Zone is defined in Sec. 6.2.4, *LUC*. New buildings should strengthen and enhance the characteristics of the immediate setting and build upon or maintain key unifying patterns. However, they should not directly mimic historic buildings so as to be indistinguishable from them. Rather, new buildings should translate into contemporary form the basic principles that contributed to historic structures.
- In areas where historic context is a criterion, design must respond to this context through the use of appropriately scaled buildings utilizing materials, exterior openings, and a relationship to the street consistent with existing historic structures. (See Development Standard 9-08.0, Historic Preservation Zone Development Standards, for information relating to development patterns, design relationships, and architectural styles and detail.)
- 3.3 Accessibility. Accessibility includes three dimensions. The first is physical mobility for pedestrians, including physically disabled pedestrians, bicycles, transit, and private cars

**CITY OF TUCSON
DEVELOPMENT STANDARD NO. 9-10.0
RIO NUEVO AND DOWNTOWN (RND) ZONE**

provided by an efficient and pleasant circulation system. The second is visual, retaining physical amenities such as viewsheds, open space, and visual connections to the mountains and the Santa Cruz River. The third is informational and educational, including access to information and ideas. Rio Nuevo builds on the idea that Tucson offers cultural and historic resources that must be available to residents and visitors alike. It is the sharing of ideas of history, prehistory, environment, landscape, building form, pathway, and plaza that can enrich the experience for those who come to Rio Nuevo and Downtown. This can be done by restoration of key elements of historic buildings, interpretation of prehistoric cultural resources, and installation of educational signs and plaques throughout the area.

9-10.4.0 DESIGN CRITERIA.

- 4.1 Overall Site Design. The design of all projects in the RND Zone shall be responsive to the physical context of the region, community, and site. Site design shall be based on maximizing relationships with existing and/or planned structures, circulation systems, and natural features. Site design shall also take into consideration significant visual relationships and landmarks.
- 4.2 Building and Structures. The intent is to ensure that site design and architectural character reinforce the image of the RND Zone as an inviting, lively, and pedestrian-friendly district. Design should promote safe and easy passage from the public realm into individual buildings. Twenty-four-hour, street-level activity should be encouraged by providing a mixture of retail, office, and residential uses within each building. A critical mass of evenly distributed residential uses will encourage evening street activity. Certain areas or streets could be exclusively retail and residential, but buildings dedicated exclusively to office space should be discouraged. Building façades, colors, and materials should be appropriate for the urban streetscape.
- A. *Pedestrian Experience of Buildings.* The pedestrian experience, including scale, mass, color, materials, and historic context, should be combined to reinforce the uniqueness of Sonoran elements and Tucson's culture.
1. All new construction shall provide scale-defining architectural elements or details at the first two floor levels, such as windows, spandrels, awnings, porticos, cornices, pilasters, columns, and balconies.
 2. Every commercial building frontage shall provide windows, window displays, or visible activity within and adjacent to the building at the ground floor level, with a minimum of fifty (50) percent of the building frontage providing such features.
 3. Façade walls shall provide visual interest. At the street level, a single plane of a façade may not be longer than fifty (50) feet without architectural relief or articulation by features such as windows, trellises, and arcades.
 4. Façade design must provide a safe and appealing nighttime environment by providing exterior building and window lighting that is pedestrian-scaled, down-shielded, and controlled for glare.

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- B. *Massing.* The proposed buildings should respect the scale of those buildings located on adjacent properties and serve as an orderly transition to a different scale. Building heights with a vastly different scale than those on adjacent properties should have a transition in scale to reduce and mitigate potential impacts. In areas undergoing change, long-range plans should be consulted for guidance as to appropriate heights.
- C. *Entryways and Façades.*
1. Primary public entries shall be directly accessed from the sidewalk along a street rather than from a parking lot. Public access to commercial and governmental buildings shall be provided at sidewalk grade. The primary floor of, and access to, residential structures may be elevated. Secondary access may be provided from off-street parking areas.
 2. The front doors of all commercial and governmental buildings shall be visible from the street if located more than ten (10) feet from the front building line, and their locations must be reinforced with additional graphics, lighting, marquees, or canopies.
 3. Façades of historic buildings may be enhanced with signs, awnings, or street trees. If façade improvements are proposed, they must complement the overall historic context of the Downtown and respect the architectural integrity of the façade.
- D. *Colors.* Colors may conform to the overall color palette and context of the Downtown area or subarea or may be used expressly to create visual interest, variety, and street rhythms. The rationale for an expressive or idiosyncratic use of color should be described in the development plan submittal.
- E. *Materials.*
1. Buildings shall be designed to shield adjacent buildings and public rights-of-way from reflected heat and glare.
 2. New buildings should use materials, patterns, and elements that relate to the traditional context of the Downtown area or subarea.
- F. *Setbacks.* All new construction shall maintain the prevailing setback existing within its development zone.

4.3 Circulation and Parking.

- A. *Street Hierarchy.* The Downtown is organized along the hierarchy of Downtown's streets, with the pedestrian given top priority for the Downtown. (See **Figure 2, Downtown Street Hierarchy.**) The streets, including their rights-of-way, are addressed in one of three classifications.
1. *Pedestrian Retail Core Streets.* These are the streets that host Downtown's greatest variety of commercial and public activities at the street

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level. They also accommodate vehicular traffic including automobiles, public transit, and service vehicles and have on-street parking in some locations. However, priority is given to the pedestrian.

2. *Entry Streets.* These streets carry high volumes of traffic (respectively) into and out of Downtown. These streets typically are wider to accommodate through and turning traffic.
3. *Traffic Calming Streets.* These streets are generally narrower, with fewer travel lanes than entry streets, and accommodate on-street parking. Traffic Calming Streets are all those not designated as Entry Streets or Pedestrian Retail Core Streets.

B. *Pedestrian Pathways.*

1. Shade shall be provided for at least fifty (50) percent of all sidewalks and pedestrian pathways as measured at 2:00 p.m. on June 21 when the sun is 82° above the horizon (based on 32°N Latitude). Shade may be provided by arcades, canopies, or shade structures, provided they respect the historic and design context of the street and the architectural integrity of the building. Deciduous trees, as proposed in the *Downtown Comprehensive Street Tree Plan*, are encouraged to supplement existing evergreen trees. The use of plantings and shade structures in the City right-of-way is permitted to meet this standard. The shade provided by a building may serve to meet this guideline.
2. Along pedestrian pathways that lead to the Rio Nuevo South Cultural Plaza and in areas planned for retail and entertainment uses and high pedestrian traffic, shade devices should be provided at pedestrian waiting areas and street intersections.

C. *Vehicular Circulation and Parking.*

1. *Circulation.*
 - a. All parking area access lanes (PAALs) adjacent to buildings shall have pedestrian circulation paths between the PAAL and the building, with a minimum width of six (6) feet.
 - b. All vehicular ingress and egress points shall be perpendicular to the intersecting street. Ingress and egress points shall be designed to minimize vehicular/pedestrian and vehicular/bicycle conflicts. Adequate storage for vehicular queuing at parking facilities must be contained on site. Right turn bays will be strongly discouraged within this zone. Points of ingress and egress shall be minimized wherever possible. Additional temporary ingress and egress locations may be permitted for parking structures that anticipate occasional high peak period traffic flows (i.e., parking facilities for event venues).

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2. *Parking.*

- a. *General.* Parking requirements within the RND Zone are listed in the *LUC*, Sec. 3.3.6.
 - 1) All public parking must be open and accessible to the public between the hours of 5:00 a.m. and 1:00 a.m., seven (7) days per week, with the exception of the performance of required maintenance.
- b. *Provisions.*
 - 1) All new parking shall be designed so that vehicles are not visible from the adjoining street level, through incorporation of pedestrian arcades, occupied space, or display space.
 - 2) Employee parking for all uses should be provided at remote locations in order to maximize the availability of space for development.

D. *Pavement of Sidewalks, Crosswalks, and Streets.* Treatment of sidewalks, crosswalks, and streets should be consistent with the design guidelines of the *DPIP*.

4.4 Pedestrian Plazas and Open Space. The fundamental objective of this Section is to encourage public and private investments to enhance the character and function of Downtown's pedestrian environment. The enhancement of the Downtown pedestrian environment will contribute to the experience visitors have in the Downtown area.

A. *Plazas and Pedestrian Nodes.* Plazas, courtyards, and patios are landscaped outdoor areas designed to accommodate multiple uses, from large gatherings of people for performing arts to smaller gatherings. The plazas and courtyards will be one of the ways that spaces and uses can be linked. There should be five (5) percent of the gross floor area of the new construction provided in public plazas or courtyards for every new development.

B. *Viewshed Corridors.* Views of all historic properties and all natural elements surrounding the Downtown should be considered during design.

Plazas, courtyards, and open spaces should be sited to include views to other public spaces. Protection of the views, especially from the pedestrian perspective, will be important for each new development.

C. *Linkages (Physical and Visual).* Neighborhood linkages will be maintained throughout Downtown. Pedestrian trails, such as the Old Pueblo Promenade (defined in the *DPIP*), will also be maintained and enhanced as part of new development.

4.5 Streetscape.

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- A. *Public Art.* Public art is encouraged in all new development. The character of the public art will fit within the context defined by the development and other surrounding buildings.
- B. *Seating and Furnishings.*
1. Seating will be provided at all outdoor gathering spaces. The character, color, and materials of the seating will fit within the context of the development and other surrounding buildings.
 2. Waste receptacles will be provided and will fit within the context of the development.
 3. Newspaper receptacles and vending machines in exterior spaces shall be consistent with the design of the project.
- C. *Lighting and Utilities.* Lighting is essential for providing a safe and comfortable nighttime environment in Rio Nuevo and the Downtown. Standards for lighting will necessarily vary, depending on the design context of the specific subarea, the level of pedestrian and vehicular activity, and the overall design concept of the project. Likewise, the effect of utility fixtures or appurtenances should be considered in the development proposal.
1. Adequate lighting shall be provided for safety and visibility at night. Project plans must include illumination levels and color rendition of exterior building lighting adjacent to sidewalks and alleys.
 2. Historic light standards should be maintained and upgraded as necessary to provide minimum light levels for safety. If historic light standards cannot meet specified criteria for roadway lighting, supplemental lighting standards should be chosen to complement the character and scale of existing historic light standards.
 3. Metal halide light sources should be used in pedestrian areas, streets, and parking areas for their white color of light that contributes to the comfort of users. Particular concern of lighting levels should be given to areas and points where potential conflict between pedestrians and vehicles occurs, such as crosswalks, parking areas, etc. In pedestrian areas, adequate lighting distribution should be provided that overlaps at a height of about seven (7) feet above the finish grade to allow visual recognition of pedestrians. Illumination levels and lighting sources should be used that minimize areas or points of glare while providing adequate levels of light for safety and security.
 4. Vehicular light luminaires should be full cut-off fixtures.
 5. To minimize sidewalk clutter, pedestrian and vehicular lights should utilize the same pole. The spacing of the combined fixtures shall be dictated by City illumination standards for roadways.

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6. Utility boxes should be located adjacent to buildings where feasible. Utility fixtures attached to buildings, patios, or other decorative walls and other mechanical equipment shall not obstruct pedestrian movement. These and other utility appurtenances should be integrated into the design and historic character of the Downtown outside of the public right-of-way.

4.6 Signage.

- A. *Downtown Destination Signage Program.* In a well-conceived system of providing information for pedestrians, the system should lead members of the public to parking in the vicinity of their final destination, then guide the visitors to their destination with more specific pedestrian-level signage.

Any new public parking provided in the Downtown area will include provisions for pedestrian signage to be compatible with vehicular and other signage in the Downtown. The parking facility will include signage for the facility and pedestrian kiosks located just outside the facility and will encourage visitors to see other destinations while they are Downtown.

- 4.7 Resource Conservation. The intent of the following energy and water conservation criteria is to identify specific actions that will reduce energy consumption, demonstrate the use of solar energy, and promote alternative design solutions in keeping with sustainable building practices.

- A. *Energy Conservation.* The facilities should use little energy to run; be constructed to last; have low maintenance needs; and respect the regional, cultural, and material uniqueness of Tucson.
- B. *Sustainable Energy Standard.* All public facilities shall meet the requirements of the Sustainable Energy Standard to the extent reasonable. The Standard may be waived by the City Manager based on factors including, but not limited to, excessive cost or unsuitability to the project.

9-10.5.0 RESPONSIBILITY FOR ENFORCEMENT. DSD has the authority to enforce applicable provisions of this Development Standard.

9-10.6.0 MODIFICATIONS. When an applicant requests a modification of this Standard, the Community Design Review Committee (CDRC) may consider the modification in accordance with Development Standard 1-01.0.

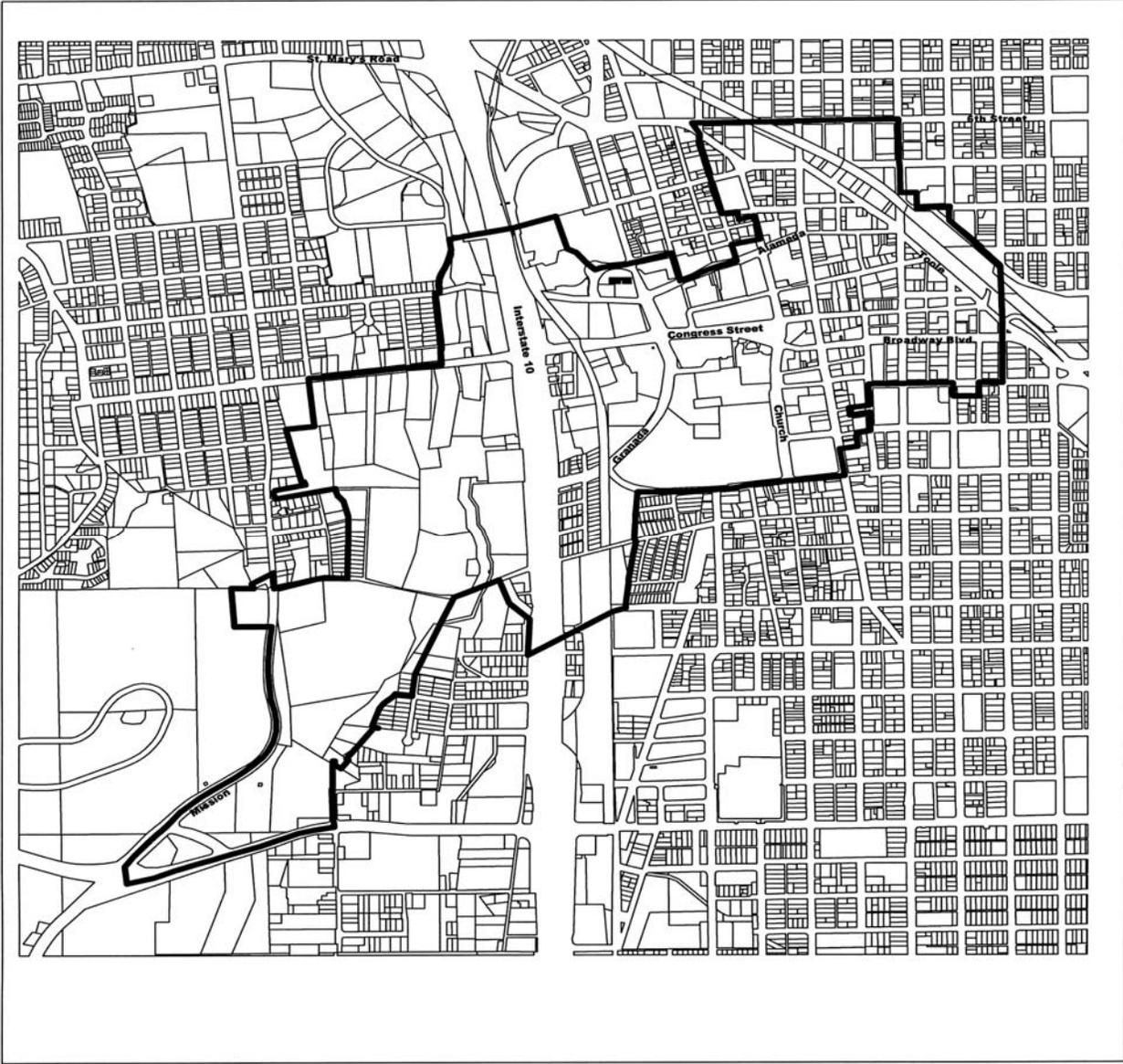
Appeals to decisions made by the CDRC are considered in accordance with Development Standard 1-01.0.

9-10.7.0 RESPONSIBILITY FOR REVIEW. The DSD Director reviews this Standard at least annually or at the discretion of the City Manager.

9-10.8.0 LIST OF FIGURES.

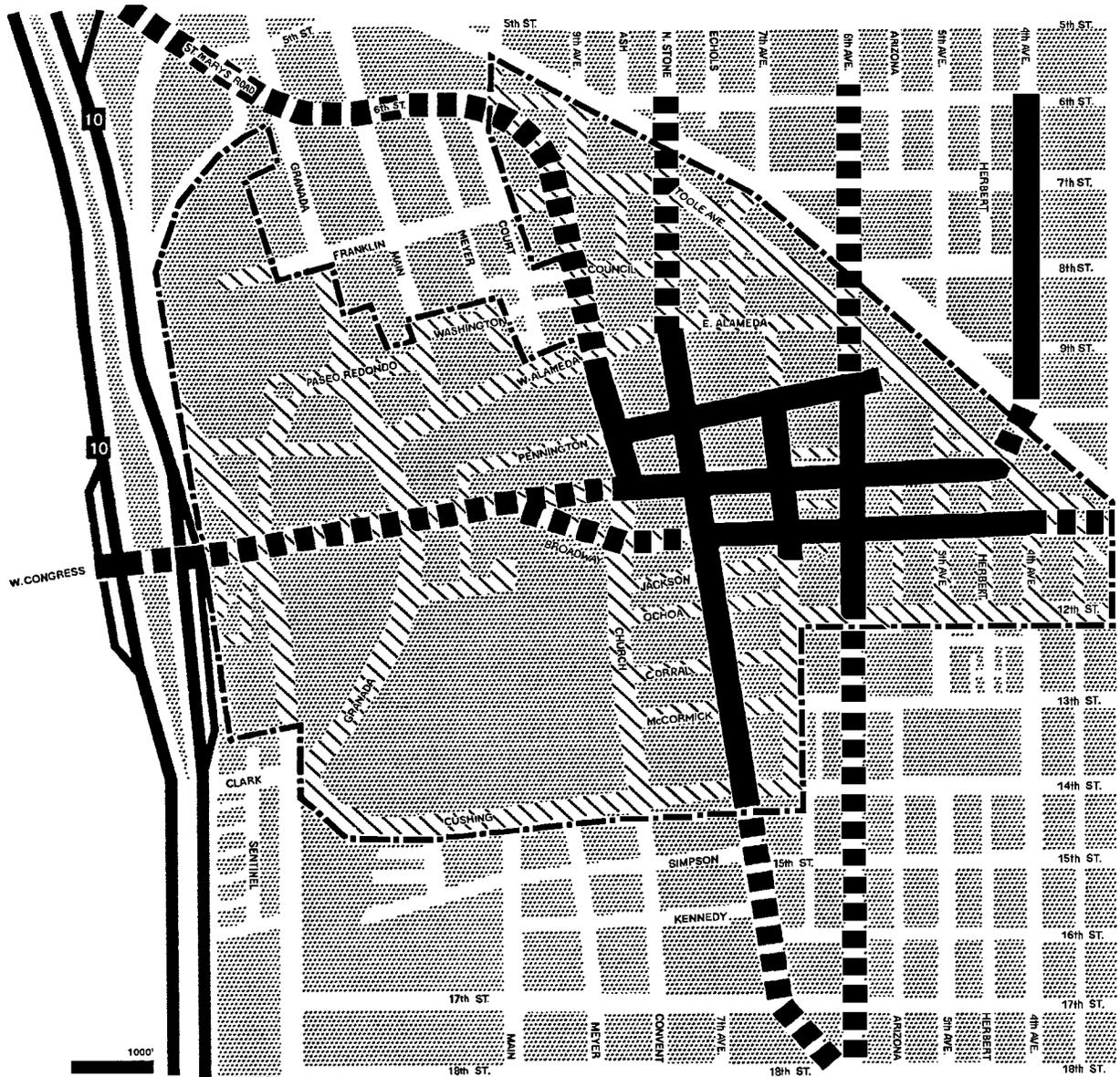
Figure 1 – Rio Nuevo and Downtown Zone Map
Figure 2 – Downtown Street Hierarchy

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Rio Nuevo
and
Downtown Zone

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- CIRCULATION**
- STREET HIERARCHY**
 Legend:
-  Pedestrian Retail Core
 -  Entry Streets
 -  Calming Streets are all the remaining streets within the Downtown Heritage Incentive Zone
 -  Downtown Heritage Incentive Zone

**DOWNTOWN
 STREET
 HIERARCHY**